

RANCOCAS VALLEY REGIONAL HIGH SCHOOL

SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS

520 JACKSONVILLE ROAD
MOUNT HOLLY, NEW JERSEY 08060

FOR THE

RANCOCAS VALLEY REGIONAL HIGH SCHOOL DISTRICT

520 JACKSONVILLE ROAD
MOUNT HOLLY, NEW JERSEY 08060

PROJECT NUMBER: 18-91
TYPE OF CONSTRUCTION: 2B
USE GROUP: E

DESIGN CODES:

BUILDING SUBCODE - INTERNATIONAL BUILDING CODE/2015 (NJ EDITION)
PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING CODE/2015
ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE (NFPA 70)/2014
ENERGY SUBCODE - ASHRAE 90.1-2013
MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE/2015
FUEL GAS SUBCODE - INTERNATIONAL FUEL GAS CODE/2015
REHABILITATION SUBCODE - N.J.U.C.C. SUBCHAPTER 5:23-6
BARRIER FREE SUBCODE - ICC/ANSI A117.1-2009
ELEVATOR SUBCODE - AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)
FIRE PROTECTION SUBCODE - INTERNATIONAL FIRE CODE/2015

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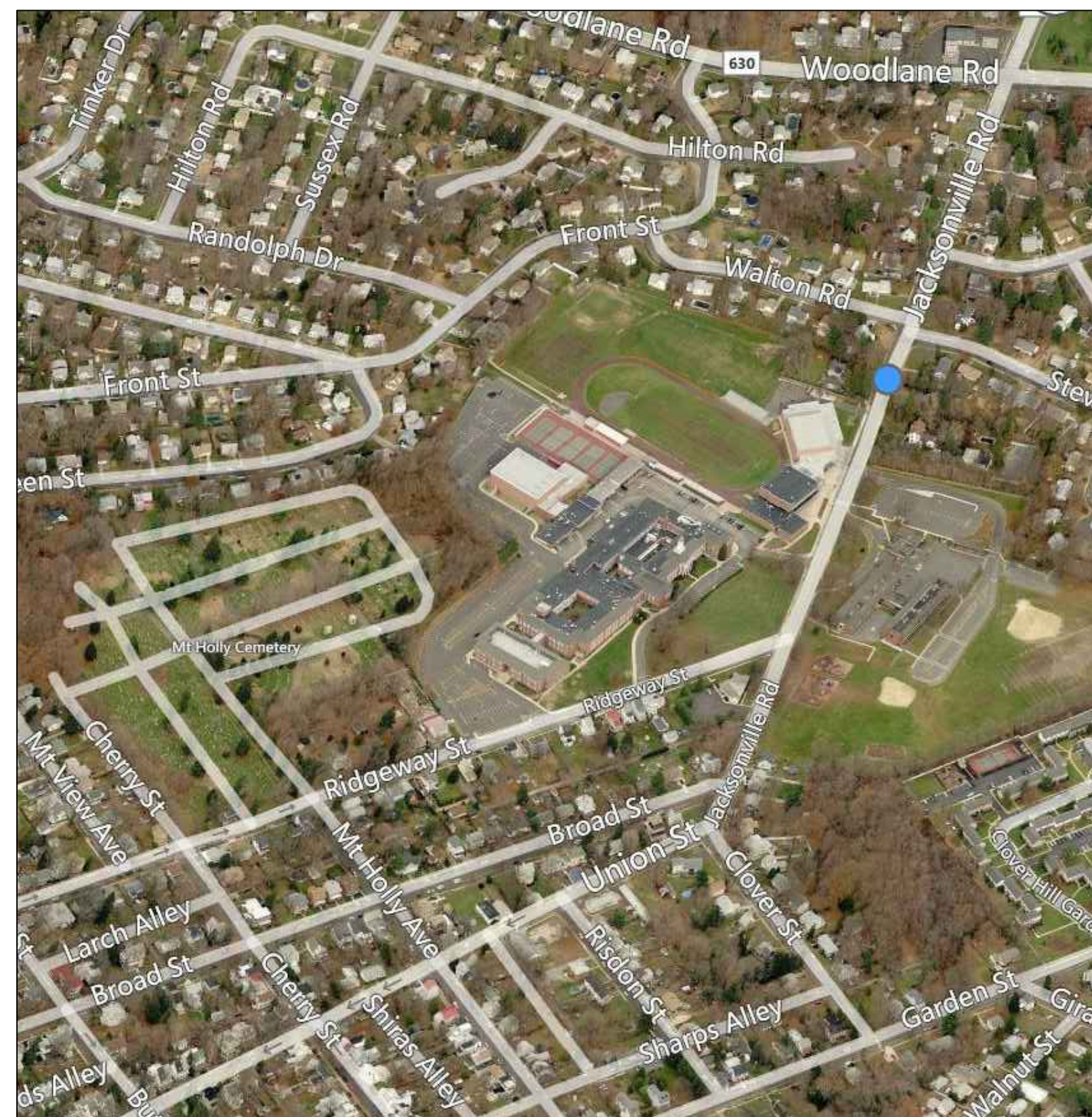
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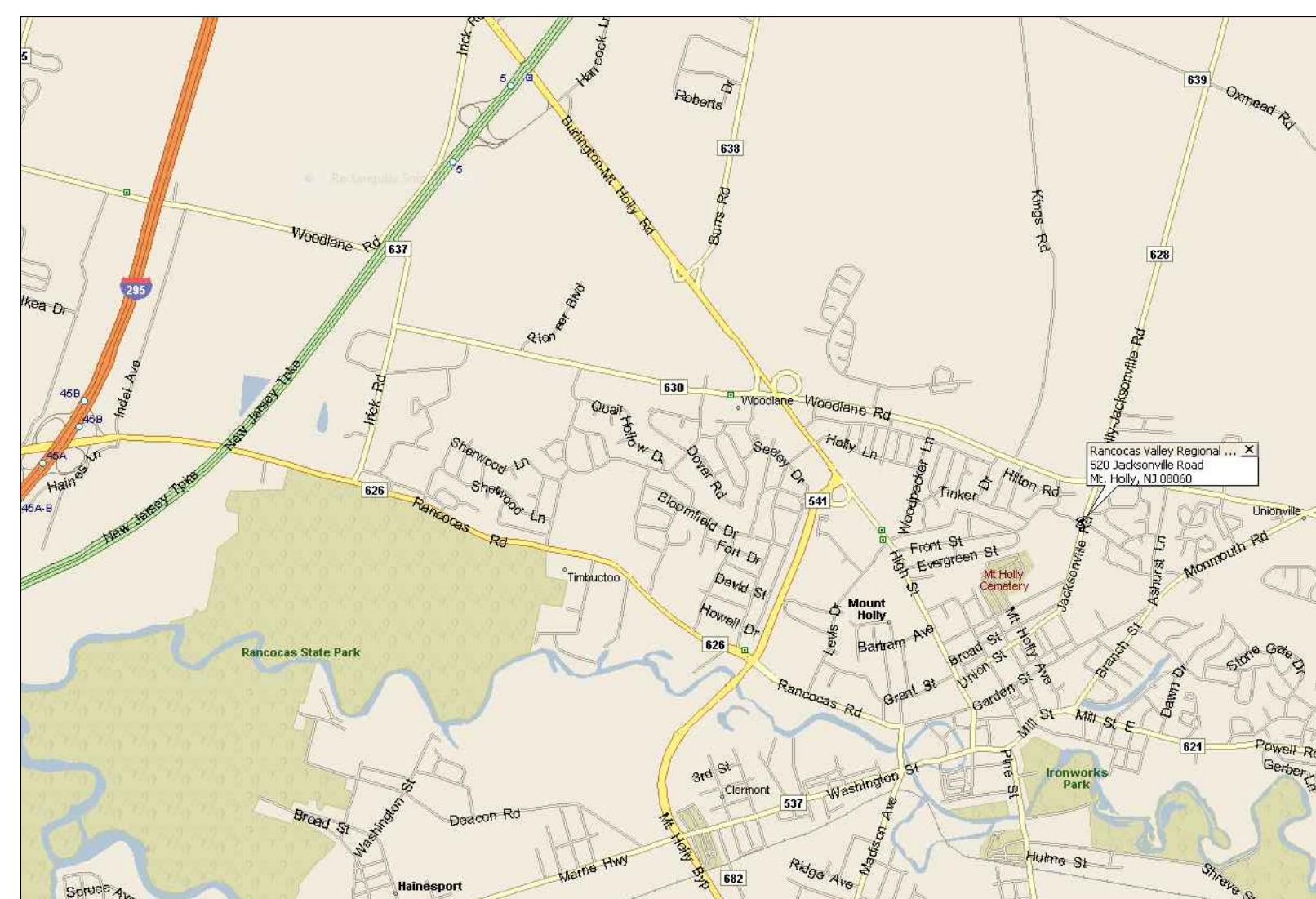
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AERIAL MAP



LOCATION MAP

No.	INDEX OF DRAWINGS
	COVER SHEET & INDEX
ARCHITECTURAL	
A-1	EXISTING/DEMOLITION PLAN
A-2	PROPOSED FLOOR PLAN & DETAILS
A-3	PROPOSED RCP PLANS
A-4	WALL TYPES AND DETAILS
A-5	ROOM FINISH SCHEDULE & RAMP DETAILS
A-6	DOOR AND FRAME SCHEDULE
A-7	DOOR AND FRAME DETAILS
A-8	ENLARGED FURNITURE & CESEWORK
STRUCTURAL	
S-1	GENERAL NOTES & PARTIAL PLANS
S-2	SECTIONS & DETAILS
MECHANICAL/PLUMBING	
M-1	EXISTING & PROPOSED MECHANICAL FLOOR PLANS
M-2	MECHANICAL SCHEDULES, DETAILS & NOTES
P-1	PLUMBING FLOOR PLANS, SCHEDULES & NOTES
ELECTRICAL	
E1	ELECTRICAL PLAN
E2	ELECTRICAL NOTES
E3	ELECTRICAL NOTES & DETAILS

GENERAL NOTES:

THE GENERAL CONTRACTOR SHALL REMOVE ALL ITEMS IN EXISTING SPACES THAT ARE BEING RENOVATED AND NO LONGER REQUIRED TO REMAIN IN THE DESIGN. THESE ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO LOCKERS, DOORS AND FRAMES, WINDOWS AND FRAMES, CEILING SYSTEM, PARTITIONS, CARPET, STOREROOM WINDOW SYSTEM, GUARDRAILS, HANDRAILS, TACK STRIPS, SHELVING/ CASEWORK AND TOILET PARTITIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL AFOREMENTIONED ITEMS ABOVE. REFER TO THE DRAWINGS AND THE SPECIFICATIONS PREPARED BY THE ARCHITECT FOR FURTHER CLARIFICATIONS.

THE PLUMBING CONTRACTOR SHALL DISCONNECT AND CAP ALL PLUMBING ITEMS IN EXISTING SPACES THAT ARE BEING RENOVATED AND NO LONGER REQUIRED TO REMAIN IN THE DESIGN. THESE ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO WATER CLOSETS, LAVATORIES, DRINKING FOUNTAINS, SHOWERS AND CONTROLS, SUPPLY LINES FOR HOT AND COLD WATER, EYE WASH STATIONS, WASH BASINS, LIMITED SPRINKLER SYSTEM AND AIR COMPRESSOR SUPPLY LINES. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL AFOREMENTIONED ITEMS ABOVE. REFER TO THE DRAWINGS AND THE SPECIFICATIONS PREPARED BY THE PLUMBING ENGINEER FOR FURTHER CLARIFICATIONS.

THE H.V.A.C. CONTRACTOR SHALL DISCONNECT AND CAP ALL H.V.A.C. ITEMS IN EXISTING SPACES THAT ARE BEING RENOVATED AND NO LONGER REQUIRED TO REMAIN IN THE DESIGN. THESE ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO UNIT VENTILATORS, THERMOSTATS, COOLING AND HEATING PIPES AND VALVE CONTROLS. THE H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL AFOREMENTIONED ITEMS ABOVE. REFER TO THE DRAWINGS AND THE SPECIFICATIONS PREPARED BY THE H.V.A.C. ENGINEER FOR FURTHER CLARIFICATIONS.

THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND CAP ALL ELECTRICAL ITEMS IN EXISTING SPACES THAT ARE BEING RENOVATED AND NO LONGER REQUIRED TO REMAIN IN THE DESIGN. THESE ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO LIGHT FIXTURES, SWITCHES, WALL OUTLETS, WIRING/ CONDUIT AND TELEPHONE SYSTEMS, REFER TO THE DRAWINGS AND THE SPECIFICATIONS PREPARED BY THE ELECTRICAL ENGINEER FOR FURTHER CLARIFICATIONS.

ALL ITEMS INDICATED TO BE REMOVED SHALL BE FIRST COORDINATED WITH ALL ASPECTS OF THE PROJECT TO CONFIRM THAT REMOVAL SHALL OCCUR. THESE DEMOLITION DRAWINGS ARE A GUIDE TO BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ENVIRONMENTAL & ANY OTHER CONSULTANT'S DRAWINGS & SPECIFICATIONS THAT PERTAIN TO THE INTENT OF WORK. IT IS THE PRIME CONTRACTOR'S AND EACH SUBCONTRACTOR'S RESPONSIBILITY TO DEMOLISH ITEMS TO COMPLETE WORK NOTED IN THE PROJECT AS SHOWN ON THE ENTIRE CONSTRUCTION DOCUMENTS.

ALL REMOVED ITEMS, IF REQUIRED TO BE SALVAGED BY OWNER, SHALL BE REMOVED BY OWNER BEFORE DEMOLITION WORK STARTS (UNLESS NOTED OTHERWISE ON THE DRAWINGS).

ASBESTOS ABATEMENT REQUIREMENTS:

THE PROJECT SCOPE OF WORK INCLUDES ABATEMENT OF ASBESTOS MATERIALS IN THE WORK AREA INCLUDING WALL PLASTER, VAT FLOOR TILE & MASTIC, AND HVAC PIPING INSULATION. ALL ASBESTOS ABATEMENT REQUIREMENTS ARE DOCUMENTED ONLY IN SPECIFICATION SECTION 17000 WHICH INCLUDES PLAN DRAWINGS SHOWING MATERIAL LOCATIONS, ABATEMENT PROCEDURES AS WELL AS WORK AREA ISOLATION, SUPERVISION AND SAFETY PRECAUTION REQUIREMENTS. SOME NON-ASBESTOS MATERIALS SHOWN TO BE REMOVED ON THIS DRAWING (I.E. CEILING GRIDS) ARE TO BE REMOVED BY THE ABATEMENT CONTRACTOR WHERE REQUIRED IN SPECIFICATION SECTION 17000. THE GC IS TO THOROUGHLY COORDINATE ALL DEMOLITION WORK WITH SPECIFICATION SECTION 17000 AND THE ABATEMENT CONTRACTOR TO VERIFY WHICH TRADE IS RESPONSIBLE FOR REMOVAL PRIOR TO STARTING ABATEMENT OR GENERAL DEMOLITION ACTIVITIES.

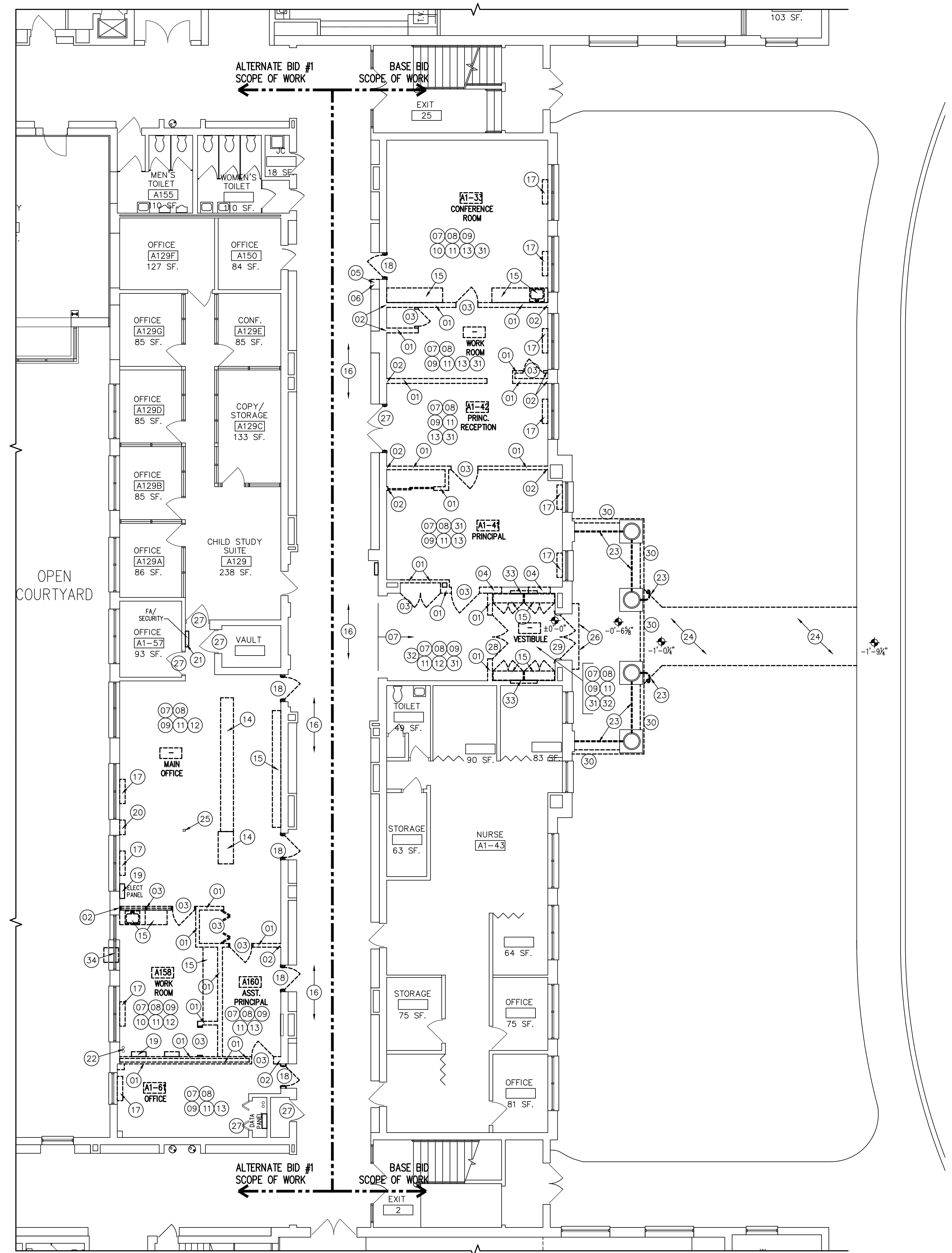
GENERAL DEMOLITION NOTES:

- 1) REMOVE ALL EXISTING MATERIALS SHOWN WITH DASHED LINES AND AS INDICATED IN DEMOLITION NOTES.
- 2) PROTECT ALL EXISTING MATERIALS, EQUIPMENT AND SURFACES TO REMAIN.
- 3) REROUTE EXISTING UTILITIES AROUND DEMOLISHED AREAS TO MAINTAIN SERVICE TO OTHER AREAS TO REMAIN.
- 4) REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 5) DEMOLITION PLANS SHOW THE APPROXIMATE LAYOUT OF THE EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENSING WITH DEMOLITION AND NEW CONSTRUCTION.
- 6) PARTITIONS AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. PARTITIONS ARE TO BE REMOVED IN THEIR ENTIRETY FROM THE FLOOR SUBSTRATE TO THE STRUCTURE ABOVE, EXCEPT WHERE NOTED OTHERWISE. REMOVE OR RELOCATE ALL EQUIPMENT, FIXTURES, FURNISHINGS AND ACCESSORIES ON THE PARTITION OR WALL. EDGES OF WALLS TO REMAIN SHALL BE SAW CUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS TO REMAIN WHERE INTERSECTING PARTITIONS, WINDOWS, DOORS, FRAMES, ETC. ARE TO BE REMOVED AND WHERE NEWLY EXPOSED EXISTING CONSTRUCTION WILL NOT BE CONCEALED BY NEW CONSTRUCTION.
- 7) WHEN CUTTING NEW OPENINGS OR REMOVING WALL PARTITIONS, PROVIDE ALL TEMPORARY SHORING, BRACING, ETC., AS NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY.
- 8) ALL OPENINGS IN SLABS, WALLS, CEILINGS AND STRUCTURES ARE TO BE SAW CUT. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 9) IN ALL AREAS WHERE FINISH MATERIALS ARE TO BE REMOVED, REMOVE IN A MANNER SO AS NOT TO DESTROY THEIR SUBSTRATE, AS THIS WILL BE USED AS THE SUBSTRATE FOR NEW WORK U.N.O. ALL DAMAGED SUBSTRATE MUST BE REPAIRED TO ACCEPT NEW CONSTRUCTION OR FINISH MATERIAL (MAY NEED SELF-LEVELING FLOOR UNDERLAYMENT).
- 10) AT NEW EXTERIOR OPENINGS OR REMOVED EXTERIOR ASSEMBLIES, PROVIDE ALL TEMPORARY WEATHER & SECURITY PROTECTION AS REQUIRED TO MAINTAIN BUILDING INTEGRITY.
- 11) COORDINATE PHASING OF DEMOLITION ACTIVITIES WITH ALL CONSTRUCTION DRAWINGS AND CONTRACT SPECIFICATIONS.
- 12) DISCONNECT AND CAP ALL PIPING AT THE LIMITS OF SELECTIVE DEMOLITION AREAS. DISCONNECT AND SAFE-OFF ALL POWER AND TELE/DATA WIRING AT THE LIMITS OF THE SELECTIVE DEMOLITION WORK.
- 13) PERFORM ALL DEMOLITION AND REMOVAL WORK IN SUCH A MANNER AS NOT TO REDUCE THE LOAD-CARRYING CAPACITY OF ANY EXISTING STRUCTURAL MEMBER, ELEMENT, WALL, ETC.
- 14) DISPOSE OF ALL REMOVED MATERIALS IN AN APPROVED ENVIRONMENTAL MANNER COMPLYING WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- 15) SEE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- 16) AFTER THE REMOVAL OF ANY WALL MOUNTED ITEMS, FILL ALL VOIDS OR HOLES IN WALLS TO A SMOOTH & CONSISTENT FINISH w/ COMPATIBLE MATERIALS TO MATCH ADJACENT FINISHES. IF ADJACENT AREA IS MASONRY, SCORE PATCHED AREA TO MATCH EXISTING COURSING. PREP WALL SURFACE TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR NEW FINISHES.

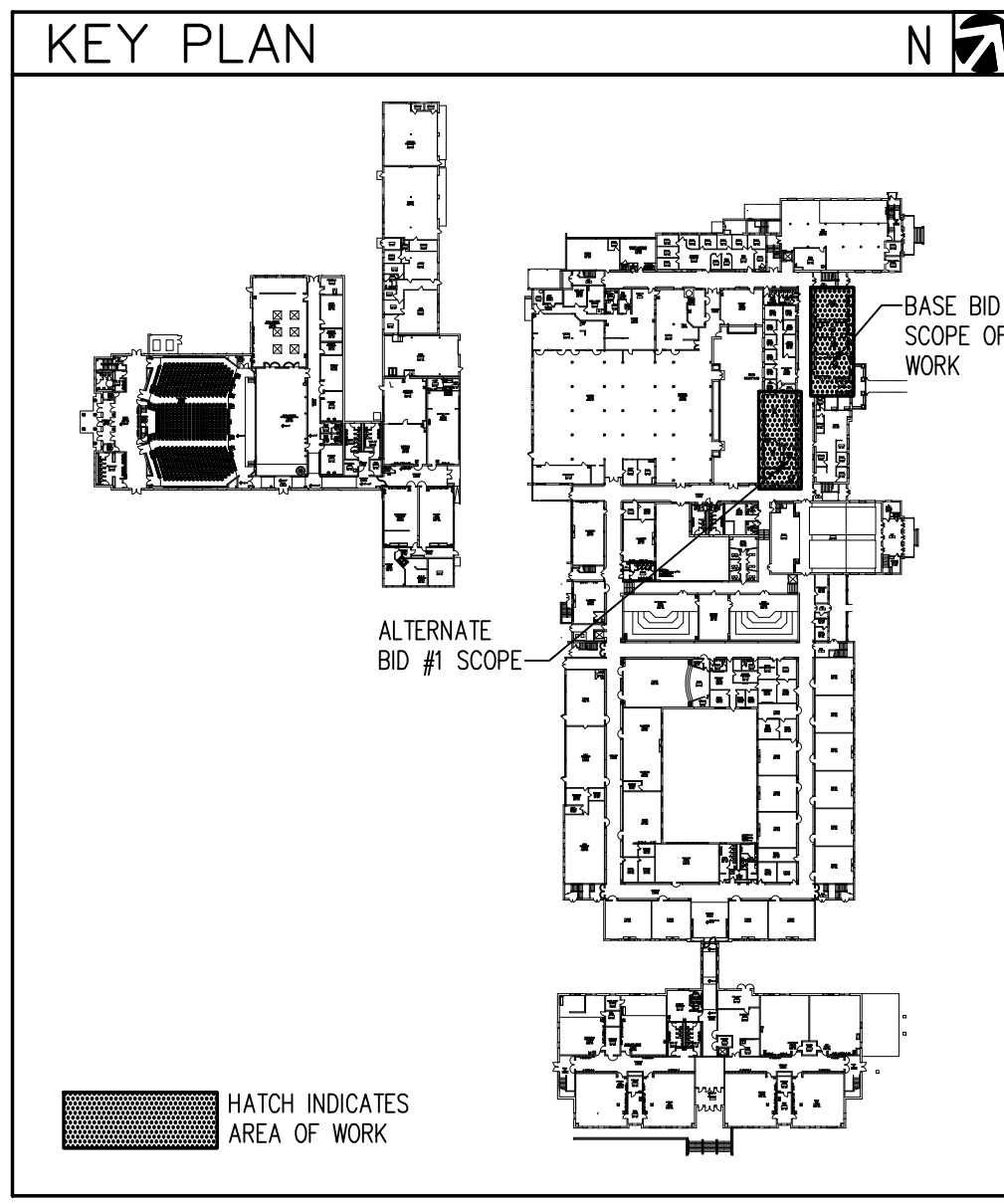
DEMOLITION KEYNOTES:

- 01 REMOVE EXISTING WALLS WHERE INDICATED TO SUIT NEW LAYOUT. PATCH FLOOR & ADJACENT WALLS TO A SMOOTH & LEVEL FINISH w/ COMPATIBLE MATERIALS TO MATCH ADJACENT, TYP.
- 02 AFTER CMU WALL OR DOOR FRAME HAS BEEN CUT AND/OR REMOVED, PROVIDE PATCH SUBSTRATES @ REMAINING STUD/PLASTER/CMU WALLS AND PREPARE FOR NEW GWB FINISH (SEE DEMOLITION NOTE # 31 FOR ADDITIONAL REQUIREMENTS). PATCH ALL EXPOSED SUBSTRATES NOT CONCEALED BY NEW CONSTRUCTION IN KIND TO MATCH ADJACENT MATERIALS AND FINISHES.
- 03 REMOVE EXISTING DOOR & FRAME IN ITS ENTIRETY. TURN OVER ALL HARDWARE TO OWNER, TYP.
- 04 SAWN CUT NEW OPENING IN WALL, TEMPORARILY SUPPORT OPENING. PROVIDE NEW UNLITEL. SEE STRUCTURAL DWGS. FOR SIZE. INSTALL NEW WINDOW OR DOOR ASSEMBLY AS INDICATED IN THE PROPOSED FLOOR PLANS. MODIFY OPENING AND ADJACENT FINISHES AS REQUIRED TO FIT NEW FRAME ASSEMBLY. COORDINATE w/ DOOR SCHEDULE WINDOW TYPES ACCORDINGLY. AFTER INSTALLATION OF NEW FRAME ASSEMBLY, REPAIR ALL ADJACENT FINISHES TO MATCH ADJACENT.
- 05 REMOVE EXISTING LOCKER UNIT, FRAME AND BASE IN ITS ENTIRETY AS NEEDED TO SUIT NEW LAYOUT. ALL EXISTING LOCKER UNITS THAT DO NOT INTERFERE WITH THE NEW LAYOUT ARE TO REMAIN AND BE PROTECTED. AT REMAINING LOCKER UNITS WITH EXPOSED SUBSTRATES, PROVIDE NEW FINISHED END PANELS MATCHING EXISTING LOCKER UNITS IN MATERIAL, STYLE AND COLOR. TURN OVER REMOVED LOCKER UNITS, DOORS, SHELVING AND ALL HARDWARE TO OWNER, TYP. PATCH LOCKER BASE TO MATCH ADJACENT.
- 06 REMOVE AND/OR MODIFY EXISTING PLASTER WALL SOFFITS ABOVE REMOVED LOCKERS AS NEEDED TO SUIT NEW LAYOUT (COORDINATE REMOVAL WITH ABATEMENT SPECIFICATION SECTION 17000). ALL DEMOLITION TO BE SAWN CUT CLEANLY AND STRAIGHT TO FACILITATE BLENDING NEW AND EXISTING MATERIALS. PROVIDE NEW GWB SOFFIT ASSEMBLIES AT REMOVED LOCKERS AS NEEDED TO MATCH EXISTING SOFFIT DIMENSIONS. COORDINATE WITH REFLECTED CEILING PLANS. BLEND NEW GWB SURFACE FINISH INTO EXISTING PLASTER AS REQUIRED TO MATCH EXISTING CEMENTITIOUS SWIRL PATTERN FINISHES USING TEXTURED ACRYLIC COATINGS. PAINT/COAT ALL NEW AND EXISTING SURFACES TO THE NEAREST NATURAL BREAK.
- 07 REMOVE EXISTING LAY-IN CEILING SYSTEM (NON-ASBESTOS CONTAINING ASSEMBLY) IN ITS ENTIRETY (COORDINATE REMOVAL WITH ABATEMENT SPECIFICATION SECTION 17000). ALL EXISTING CEILING MOUNTED DEVICES NOT INDICATED TO BE REPLACED ARE TO BE TEMPORARILY SUPPORTED AND REINSTALLED IN NEW CEILING ASSEMBLY. PROVIDE NEW CEILING TILE/GRID. PROVIDE NEW LIGHTING AND RE-INSTALL EXISTING DEVICES IN NEW CEILING ASSEMBLY AT ORIGINAL LOCATIONS (SEE ARCH. DRAWINGS FOR GRID LAYOUT AND CEILING HEIGHTS. SEE ELECTRICAL DRAWINGS FOR ALL ELEC. WORK).
- 08 REMOVE ANY CHALKBOARD, TV MONITORS, SMARTBOARD, MARKERBOARD, PROJECTION SCREEN AND/OR BULLETIN BOARDS WHERE NOTED AND AS REQUIRED FOR NEW LAYOUT. IF APPLICABLE, SCORE, CHISEL, REMOVE MASTIC DOWN TO SMOOTH & LEVEL SUBSTRATE. PATCH WALLS WITH COMPATIBLE MATERIALS TO MATCH ADJACENT FINISHES. COORDINATE WITH FINISH SCHEDULE & NEW LAYOUT. ALL AFOREMENTIONED ITEMS NOT DESIGNATED FOR RELOCATION UNDER THIS CONTRACT ARE TO BE TURNED OVER TO THE OWNER.
- 09 H.V.A.C. CONTRACTOR TO DISCONNECT, CAP AND REMOVE OR RELOCATE MECHANICAL EQUIPMENT, INCLUDING EQUIPMENT, DUCT WORK, SUPPLY REGISTERS, RETURN GRILLES, BASEBOARD HEATERS, ETC. AND ALL RELATED APPURTENANCES IN A CODE APPROVED MANNER ACCORDING TO THE H.V.A.C. DWGS. O.C. TO PATCH ALL HOLES TO SMOOTH SURFACE TO MATCH ADJACENT AFTER RENOVATION WORK IS DONE.
- 10 PLUMBING CONTRACTOR TO DISCONNECT, CAP AND REMOVE EXISTING PLUMBING FIXTURES AND APPURTENANCES IN A CODE APPROVED MANNER ACCORDING TO THE PLUMBING DRAWINGS. THESE ITEMS INCLUDE ANY DRINKING FOUNTAINS, EYE WASH, WATER CLOSET, LAVATORIES, SHOWERS, SINKS, ETC. O.C. TO PATCH ALL HOLES TO SMOOTH SURFACE TO MATCH ADJACENT AFTER DEMOLITION WORK IS COMPLETE.
- 11 ELECTRICAL CONTRACTOR TO DISCONNECT, CAP AND REMOVE OR RELOCATE LIGHT FIXTURES, TV CAMERAS, SWITCHES, FIRE ALARM, WALL OUTLETS, POWER POLES, EMERGENCY POWER SHUT OFFS, ELECTRICAL PANELS, ETC. AND ALL RELATED APPURTENANCES IN A CODE APPROVED MANNER ACCORDING TO ELECTRICAL DWGS. RELOCATE & RECONNECT ELECTRICAL ITEMS PER OWNER'S DIRECTION AFTER RENOVATION WORK IS DONE (IF REQUIRED).
- 12 REMOVE EXISTING VCT & ALL FLOORING/MASTIC DOWN TO THE SLAB (COORDINATE REMOVAL WITH ABATEMENT SPECIFICATION SECTION 17000) REMOVE EXISTING WALL BASE. PREPARE EXISTING FLOOR SLAB FOR NEW FINISHES (INCLUDING LEVELING AS NEEDED TO COMPLY WITH MANUFACTURER'S REQUIREMENTS). PROVIDE NEW FLOOR FINISH OVER EXISTING SLAB AND PROVIDE NEW WALL BASE, TYP. (COORDINATE EXISTING AND NEW FINISHES WITH THE ROOM FINISH SCHEDULE).
- 13 REMOVE EXISTING CARPET & ALL FLOORING/MASTIC DOWN TO THE SLAB. REMOVE EXISTING WALL BASE. PREPARE EXISTING FLOOR SLAB FOR NEW FINISHES (INCLUDING LEVELING AS NEEDED TO COMPLY WITH MANUFACTURER'S REQUIREMENTS). PROVIDE NEW FLOOR FINISH OVER EXISTING SLAB AND PROVIDE NEW WALL BASE, TYP. (COORDINATE EXISTING AND NEW FINISHES WITH THE ROOM FINISH SCHEDULE).
- 14 REMOVE, SALVAGE AND PROTECT EXISTING FILE CABINETS, BASE AND COUNTERTOP ASSEMBLY. REINSTALL EXISTING ASSEMBLY IN ITS COMPLETE AND ORIGINAL CONFIGURATION AS SHOWN ON THE PROPOSED FLOOR PLAN. PROVIDE NEW BLOCKING, BASES, FINISHED FILLER PANELS, ETC. AS NEEDED TO MATCH THE ORIGINAL INSTALLATION.
- 15 REMOVE EXISTING BUILT-IN CASEWORK, DISPLAY CASES, BASE CABINETS, WALL CABINETS, MAILBOXES, COUNTERTOPS AND/OR BOOKCASES IN THEIR ENTIRETY. PATCH FASTENER HOLES AND DAMAGED SUBSTRATES AS NEEDED TO RECEIVE NEW FINISHES AND EQUIPMENT. SALVAGE BUILT-IN CASEWORK AND TURN OVER TO THE OWNER AT OWNER'S REQUEST (TYP). ITEMS NOT REQUESTED BY THE OWNER ARE TO BE DISPOSED OF BY THE GC IN AN ENVIRONMENTAL MANNER.
- 16 EXISTING LAY-IN CEILING ASSEMBLY TO REMAIN, WHERE ANY WORK IS TO BE DONE ABOVE EXISTING LAY-IN CEILING TILE, IT IS THE SOLE RESPONSIBILITY OF THAT DESIGNATED CONTRACTOR TO REMOVE AND/OR CUT THE NECESSARY CEILING TILES AND GRID REQUIRED FOR INSTALLATION, THEN PATCH GRID AND REINSTALL CEILING TILES AFTER INSTALLATION. RESTORE ROOM TO PREVIOUS CONDITION PRIOR TO RENOVATION.

- 17 DISCONNECT & REMOVE EXISTING HVAC FAN COIL UNITS & ALL RELATED PIPING AND APPURTENANCES. AFTER REMOVAL, PATCH/REPAIR FLOOR, WALLS AND/OR CEILING TILE/GRID AS REQUIRED WITH COMPATIBLE MATERIALS TO MATCH ADJACENT (U.N.O.). PROTECT OUTSIDE AIR LOUVER AND PREPARE TO RECEIVE NEW HVAC EQUIPMENT. SEE PROPOSED FLOOR PLANS & MECHANICAL DWGS. FOR NEW LAYOUT (TYP).
- 18 CAREFULLY REMOVE EXISTING DOOR & FRAME WHILE SALVAGING EXISTING TRIM AND BLOCKING. REFER TO THE NEW DOOR DETAILS FOR SPECIFIC REQUIREMENTS OF DEMOLITION AND SALVAGE FOR REUSE. PROVIDE NEW DOOR & FRAME IN EXISTING OPENING. MODIFY OPENING AS REQUIRED TO ACCEPT NEW FRAME ASSEMBLY. COORDINATE WITH DOOR SCHEDULE AND DOOR DETAILS. PATCH ADJACENT FINISHES WITH COMPATIBLE MATERIALS WHERE DISTURBED BY NEW CONSTRUCTION. REMOVE AND SALVAGE EXISTING HARDWARE AND TURN OVER TO OWNER.
- 19 EXISTING ELECTRICAL ENCLOSURE BOX AND CONDUIT IS TO REMAIN AND BE PROTECTED. MODIFY ENCLASURE BOX ONLY AS NEEDED TO ACCOMMODATE NEW LAYOUT. SEE ELECTRICAL DRAWINGS AND SPECS FOR COMPLETE SCOPE OF WORK (TYP).
- 20 REMOVE, SALVAGE AND PROTECT EXISTING FIRE ALARM/SECURITY PANEL BOX AND WIRING IN ITS ENTIRETY. PATCH FASTENER HOLES AND SUBSTRATES WITH COMPATIBLE MATERIALS TO MATCH ADJACENT FINISHES. REINSTALL PANEL BOX TO ITS ORIGINAL LOCATION IN A NEW ADJACENT LOCATION AS SHOWN ON THE PROPOSED FLOOR PLANS AND ELECTRICAL DRAWINGS. SEE ELECTRICAL DRAWINGS AND SPECS FOR COMPLETE SCOPE OF WORK (TYP). AS AN ALTERNATIVE AND ONLY IF SUFFICIENT SLACK IN WIRING EXISTS, THE EC MAY UNFASTEN AND TEMPORARILY SUPPORT/PROTECT EXISTING FIRE ALARM/SECURITY PANEL BOX IN ITS CURRENT OPERATIONAL CONDITION. ROTATE AND REINSTALL THE ENTIRE ASSEMBLY ON THE NEW PARTITION WALL AS SHOWN IN THE PROPOSED FLOOR PLANS. SEE ELECTRICAL DRAWINGS AND SPECS FOR RESTRICTIONS AND REQUIREMENTS.
- 21 EXISTING FIRE ALARM/SECURITY PANEL BOX AND WIRING IS TO REMAIN. PROTECT AND MAINTAIN EQUIPMENT OPERATION DURING CONSTRUCTION. PAINT ALL EXPOSED CONDUIT TO MATCH NEW FINISHES. SEE ELECTRICAL DRAWINGS AND SPECS FOR COMPLETE SCOPE OF WORK (TYP).
- 22 EXISTING HOT WATER HEATING PIPING TO REMAIN. PROTECT AND MAINTAIN OPERATION DURING CONSTRUCTION. PROVIDE NEW CHASE ENCLOSURE AS SHOWN ON THE PROPOSED FLOOR PLANS.
- 23 REMOVE EXISTING EXTERIOR HANDRAILS IN THEIR ENTIRETY. PATCH FASTENER HOLES AND DAMAGED SUBSTRATES AS NEEDED TO MATCH EXISTING ADJACENT FINISHES. PAINT ALL PATCHED AREAS TO MATCH ADJACENT FINISHES WITH EXTERIOR GRADE PAINT (APPLY TO THE NEAREST NATURAL BREAK). SALVAGE HANDRAILS AND TURN OVER TO THE OWNER AT OWNER'S REQUEST (TYP). ITEMS NOT REQUESTED BY THE OWNER ARE TO BE DISPOSED OF BY THE GC IN AN ENVIRONMENTAL MANNER.
- 24 REMOVE EXISTING SIDEWALK AND ADJACENT TOPSOIL/EARTHWORK INCLUDING ALL VEGETATION, ROOTS AND ORGANIC MATERIALS IN THE AREA OF NEW CONCRETE RAMP. PREP SUBGRADE AND COMPACT TO 95% MAXIMUM DENSITY USING THE STANDARD PROCTOR METHOD. PROVIDE NEW CRUSHED STONE BED AND CONCRETE RAMP ASSEMBLY AS SHOWN IN THE PROPOSED FLOOR PLANS.
- 25 EXISTING 4" STEEL TUBE COLUMN TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE NEW PAINT FINISH MATCHING FINISHES SPECIFIED IN THE ROOM FINISH SCHEDULE.
- 26 EXISTING SLATE STEP THRESHOLD TO REMAIN BELOW EXISTING DOOR FRAME AND EXTERIOR WALL. CUT AWAY ALL EXPOSED PORTIONS OF THE SLATE BLOCK AS CLOSE TO THE SURFACES BEARING ON THE BLOCK AS POSSIBLE (REMOVE AS MUCH OF THE BLOCK AS POSSIBLE WITHOUT DAMAGING THE SUPPORT OF DOOR FRAME AND WALL RESTING ON THE BLOCK ITSELF). PREP EXPOSED SURFACES TO RECEIVE NEW CONCRETE SLAB. COORDINATE WORK WITH NEW CONCRETE SLAB LAYOUT AS SHOWN ON THE ARCH. AND STRUCTURAL DRAWINGS.
- 27 EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.
- 28 REMOVE EXISTING DOOR & FRAME IN ITS ENTIRETY. SALVAGE EXISTING DOOR AND HARDWARE FOR REUSE. REINSTALL EXISTING DOOR AND HARDWARE IN NEW ALUMINUM FRAME ASSEMBLY (REFER TO THE DOOR SCHEDULE AND HARDWARE SPECS FOR REQUIREMENTS). PATCH ADJACENT FINISHES AT REMOVED FRAMES WITH COMPATIBLE MATERIALS WHERE DISTURBED BY NEW CONSTRUCTION.
- 29 REMOVE EXISTING DOOR & HARDWARE. EXISTING FRAME TO REMAIN AND BE PROTECTED. MODIFY FRAME AS REQUIRED TO RECEIVE NEW DOOR AND HARDWARE (REFER TO THE DOOR SCHEDULE AND HARDWARE SPECS FOR REQUIREMENTS). SALVAGE EXISTING HARDWARE AND TURN OVER TO OWNER.
- 30 REMOVE EXISTING BRICK PAVERS AT PERIMETER OF PATIO ONLY (EXCEPT BELOW EXISTING COLUMN BASES). ALL EXISTING COLUMN BASES ARE TO REMAIN AND BE PROTECTED. AT THE REMAINING BRICK PATIO, REMOVE ANY BRICKS THAT HAVE BECOME LOOSE DURING THE REMOVAL OF THE PERIMETER COURSE. PREPARE REMAINING PATIO SURFACES TO RECEIVE NEW CONCRETE SLAB TOPPING WITH PERIMETER TURN-DOWN LEG (SEE DETAILS ON ARCH. AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS).
- 31 ALL EXISTING PLASTER WALL AND UPPER CEILING SURFACES ARE TO BE ABATED AS INDICATED IN SPECIFICATION SECTION 17000. FOLLOWING ABATEMENT AND RELATED DEMOLITION ACTIVITIES, PROVIDE NEW 3/8" GWB WALLBOARD TO REPLACE THE REMOVED PLASTER AT ALL VERTICAL WALL SURFACES THROUGHOUT THE ROOM AT MASONRY SUBSTRATES. ALSO PROVIDE NEW 1" HAT CHANNEL FRAMING AT 16" O.C. TO SUPPORT NEW GWB SURFACES. ALL EXISTING SUBSTRATES MUST BE PREPARED AS REQUIRED TO RECEIVE NEW GWB WALLBOARD (SMOOTHED AND LEVEL, FILL VOIDS, REPLACE DAMAGED SUBSTRATES, ETC.).
- 32 REMOVE EXISTING APPLIED TILE WAINSCOT IN ITS ENTIRETY (IF TILE IS INTEGRAL TO PLASTER SURFACES IN THIS ROOM, FOLLOW ABATEMENT PROCEDURES FOR REMOVAL PER SPEC SECTION 17000). PREP SUBSTRATES TO RECEIVE NEW 3/8" GWB WALLBOARD. REMOVE AND SALVAGE EXISTING WOOD TRIM CHAIR RAIL MOLDING (BLACK). FOLLOWING INSTALLATION OF NEW GWB FINISHES, REINSTALL WOOD MOLDING MATCHING EXISTING HEIGHT AT FULL PERIMETER OF ROOM. PROVIDE NEW WOOD TRIM TO MATCH EXISTING WHERE ADDITIONAL TRIM IS REQUIRED (PROVIDE NEW BLACK PAINT FINISH AT ALL EXISTING AND NEW TRIM).
- 33 DISCONNECT & REMOVE EXISTING RECESSED FIN TUBE ASSEMBLY & ALL RELATED AIR GRILLES, PIPING AND APPURTENANCES. CAP AND SEAL EXISTING PIPING TO REMOVED FIN TUBE UNIT ONLY (MAINTAIN EXISTING HOT WATER CIRCULATION LOOP). AFTER REMOVAL, PATCH AND INFILL WALL RECESS AS REQUIRED WITH COMPATIBLE MATERIALS TO MATCH ADJACENT (U.N.O.).
- 34 DISCONNECT & REMOVE EXISTING WINDOW AIR CONDITIONER & ALL RELATED APPURTENANCES. REBURISH EXISTING WOOD WINDOW SASH AS REQUIRED FOR ORIGINAL DOUBLE HUNG OPERATION (I.E. REMOVE FASTENERS, REPAIR SASH TRACKS, RESTORE BALANCES, REINSTALL SASH TRIM STOPS, ETC.).



1 EXISTING PARTIAL FLOOR PLAN
SK-2 MAIN OFFICE RENOVATIONS SCALE: 1/8" = 1'-0"



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MT. HOLLY, NEW JERSEY 08060

REVISIONS

a.	e.
b.	f.
c.	g.

Project No. 18-91
Date: 02/25/19
Scale: AS NOTED

EXISTING/DEMOLITION PLAN
A-1

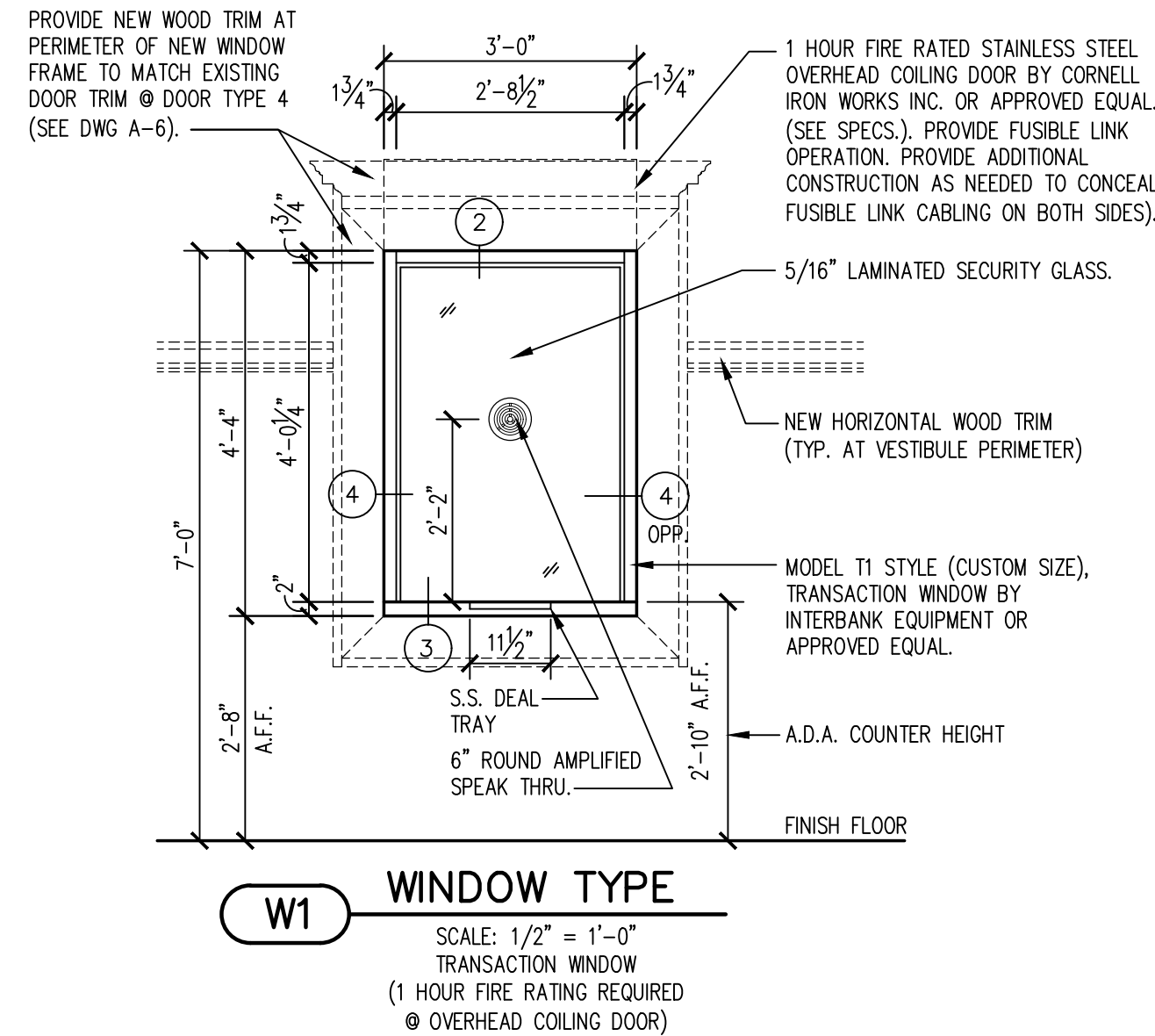
PROJECT REQUIREMENTS AND NOTES:

1. PROVIDE A SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR ALL WORK TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO START OF WORK. INCLUDE COORDINATION FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE CONTROL PROTECTION.
2. PROVIDE A DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK TO ENSURE UNINTERRUPTED PROGRESS OF OWNER'S ON-SITE OPERATIONS.
3. THE OWNER WILL OCCUPY PORTIONS OF THE BUILDING IMMEDIATELY ADJACENT TO AREAS OF SELECTIVE DEMOLITION AND NEW CONSTRUCTION. COORDINATE WORK WITH OWNER'S CONTINUING OCCUPATION OF THE EXISTING BUILDING. CONDUCT ALL WORK, INCLUDING SELECTIVE DEMOLITION IN A MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS. PROVIDE MINIMUM OF 72 HOURS ADVANCED NOTICE TO OWNER FOR DEMOLITION ACTIVITIES THAT WILL AFFECT OWNER'S NORMAL OPERATIONS.
4. PROVIDE PHOTOGRAPHS OF EXISTING CONDITIONS IN ALL AREAS OF DEMOLITION AND NEW WORK TO DOCUMENT ITEMS THAT MIGHT BE MISCONSTRUED AS DAMAGE RELATED TO REMOVAL OPERATIONS. SUBMIT TO OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
5. ALL EQUIPMENT AND FINISH COLOR SELECTIONS ARE TO BE MADE BY THE OWNER DURING CONSTRUCTION (PRIOR TO PURCHASING) FROM APPROVED MANUFACTURER'S STANDARD COLOR OPTIONS.
6. PROTECT FLOORS AND OTHER FINISHED SURFACES WITH SUITABLE COVERINGS WHEN NECESSARY. REMOVE PROTECTION MATERIALS AT COMPLETION OF WORK.
7. COVER AND PROTECT FURNITURE, EQUIPMENT AND FIXTURES FROM SPOILAGE OR DAMAGE WHEN ANY WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
8. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
9. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY SELECTIVE DEMOLITION OPERATIONS. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED TO RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.

TYPICAL GENERAL NOTES:

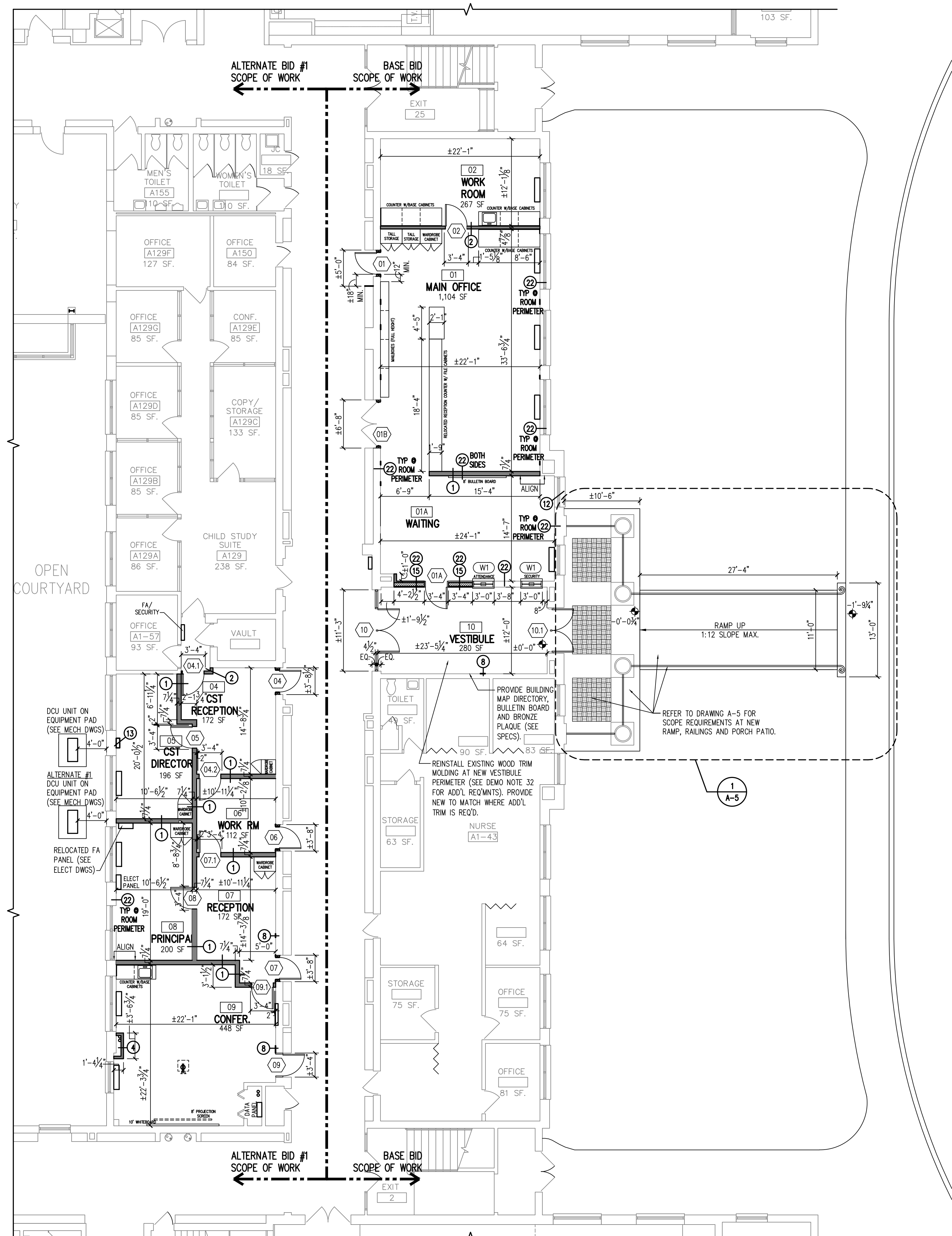
1. SAFETY: THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND ENFORCE ALL SAFETY ON-SITE AND CONFORM WITH ALL OSHA REGULATIONS, CODES AND STANDARDS. THE OWNER, CONSTRUCTION MANAGER, CLERK OF THE WORKS AND ARCHITECT HAVE NO RESPONSIBILITY TO PROVIDE FOR THE SAFETY OR PROTECTION OF THE TRADES. THE CONTRACTOR SHALL SUBMIT A SITE SPECIFIC EMERGENCY ACTION SAFETY PLAN AND REVIEW THIS WITH ALL ON-SITE PERSONNEL. THE CONTRACTOR SHALL CONDUCT PERIODIC (AS NEEDED AT LEAST ONE A MONTH) SITE SAFETY INSPECTIONS AND ISSUE A REPORT ON THE CONDITIONS. THE CONTRACTOR SHALL MAINTAIN A FIRST AID KIT ON-SITE.
2. BUILDING LAYOUT WAS TAKEN FROM EXISTING DRAWINGS AND FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND PROMPTLY NOTIFY THE ARCHITECT SHOULD CONDITIONS ENCOUNTERED VARY FROM THE DRAWINGS. ROOF DETAILS AS SHOWN ARE DIAGRAMMATIC AND SHOW INTENT. CONTRACTOR MUST FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
3. THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE EXISTING ACTUAL CONDITIONS THAT THE CONTRACTOR MAY ENCOUNTER DURING THE COURSE OF THE WORK.
4. THE CONTRACTOR SHALL EXERCISE EXTREME CARE REGARDING PUBLIC SAFETY IN THE PERFORMANCE OF THE WORK AND SHALL NOT IMPURE THE OWNER'S OPERATION AS PORTIONS OF THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.
5. ACCESS BY PERSONNEL, PARKING, AND MATERIAL STORAGE SHALL BE ONLY IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
6. DURING CONSTRUCTION, CLEAN AND PROTECT WORK IN PROGRESS. PROMPTLY REMOVE ANY DEBRIS FROM THE SITE. NO TRASH ACCUMULATION IS PERMITTED. TRANSPORT AND LEGALLY DISPOSE OF MATERIAL OFF SITE.
7. THE CONTRACTOR SHALL MAINTAIN FULL SECURITY AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND ANY OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY.
8. ERECT AND MAINTAIN DUST-PROOF PARTITION AND CLOSURES AS REQUIRED TO PREVENT SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING.
9. PERFORM ALL DEMOLITION & REMOVAL WORK IN SUCH A MANNER AS NOT TO REDUCE THE LOAD-CARRYING CAPACITY OF ANY EXISTING STRUCTURAL MEMBER, ELEMENT, WALL, ETC. CEASE OPERATIONS AND NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
10. DO NOT USE FLAME CUTTING TORCHES FOR ON-SITE WORK.
11. THE CONTRACTOR SHALL INSPECT AND DOCUMENT THE INTERIOR OF THE BUILDING WHERE WORK IS TO TAKE PLACE WITH THE OWNER TO IDENTIFY THE CONDITIONS OF EXISTING FINISHES, EQUIPMENT, THE OPERATION OF EQUIPMENT ADJACENT TO AND RELATIVE TO THE WORK, AND SPECIAL PROVISIONS FOR PROTECTION OF INTERIOR CONTENTS, FURNISHINGS, EQUIPMENT, & FINISHES. THE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AND CLEAN ALL SURFACES TO ENSURE THAT POST-CONSTRUCTION CONDITIONS MATCH THE PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
12. ALL ELECTRICAL/DATA/COMMUNICATIONS WIRING, CONDUIT, GAS, WATER AND OTHER UTILITIES SHALL BE REMOVED AND REPOSITIONED AS REQUIRED TO ACCOMPLISH THE WORK WITHOUT DISRUPTION OF SERVICE EXCEPT WHERE PRIOR APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
13. UPON COMPLETION OF ALL WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS WIPED DOWN AND BROOM CLEAN.

INTERIOR WINDOW TYPES:



GENERAL NOTES:

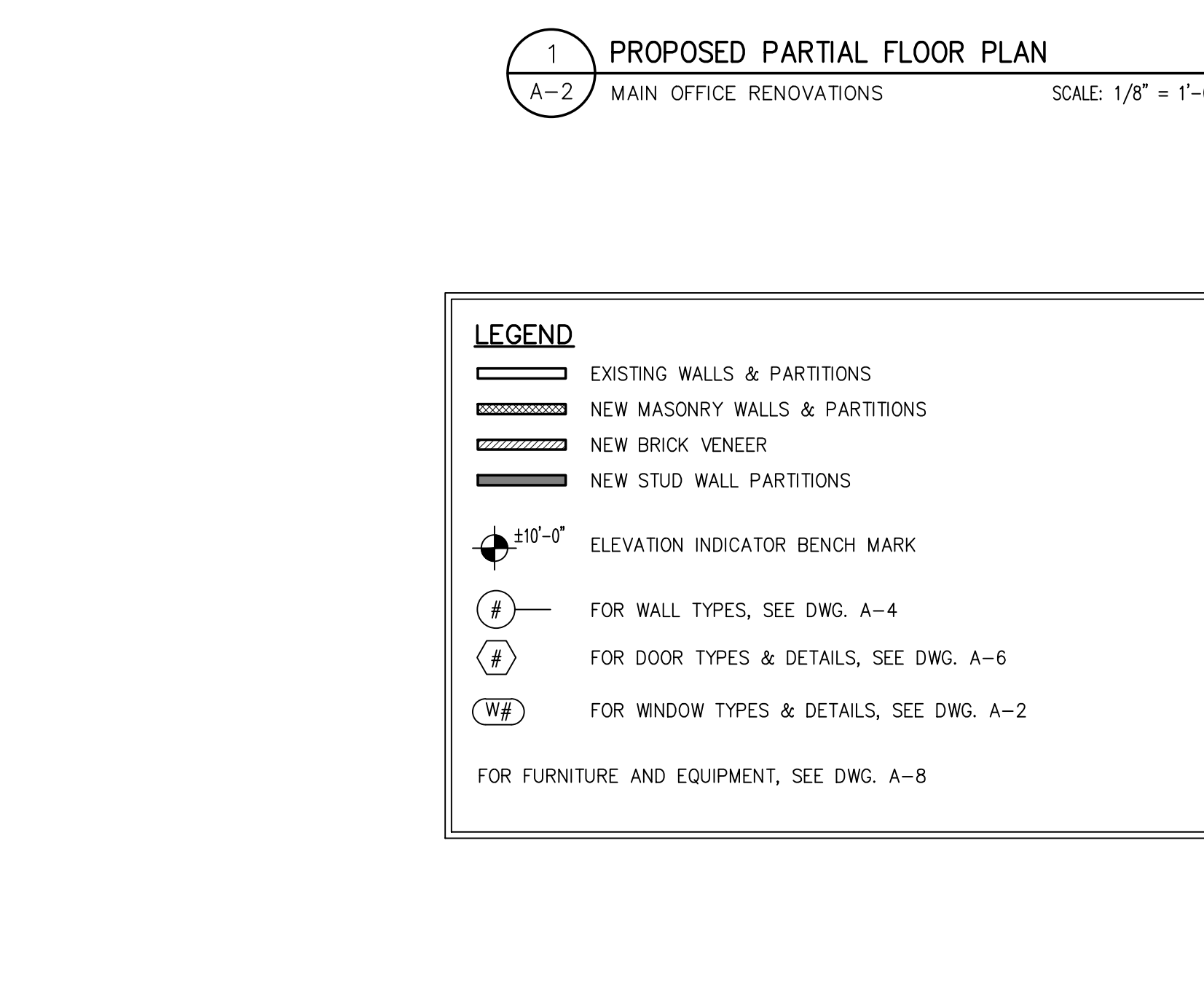
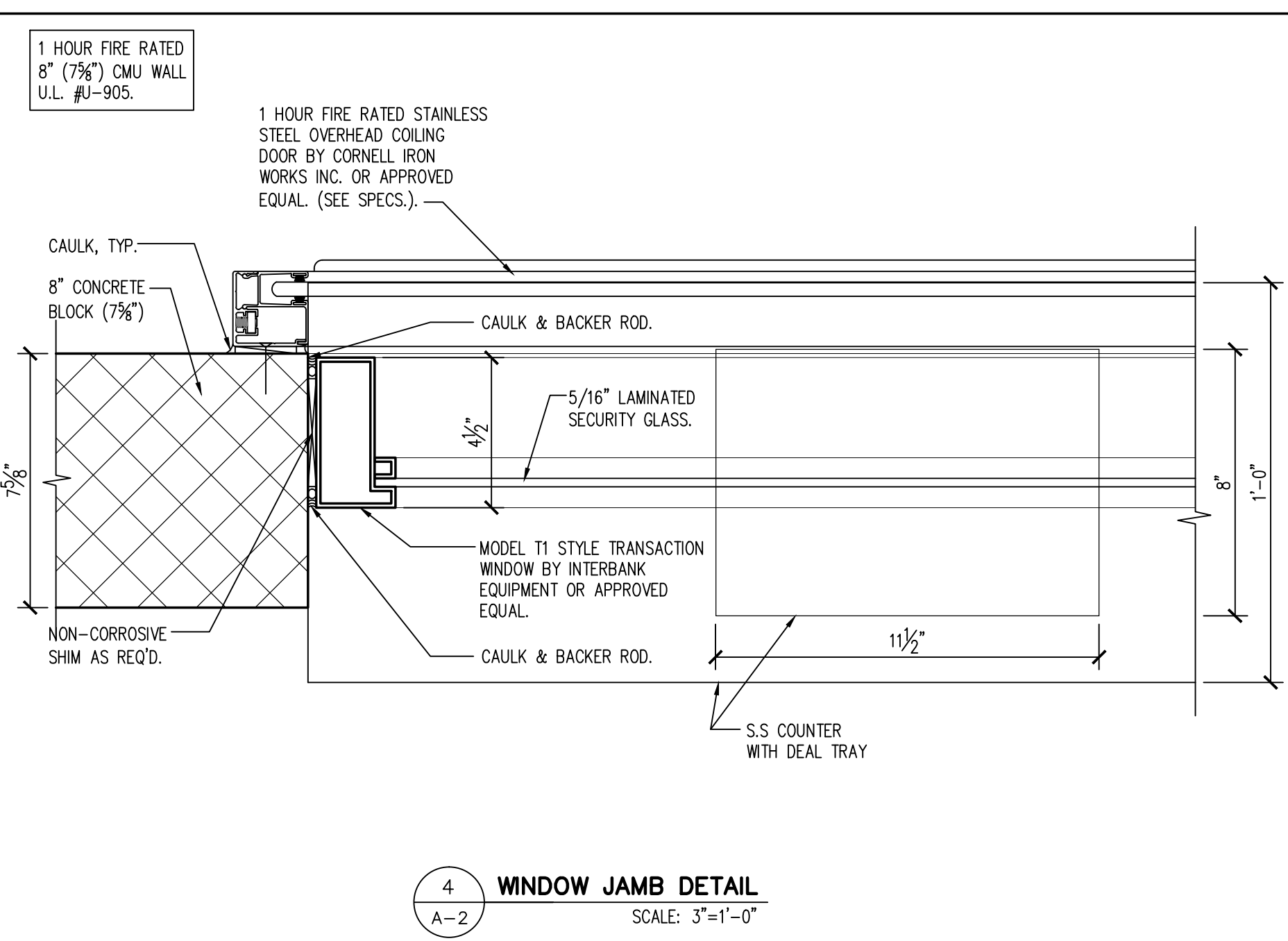
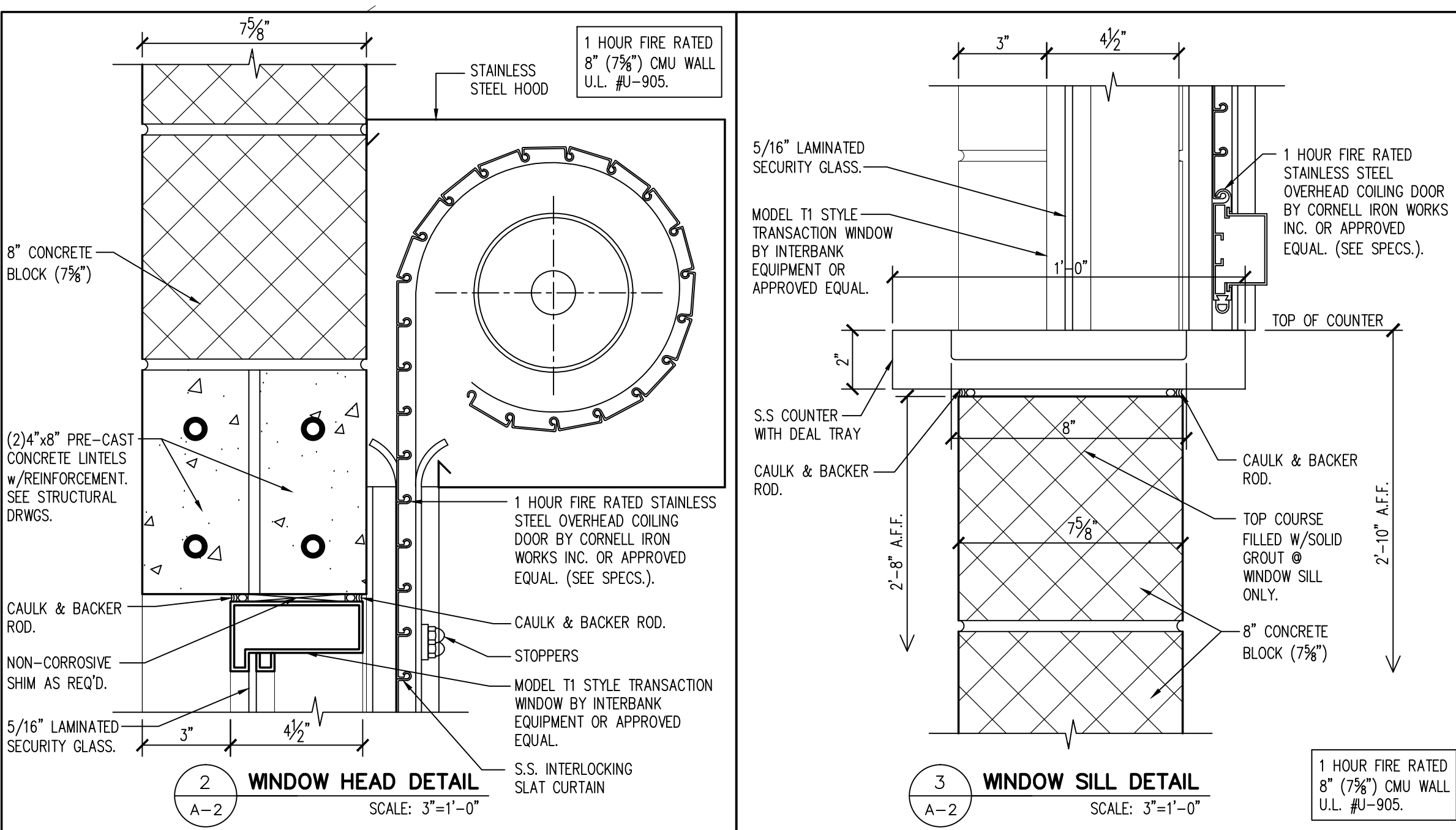
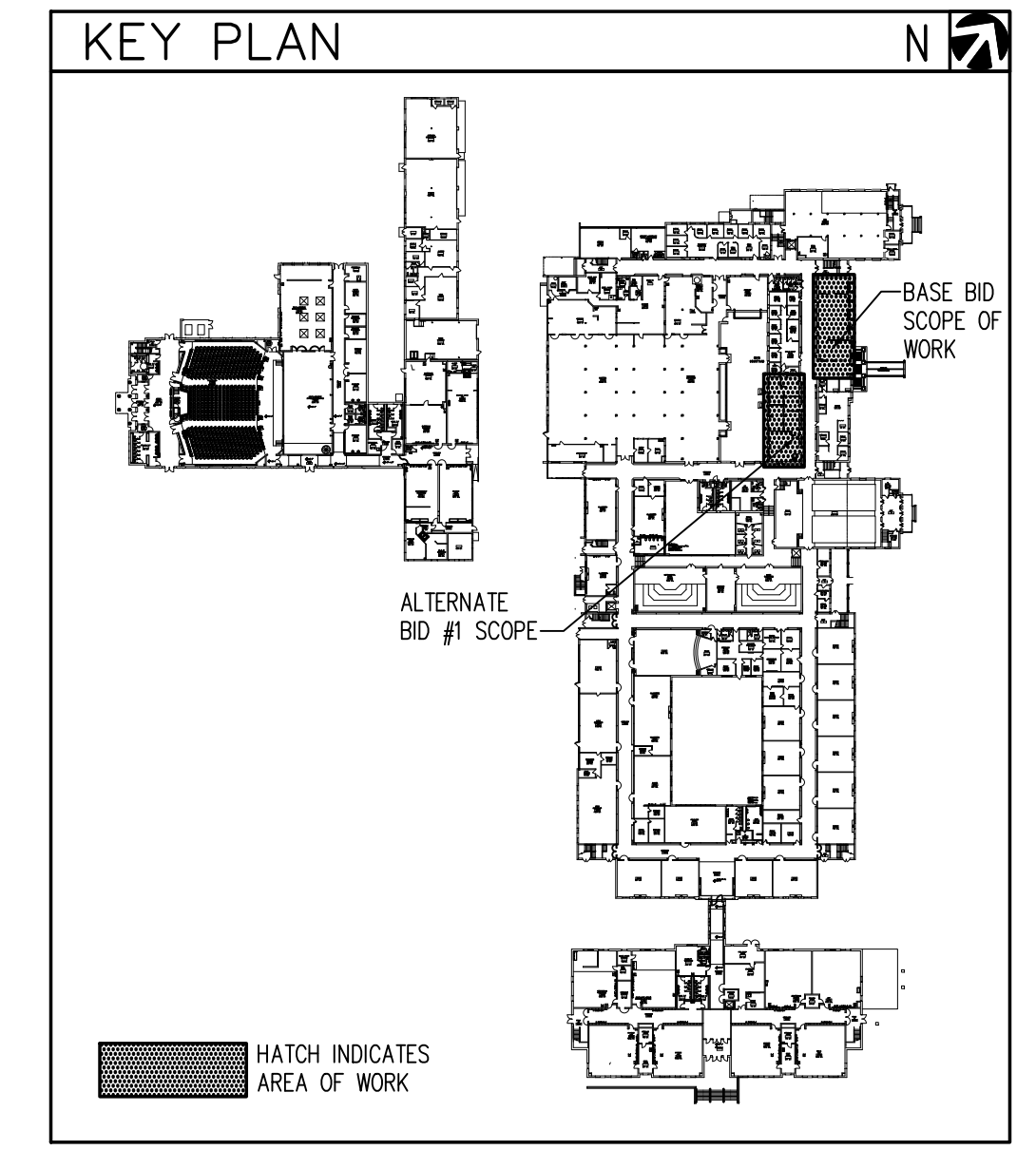
1. CONTRACTOR SHALL VISIT THE SITE AND BUILDING TO DETERMINE ACTUAL FIELD CONDITIONS AND QUANTITIES OF MATERIALS. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO DETERMINE ACTUAL FIELD CONDITIONS.
2. WHEN ALUMINUM SYSTEMS ARE IN DIRECT CONTACT WITH PRESSURE TREATED WOOD:
 - A. USE NON-CORROSIVE SHIMS BETWEEN THE ALUMINUM SYSTEM & THE TREATED WOOD.
 - B. USE ONLY STAINLESS STEEL FASTENERS. SEE SPECS.
 - C. DO NOT USE CA OR ACQ TREATED LUMBER FOR WOOD BLOCKING.
3. ALL CAULKING SHOULD BE PAINTABLE SILICONE SEALANT. (SEE SPECIFICATIONS)
4. ALL JOINTS BETWEEN CAST STONE & BRICK SHALL BE CAULKED & BACKER ROD, WITH SILICONE SEALANT, TYPICAL. (NO MORTAR JOINTS)
5. ALL DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (±) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS.

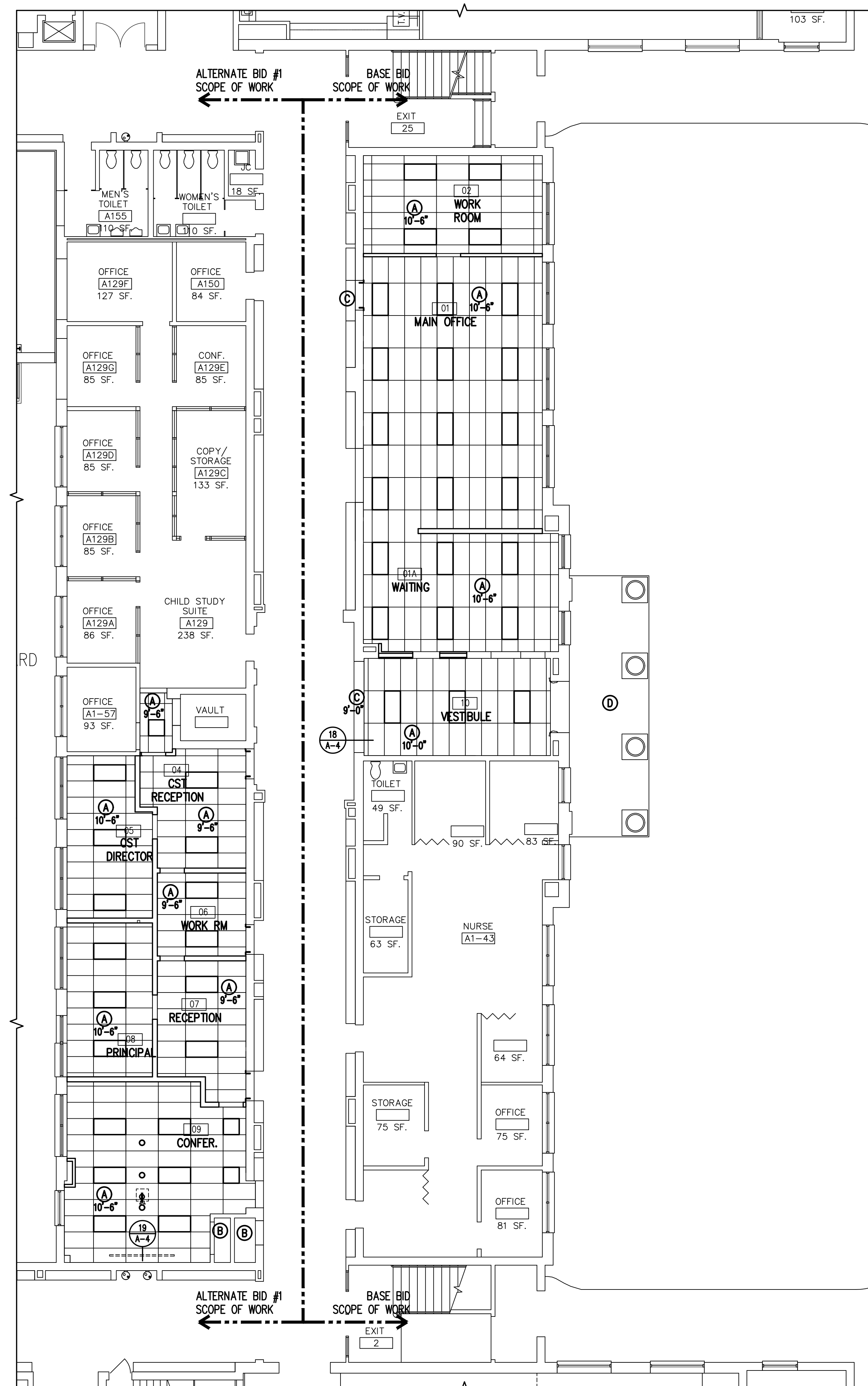


1 PROPOSED PARTIAL FLOOR PLAN
A-2 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"

LEGEND

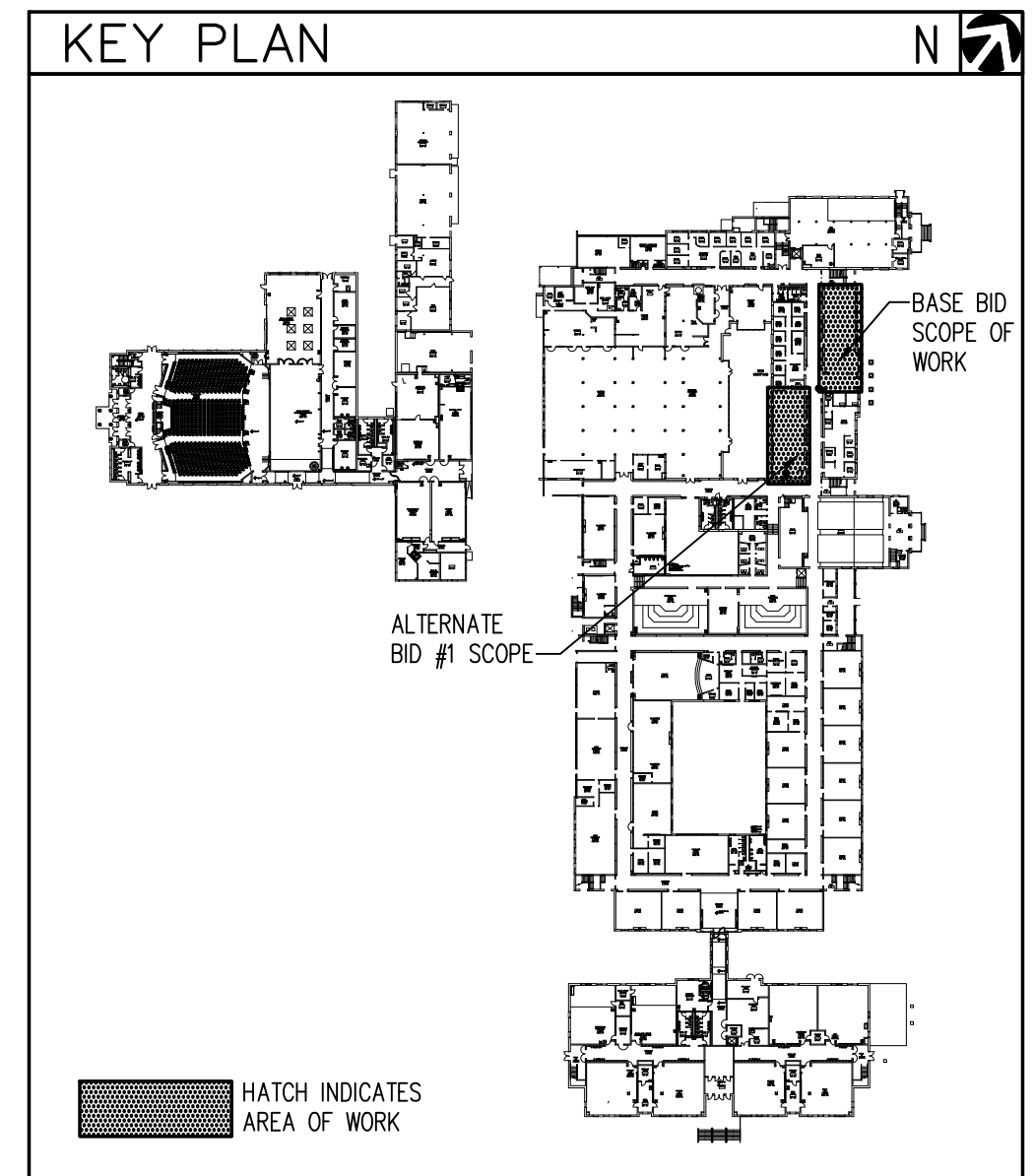
- EXISTING WALLS & PARTITIONS
- NEW MASONRY WALLS & PARTITIONS
- NEW BRICK VENEER
- NEW STUD WALL PARTITIONS
- ELEVATION INDICATOR BENCH MARK
- FOR WALL TYPES, SEE DWG. A-4
- FOR DOOR TYPES & DETAILS, SEE DWG. A-6
- FOR WINDOW TYPES & DETAILS, SEE DWG. A-2
- FOR FURNITURE AND EQUIPMENT, SEE DWG. A-8





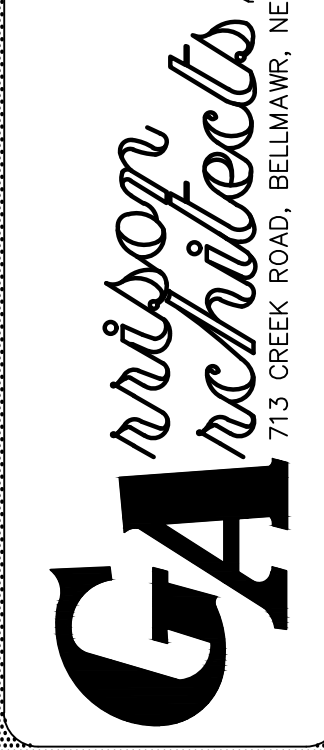
1 PROPOSED PARTIAL RCP PLAN
 A-3 MAIN OFFICE RENOVATIONS SCALE: 1/8" = 1'-0"

- NEW CEILING FINISH TYPES**
- (A) 2'x4' LAY-IN TILE (NON-RATED) (HUMIDITY-RESISTANT)
 - (B) EXPOSED CEILING STRUCTURE, ALL EXPOSED CONCRETE, STEEL JOIST, DECK, DUCT, PIPE, CONDUIT, ETC. TO BE PAINTED (TYP).
 - (C) 3/4" GWB SOFFIT
 - (D) EXISTING EXTERIOR SOFFIT PANELS TO REMAIN



**RANCOCAS VALLEY REGIONAL HIGH SCHOOL
 SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS**

520 JACKSONVILLE ROAD
 MT. HOLLY, NEW JERSEY 08060



A Professional Corporation of Architects and Planners
 713 CREEK ROAD, BELLMAR, NEW JERSEY 08031 (856) 396-6200

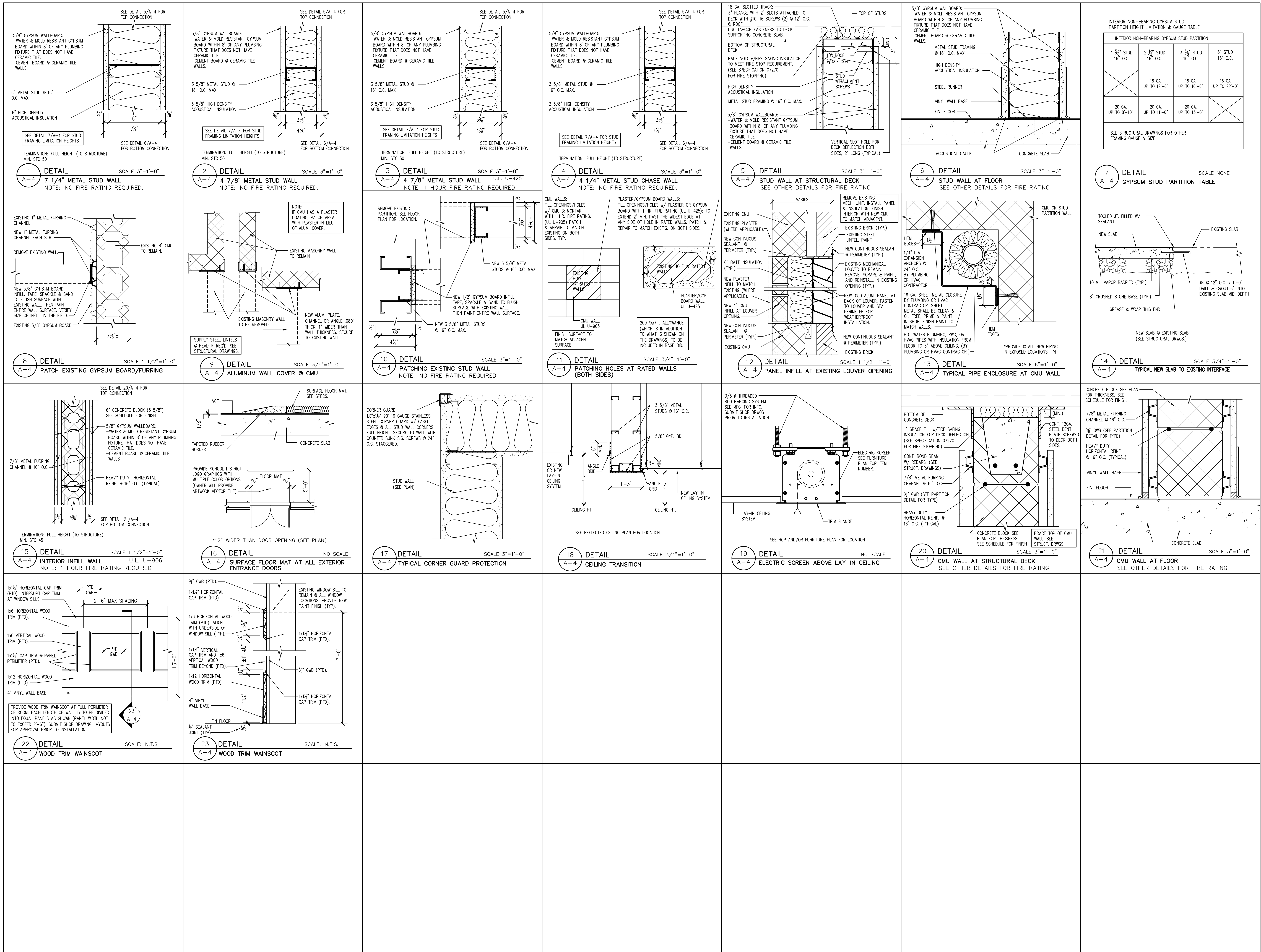
REVISIONS

a.	e.
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Project No. 18-91
 Date: 02/25/19
 Scale: AS NOTED

PROPOSED RCP PLANS

A-3



REVISIONS

a.	e.
b.	f.
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Project No. 18-91
Date: 02/25/19
Scale: AS NOTED
WALL DETAILS & TYPICALS

ROOM AND FINISH SCHEDULE

FL.	ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS, FRAMES AND TRIM	FIRE RATING (HOUR)	CEILING	CEILING HT.	INTERIOR FINISH CLASSIFICATION	CEILING TILE TYPE	REMARKS
FIRST FLOOR											
	01	MAIN OFFICE	VCT	4" VINYL	PAINTED WALLS & WD. WAINSCOT	0	LAY-IN	±10'-6"	C	A	■ PROVIDE WOOD TRIM WAINSCOT AT ALL WALL PARTITIONS THROUGHOUT ROOM. REFER TO WALL TYPE 22/A-4 FOR WOOD TRIM WAINSCOT REQUIREMENTS.
	01A	WAITING	VCT	4" VINYL	PAINTED WALLS & WD. WAINSCOT	0	LAY-IN	±10'-6"	C	A	■ PROVIDE WOOD TRIM WAINSCOT AT ALL WALL PARTITIONS THROUGHOUT ROOM. REFER TO WALL TYPE 22/A-4 FOR WOOD TRIM WAINSCOT REQUIREMENTS.
	02	WORKROOM	VCT	4" VINYL	PAINTED WALLS	0	LAY-IN	±10'-6"	C	A	■ PROVIDE WOOD TRIM WAINSCOT AT ALL WALL PARTITIONS THROUGHOUT ROOM. REFER TO WALL TYPE 22/A-4 FOR WOOD TRIM WAINSCOT REQUIREMENTS.
	03	NOT USED	-	-	-	-	-	-	-	-	-
	04	CST RECEPTION	CARPET TILE	4" VINYL	PAINTED WALLS	0	LAY-IN	±9'-6"	C	A	-
	04A	CST RECEPTION HALLWAY	CARPET TILE	4" VINYL	PAINTED WALLS	0	LAY-IN	±9'-6"	C	A	-
	05	CST DIRECTOR	CARPET TILE	4" VINYL	PAINTED WALLS	0	LAY-IN	±10'-6"	C	A	■
	06	WORKROOM	VCT	4" VINYL	PAINTED WALLS	0	LAY-IN	±9'-6"	C	A	-
	07	RECEPTION	CARPET TILE	4" VINYL	PAINTED WALLS	0	LAY-IN	±9'-6"	C	A	-
	08	PRINCIPAL	CARPET TILE	4" VINYL	PAINTED WALLS & WD. WAINSCOT	0	LAY-IN	±10'-6"	C	A	■ PROVIDE WOOD TRIM WAINSCOT AT ALL WALL PARTITIONS THROUGHOUT ROOM. REFER TO WALL TYPE 22/A-4 FOR WOOD TRIM WAINSCOT REQUIREMENTS.
	09	CONFERENCE	CARPET TILE	4" VINYL	PAINTED WALLS	0	LAY-IN	±10'-6"	C	A	■
	09A	CONFERENCE CLOSET	CARPET TILE	4" VINYL	PAINTED WALLS	0	-	-	C	B	-
	10	VESTIBULE	VCT	4" VINYL	PAINTED CMU/PLASTER & WD. TRIM	0	LAY-IN	±10'-0"	C	A	● □

CLASSROOM OF MATERIALS	SURFACE BURNING CHARACTERISTIC TEST	REMARKS
A	0 TO 25	● PROVIDE HOLD DOWN CLIPS WITHIN 12'-0" FROM EXTERIOR DOORS.
B	26 TO 75	■ PROVIDE NEW ROLL-DOWN WINDOW SHADES AT ALL EXISTING EXTERIOR WINDOWS.
C	76 TO 200	□ PROVIDE 5/8" SURFACE APPLIED WALK-OFF FLOOR MAT AT EXTERIOR DOORS (SEE FURNITURE PLAN).

CEILING FINISH TYPES

- (A) 2'x4' LAY-IN TILE (NON-RATED) HUMIDITY-RESISTANT w/ GRID
- (B) EXPOSED CEILING STRUCTURE, ALL EXPOSED CONCRETE, STEEL JOIST, BEAM, DUCT, PIPE CONDUIT, ETC. TO BE PAINTED (TYP.)
- (C) 3/4" DRYWALL SOFFIT; PAINTED.
- (D) EXISTING EXTERIOR SOFFIT PANELS TO REMAIN

NOTES:

- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF MECHANICAL EQUIPMENT AND LIGHTING.
- CEILING LIGHT LOCATIONS TO BE COORDINATED WITH LIGHTING AND MECHANICAL DRAWINGS FOR MECH. DUCT CLEARANCE (TYP.)
- EXISTING LAY-IN OR CONCEALED SPLINE C.G. TO REMAIN WHERE ANY WORK IS TO BE DONE ABOVE EXISTING CEILING. IT IS THE SOLE RESPONSIBILITY OF THAT DESIGNATED CONTRACTOR TO REMOVE AND/OR CUT THE NECESSARY CEILING TILES AND GRID REQUIRED FOR INSTALLATION, THEN PATCH GRID AND REINSTALL CEILING TILES AFTER INSTALLATION. RESTORE ROOM TO PREVIOUS CONDITION PRIOR TO RENOVATION.

GENERAL NOTES: (FIRE RATING)

ALL WALL, CEILING, FLOOR OR ROOF CONSTRUCTION SHALL MEET ALL FIRE RATING INDICATED IN EACH ROOM AREA ON THE SCHEDULE.

- ALL INTERIOR FINISHES SHALL MEET MINIMUM FLAME SPREAD CLASSIFICATION REQUIREMENT. (BASED ON IBC 2015, NEW JERSEY EDITION)
- ALL CEILING PANELS SHALL MEET CLASS A REQUIREMENT.

SEE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL & SITE DRAWINGS FOR ITEMS LISTED BY EACH SCHEDULE.

UNLESS NOTED OTHERWISE, ALL ITEMS SHALL BE BY THE GENERAL CONTRACTOR.

SIGNAGE SCOPE OF WORK:

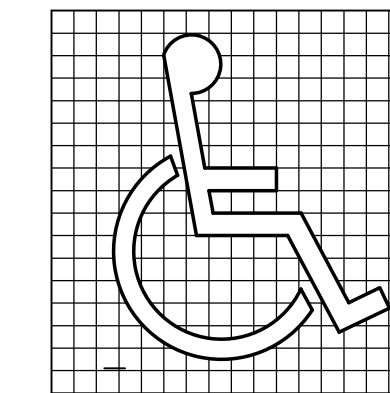
PROVIDE NEW INTERIOR ROOM SIGNAGE AS SPECIFIED AT ALL DOORS (EXISTING AND NEW) SHOWN ON THE DOOR SCHEDULE. REFER TO DRAWING A-6 AND THE FLOOR PLAN FOR LOCATIONS.

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH CABO/ANSI 117.1

ALL INTERIOR DOORS ARE TO RECEIVE SIGNAGE. INSTALL PERMANENT SIGNS ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR AT MAX. 60" ABOVE FLOOR TO CENTER LINE OF SIGN. OVERHEAD SIGN SHALL BE INSTALLED AT 80" MIN. HEIGHT ABOVE FLOOR. SEE FIG. 0 & FIG. 8.

LETTERS AND NUMBERS SHALL HAVE WIDTH TO HEIGHT RATIO BETWEEN 3.5 AND 1:1.

ALL LETTERS AND NUMBERS SHALL BE GRADE 2 BRAILLE, PROVIDE INTERNATIONAL SYMBOL FOR ACCESSIBILITY.



(c) Proportions International Symbol of Accessibility



(b) Display Conditions International Symbol of Accessibility

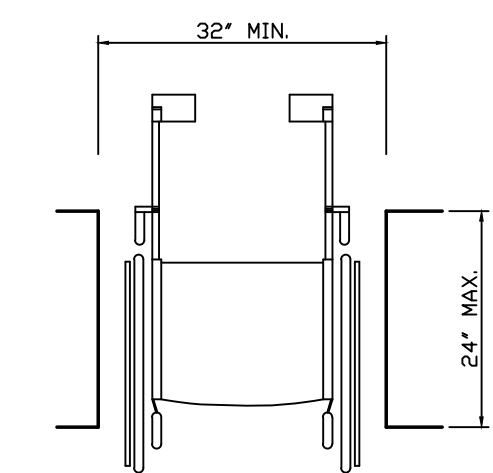
Raised and Braille Characters and Pictorial Symbol Signs (Pictograms). Letters and numerals shall be raised 1/32 in. upper case, sans serif or simple serif type and shall be accompanied with Grade 2 Braille. Raised characters shall be at least 5/8 in. (16 mm) high, but no higher than 2 in. (50 mm). Pictograms shall be accompanied by the equivalent verbal description placed directly below the pictogram. The border dimension of the pictogram shall be 6 in. (152 mm) minimum in height.

ROOM IDENTIFICATION ENGRAVED SYSTEM DESIGN: 2 COLOR LAYER LAMINATED PLASTIC SIGN WITH RAISED LETTERS AND RAISED GRADE 2 BRAILLE.

ENTRANCE DOORS & OTHER DOORS IN SPACE

PROVIDE ENTRANCE DOOR AS "A" AND "B" FIG. 0, FROM ALL CORR. & LOBBIES PROVIDE OTHER DOORS IN SPACE AS "A" AND "B", FIG. 0, FROM ROOMS TO OTHER AREAS.

* INDICATE ADDITIONAL ITEMS, IF APPLICABLE TO THOSE DOORS. ALL DOORS SHALL HAVE CLEAR WIDTH AS SHOWN ON FIG. 24 & SILL HEIGHT LIMIT AS FIG. 7 SHOWN. DOOR HARDWARE SHALL BE NOTED ON FIG. 0.



(e) MAXIMUM DOORWAY DEPTH
FIG. 24 Clear Doorway Width and Depth

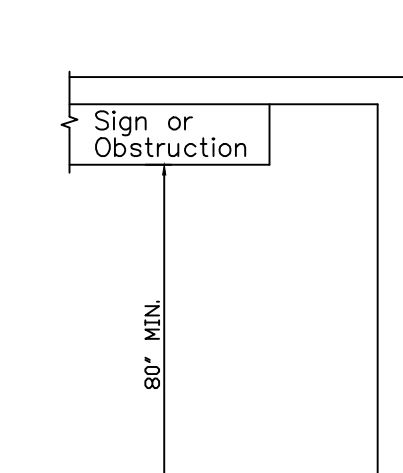
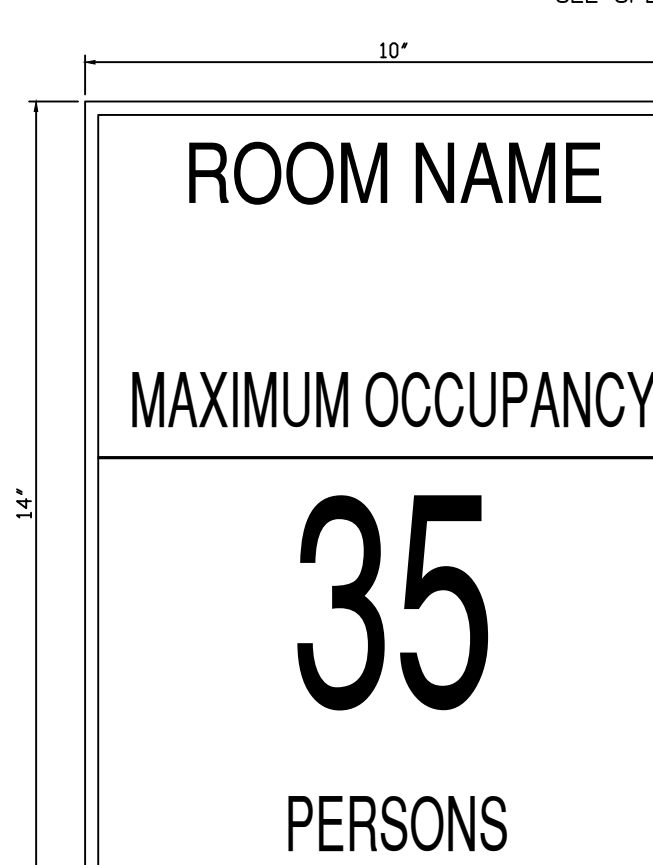
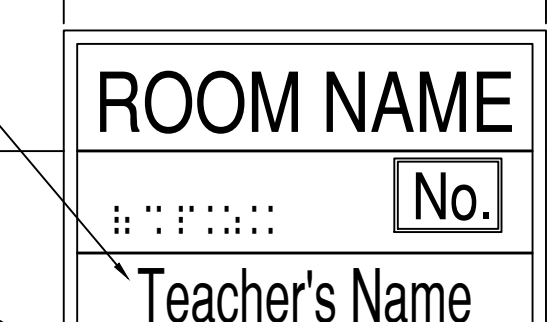


FIG. 8 Protruding Objects

PROVIDE "TEACHER'S NAME" SLOT WITH CLEAR PLASTIC COVERING. SEE SPECS, TYP.



OCCUPANCY SIGN REQUIRED IN CONFERENCE ROOM. PROVIDE ROOM NAME & MAXIMUM OCCUPANCY AND NUMBER OF PERSONS (IN SEPARATE PANELS). INSTALL NEAR THE EXIT DOOR.



FINAL NUMBER & NAME (IN TWO SEPARATED PANELS) ARE SELECTED BY THE OWNER. DOOR SCHEDULES & ROOM SCHEDULE FOR CONSTRUCTION ONLY



PROVIDE AREA OF REFUGE SIGNS AT BOTH SIDES OF THE DOUBLE DOORS AT STAIR

IT IS CONTRACTOR'S RESPONSIBILITY TO REMOVE, PATCH, REPAIR EXISTING FLOOR, BASE, WALL, CEILING IN AREAS AS NOTED IN THIS SCHEDULE, TO RECEIVE NEW FINISH MATERIAL OR PAINT.

DEMOLITION WORK:
SEE DEMO PLANS, NOTES, AND SPECIFICATION FOR DEMO WORK.(TYP.)

CEILING WORK:
SEE REFLECTED CEILING PLANS, NOTES, AND SPECIFICATION FOR CEILING WORK & CEILING HEIGHT.(TYP.)

H.V.A.C. & PLUMBING WORK:
SEE MECHANICAL & PLUMBING DRAWINGS, MECH./PLUMB. DEMO PLANS, NOTES, SPECIFICATIONS FOR H.V.A.C. & PLUMBING DEMOLITION AND NEW WORKS (TYP.).

ELECTRICAL WORK:
SEE ELECTRICAL DRAWINGS, NOTES, SPECIFICATIONS FOR ELECTRICAL WORKS(TYP.).

EXISTING FLOOR & BASE FINISH INDICATED IS ONLY THE TOP VISIBLE FINISH. SOME ROOMS MAY HAVE OTHER FINISHES BELOW. CONTR. TO CHECK EACH ROOM FINISH ON SITE AND TO REMOVE ALL LAYERS ABOVE STRUCTURAL SLAB AND INSTALL NEW FLOOR & BASE.

IF SURFACE HAS NO WORK LISTED IN THIS SCHEDULE BUT CUT, MODIFIED BY OTHER PRIME CONTRACTORS TO PERFORM THEIR WORK, IT IS THE RESPONSIBILITY OF EACH OF THOSE PRIME CONTRACTOR TO PATCH, REPAIR, PAINT THE SURFACE TO ITS ORIGINAL CONDITION.

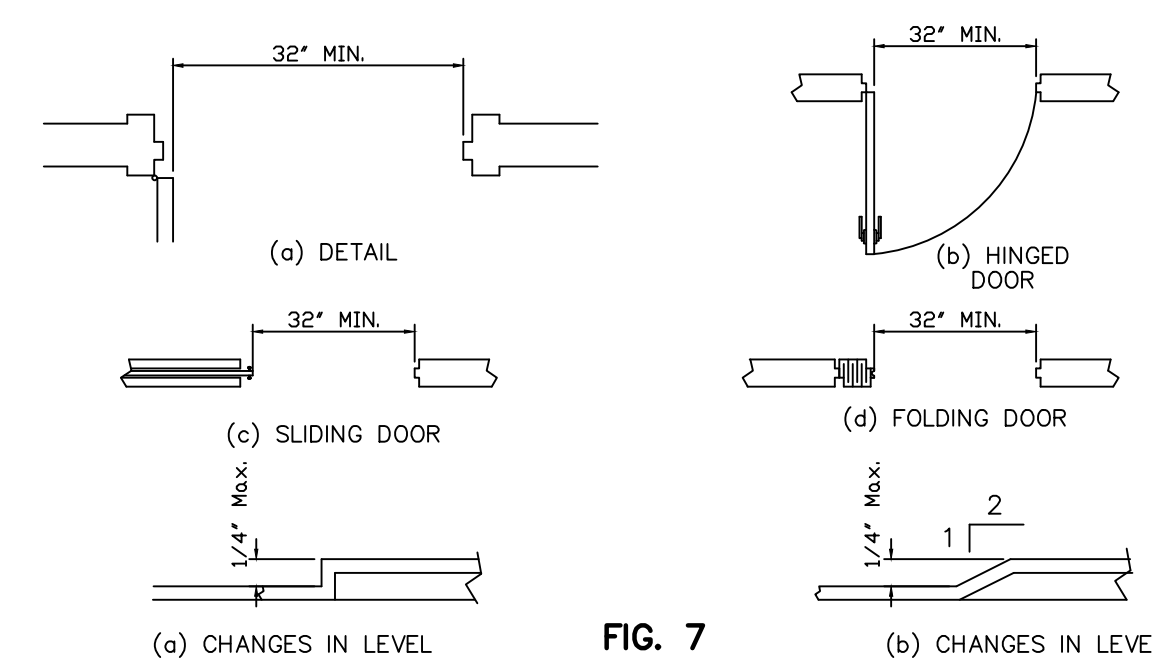


FIG. 7 Accessible Route

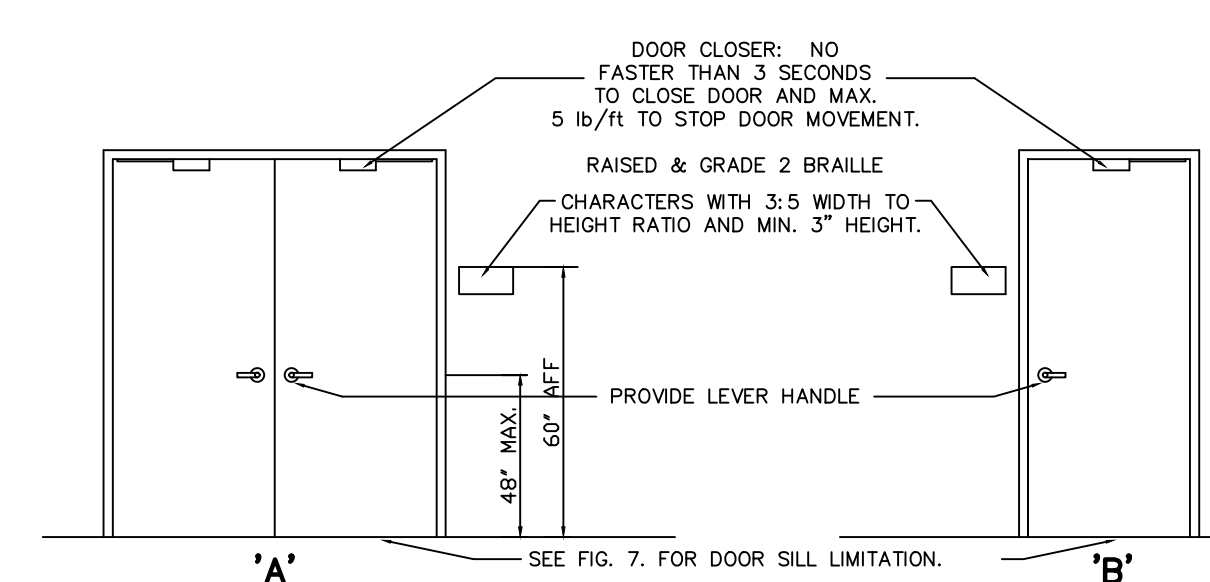
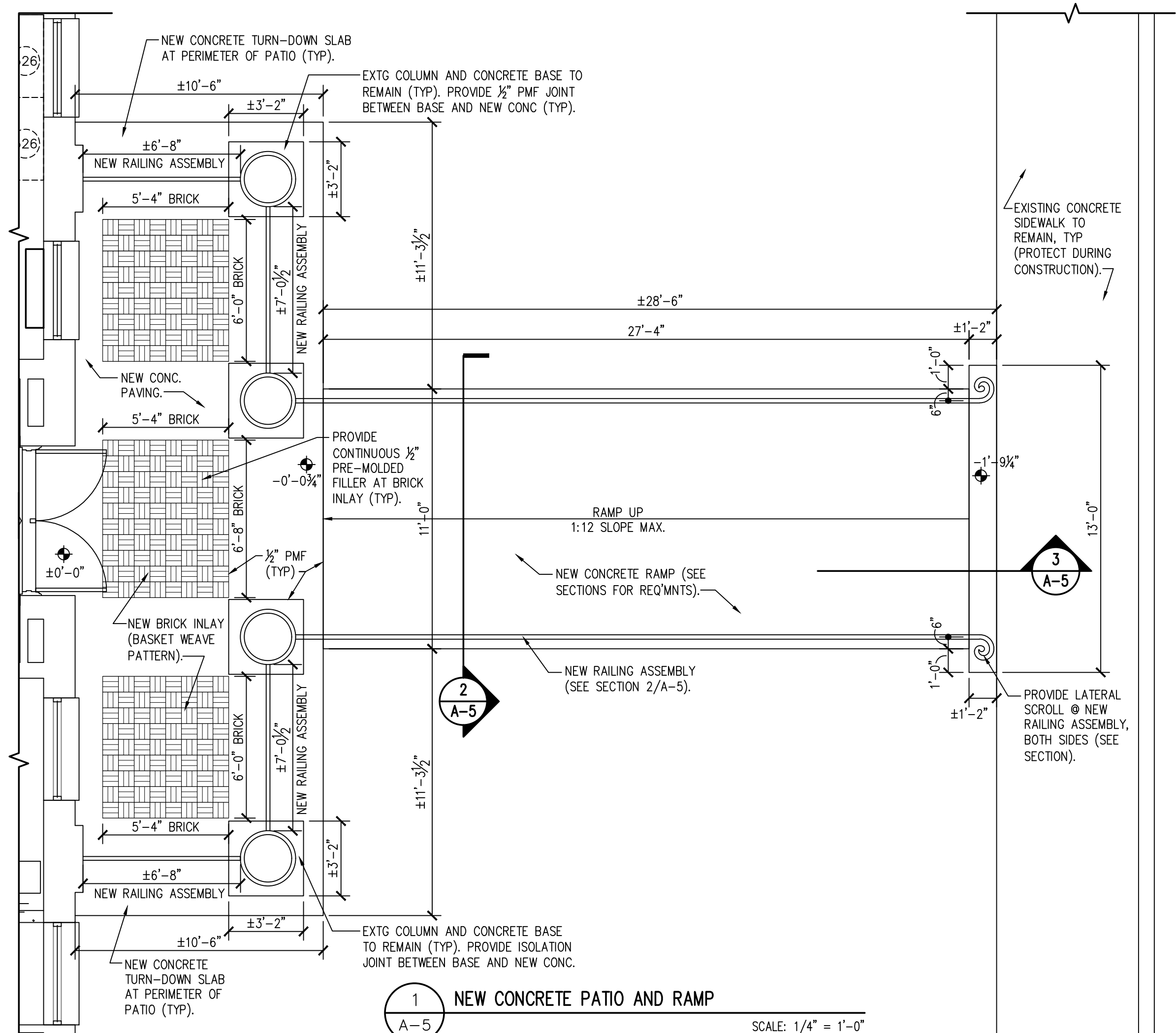
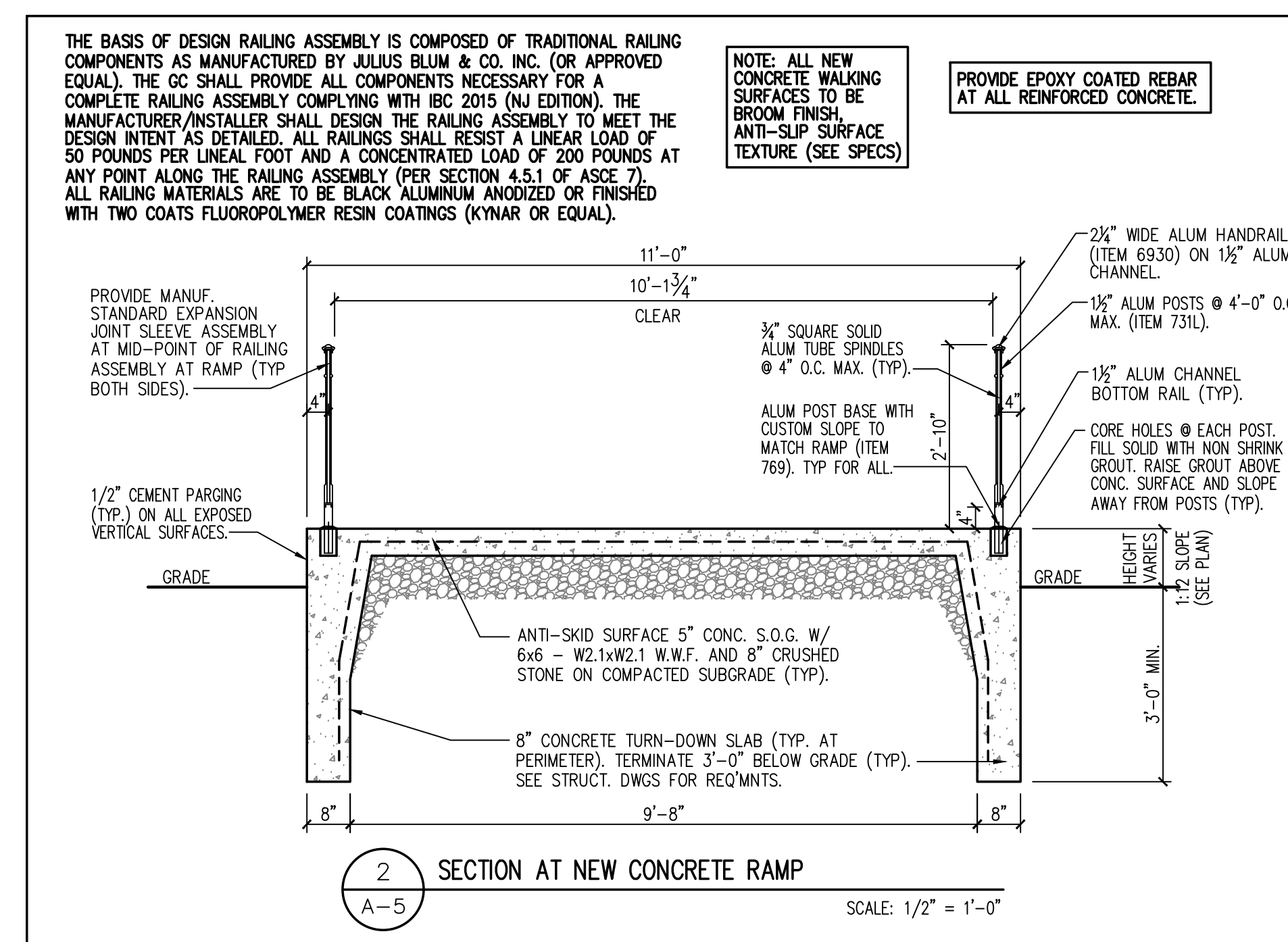


FIG. 0

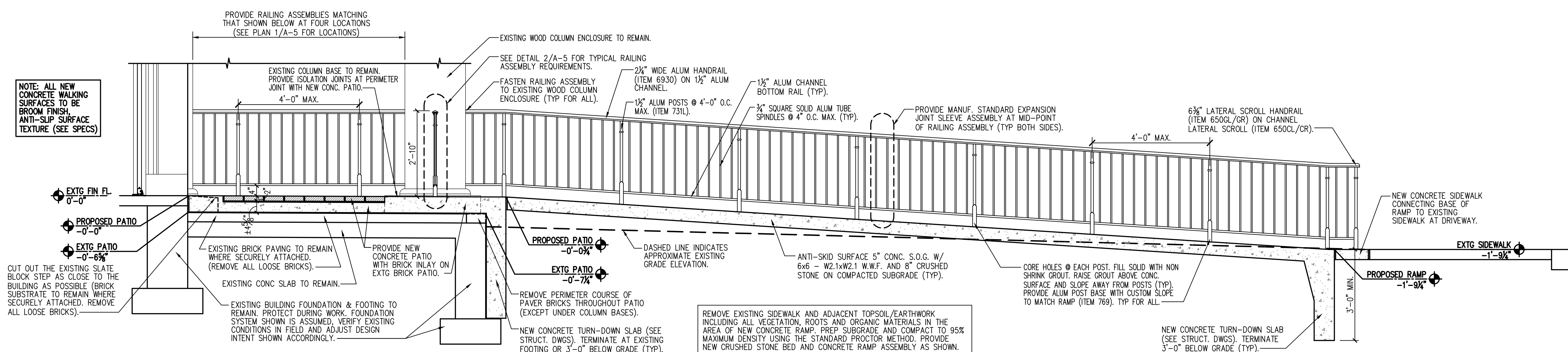
SYMBOLS:



1 NEW CONCRETE PATIO AND RAMP
SCALE: 1/4" = 1'-0"



2 SECTION AT NEW CONCRETE RAMP
SCALE: 1/2" = 1'-0"



3 SECTION AT NEW PATIO AND CONCRETE RAMP
SCALE: 1/2" = 1'-0"

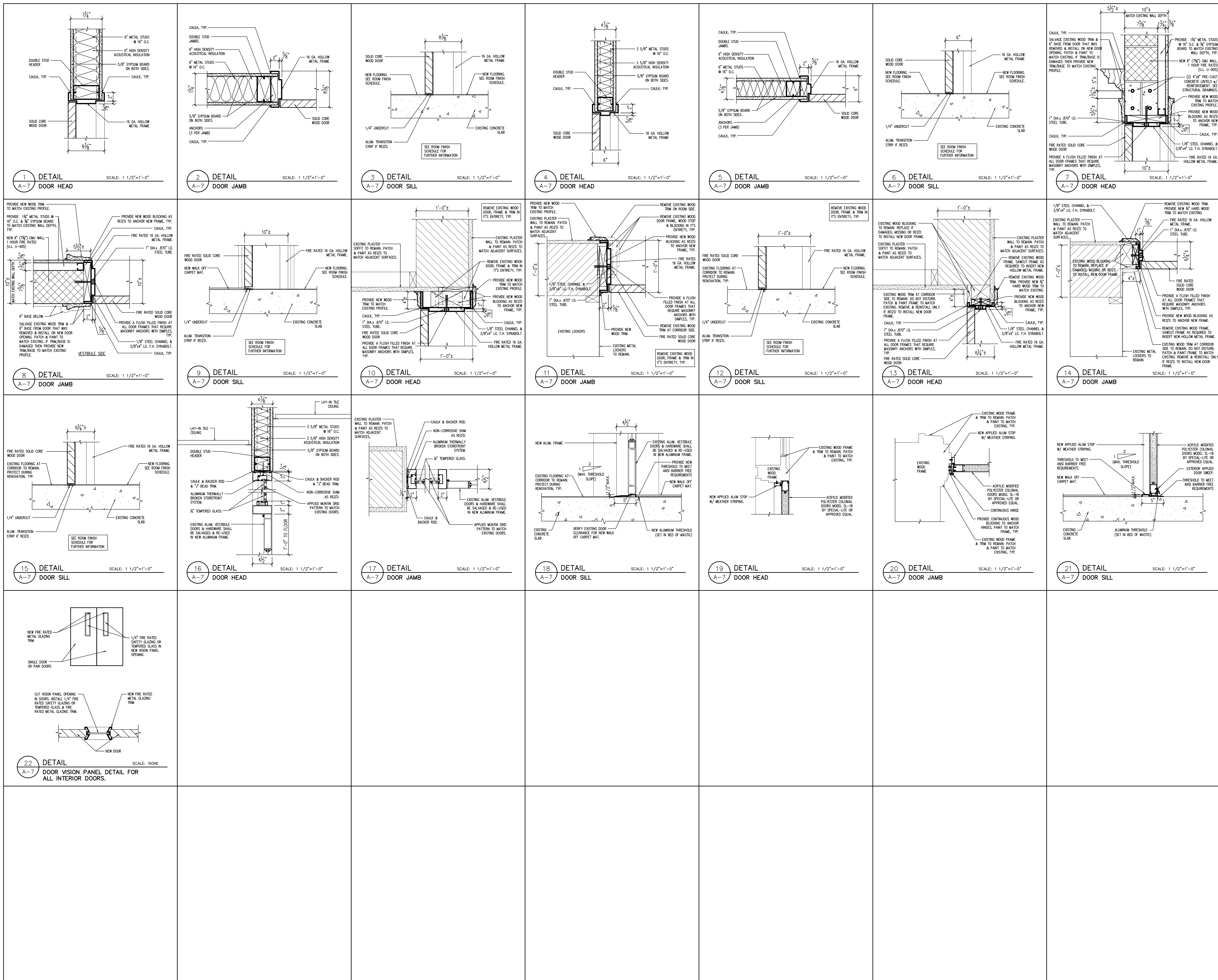
RANOCAS VALLEY REGIONAL HIGH SCHOOL
SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS
 520 JACKSONVILLE ROAD
 MT. HOLLY, NEW JERSEY 08060

REVISIONS

a.	e.
b.	f.
c.	g.

Project No. 18-91
Date: 02/25/19
Scale: -

ROOM FINISH SCHEDULE & RAMP DETAILS
A-5



REVISIONS

a.	e.
b.	f.
c.	g.

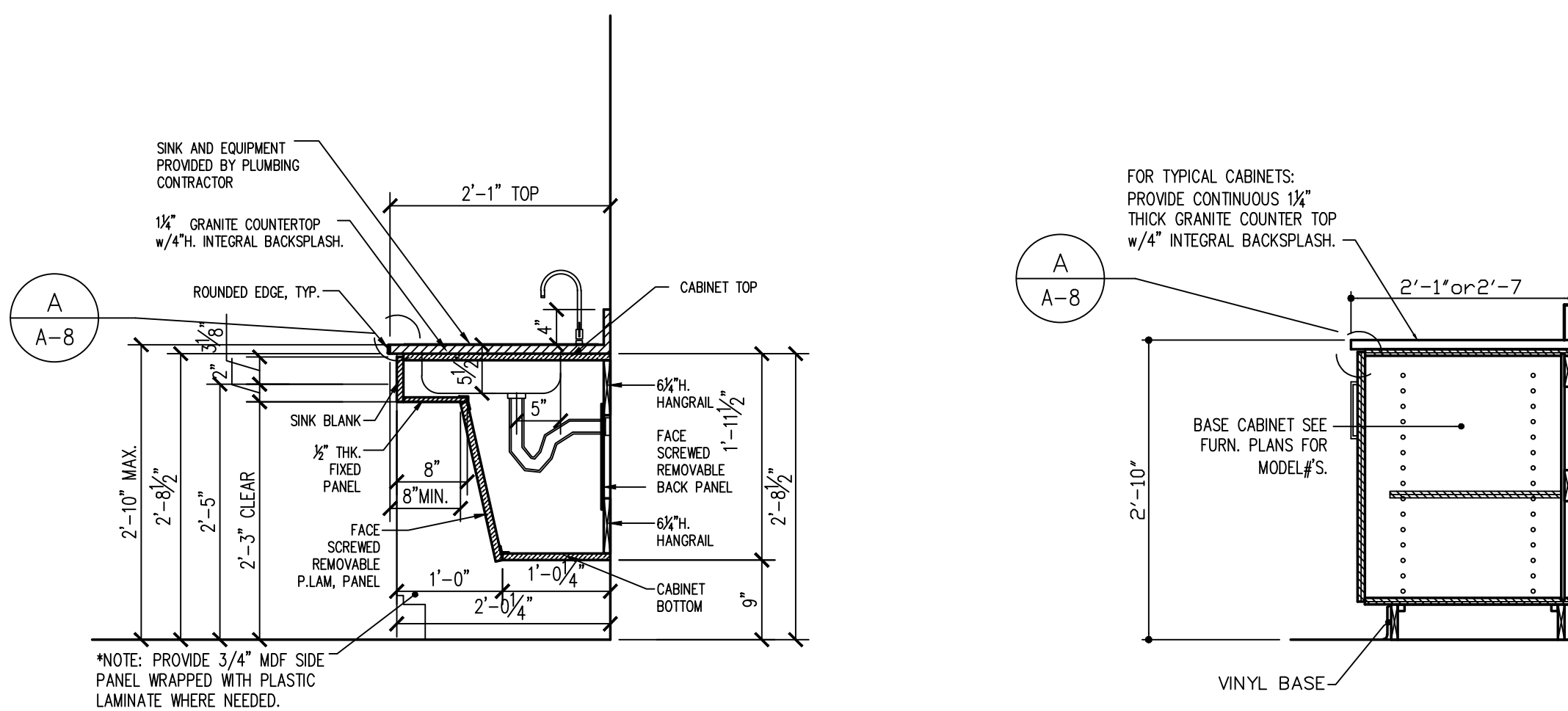
Project No. 18-91
 Date: 02/25/19
 Scale: AS NOTED

DOOR & FRAME
 DETAILS

A-7

LIST OF EQUIPMENT AND FURNITURE:

ITEM NUMBER	DESCRIPTION	BUILT-IN CASEWORK	NOT IN CONTRACT
104	TEACHER'S DESK w/DOUBLE PEDESTAL w/LOCK, 60"Wx30"Dx29 1/2"H, METRO CLASSIC SERIES, HON MODEL #P3262		✓
110	TEACHER'S DESK w/RIGHT SIDE PEDESTAL & CRT RUNOFF UNIT w/LOCK, 66"Wx30"Dx29"H, SERIES 1000, ADELPHIA MODELS #SP66 w/42"Wx24"Dx26"H, CR42-6 RUNOFF UNIT		✓
111	TEACHER'S DESK w/LEFT SIDE PEDESTAL & CRT RUNOFF UNIT w/LOCK, 66"Wx30"Dx29"H, SERIES 1000, ADELPHIA MODELS #SP66 w/42"Wx24"Dx26"H, CR42-6 RUNOFF UNIT		✓
112	TEACHER'S DESK w/RIGHT SIDE PEDESTAL & CRT RUNOFF UNIT w/LOCK, 66"Wx30"Dx29"H, SERIES 1000, ADELPHIA MODELS #SP66 w/48"Wx24"Dx26"H, CR48-6 RUNOFF UNIT		✓
113	TEACHER'S DESK w/LEFT SIDE PEDESTAL & CRT RUNOFF UNIT w/LOCK, 66"Wx30"Dx29"H, SERIES 1000, ADELPHIA MODELS #SP66 w/48"Wx24"Dx26"H, CR48-6 RUNOFF UNIT		✓
136	ALUMINUM FRAMED, FABRICOR BULLETIN BOARD, 8'-0"x4'-0", 800 SERIES, CLARIDGE, MODEL #858F		✓
142c	WHITE BOARD w/SERIES 1 MAP RAIL, #51FH FLAG HOLDER, CHALKTRAY & HOOKS, 10'-0"x4'-0", CLARIDGE MODEL# LC524 & MODEL# 51M HOOKS		✓
149H	CEILING SUSPENDED ELECTRIC PROJECTION SCREEN (PS-1), SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL CONNECT POWER & CONTROL. (FIELD VERIFY LOCATION IN COORDINATION WITH ELEC. DWGS.)		✓
149J	CEILING MOUNTED PROJECTOR. SUPPLIED BY THE OWNER AND INSTALLED BY GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL CONNECT POWER & CONTROL. (FIELD VERIFY LOCATION IN COORDINATION WITH ELEC. DWGS.)		✓
170	TALL STORAGE, 36"Wx24 1/4"Dx84"H, LSI MODEL# 5062		✓
170a	TALL STORAGE, 30"Wx24 1/4"Dx84"H, LSI MODEL# 5062		✓
174	TALL WARDROBE w/3 FILES, 36"Wx24 1/4"Dx84"H, LSI MODEL# 5263		✓
224A	BASE CABINET w/LOCK, 30"Wx24"Dx34"H, LSI MODEL #1102		✓
228	WHEELCHAIR ACCESSIBLE VANITY CABINET, 36"Wx24 1/4"Dx34"H, LSI MODEL #1136		✓
287C	MAILBOXES, 56 COMPARTMENTS w/BACK & LABEL HOLDERS, 48"Wx72"Hx14"D, LSI MODEL# 9550M (MODIFIED w/(52) SLOTS @ ±4 1/2"x11" & (16) SLOTS @ ±10 1/2"x11")		✓
294A	1/2" THK. CONTINUOUS FULL WIDTH GRANITE COUNTERTOP, BACKSPLASH & APRON w/MOLDED EDGES. EDGE PROFILE AND COLOR TO BE SELECTED BY ARCHITECT. NO EXPOSED FASTENERS.		✓
316a	BASE CABINET w/LOCK, 36"Wx24"Dx34"H, LSI MODEL #1102		✓
316E	BASE CABINET w/LOCK, 30"Wx30"Dx34"H, LSI MODEL #1102(M) MODIFIED TO 30" DEEP		✓
316F	BASE CABINET w/LOCK, 36"Wx30"Dx34"H, LSI MODEL #1102(M) MODIFIED TO 30" DEEP		✓
384	TALL WARDROBE, 24"Wx24 1/4"Dx84"H, LSI MODEL# 5222		✓
402	H.C. SINK w/FAUCET (SUPPLIED & INSTALLED BY PLUMB. CONTRACTOR)		✓
408a	PAPER TOWEL DISPENSER (SUPPLIED BY OWNER & INSTALLED BY G.C.)		✓
500	MANAGERIAL MID-BACK CHAIR, 4000 SERIES, HON MODEL #4002		✓
502	GUEST SLED BASE CHAIR, 4000 SERIES, HON MODEL #4400B		✓
503	EXECUTIVE HIGH-BACK CHAIR, 4000 SERIES, HON MODEL #4001		✓
526	4 DRAWER LATERAL FILE CABINET, 800 SERIES, 42"Wx18"Dx51 3/4"H, ADELPHIA MODEL #804-42L		✓
534	ROUND TABLE, 1300 SERIES, 48" DIA., ADELPHIA MODEL #T48R w/3036-48 TABLE BASE & VINYL "T" MOLD EDGE		✓
562b	BOAT SHAPED CONFERENCE TABLE, 168"Lx48"W w/LAMINATED T-MOLD EDGE & PANEL BASES, "PRESIDE" SERIES, BY HON		✓
578	ROUND TABLE, 24"Dx17"H, GLOBAL MODEL #GPRR24(M) MODIFIED w/T-MOLD EDGE		✓



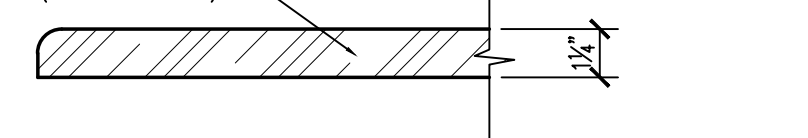
10 HANDICAP SINK CABINET
SCALE 3/4"=1'-0"

11 SECTION STANDARD BASE CABINET
SCALE 3/4"=1'-0"
INSTALL ALL CABINETS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

GENERAL NOTES:

A. PROVIDE ALL HARDWARE & LOCKS FOR DRAWERS, CABINET DOORS, SHELVES ECT.(MATCH BLDG. STD.).

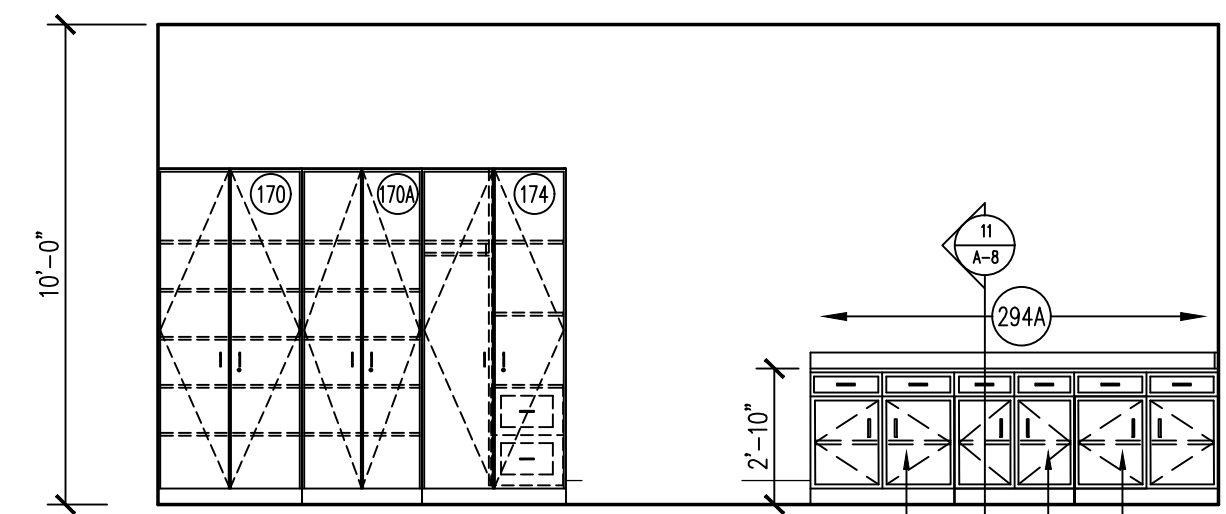
NEW 1-1/4" GRANITE COUNTERTOP WITH MOLD EDGES (TYP). COLOR TO MATCH EXISTING RECEPTION DESK (VERIFY WITH OWNER).



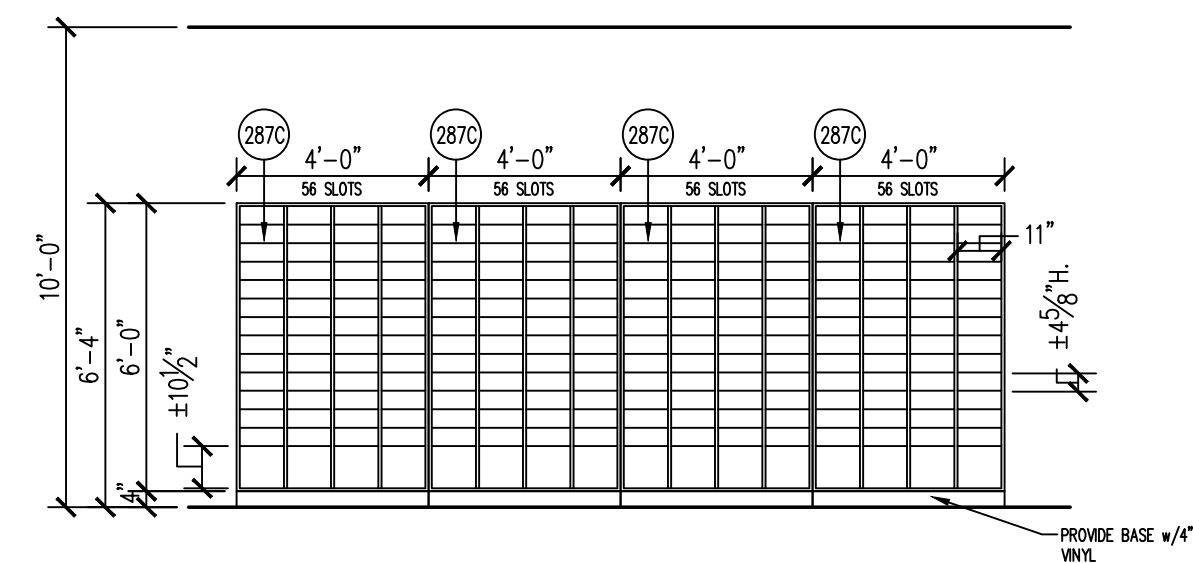
A EDGE DETAIL
FOR BUILT-IN CASEWORK
SCALE 3"=1'-0"

ALL FURNITURE SHOWN DOTTED IS (I.N.C.) AND IS SHOWN FOR REFERENCE PURPOSES ONLY UNLESS NOTED OTHERWISE. BUILT-IN FURNITURE IS UNDER BASE-BID. LOOSE FURNITURE IS (I.N.C.) NOT IN CONTRACT.

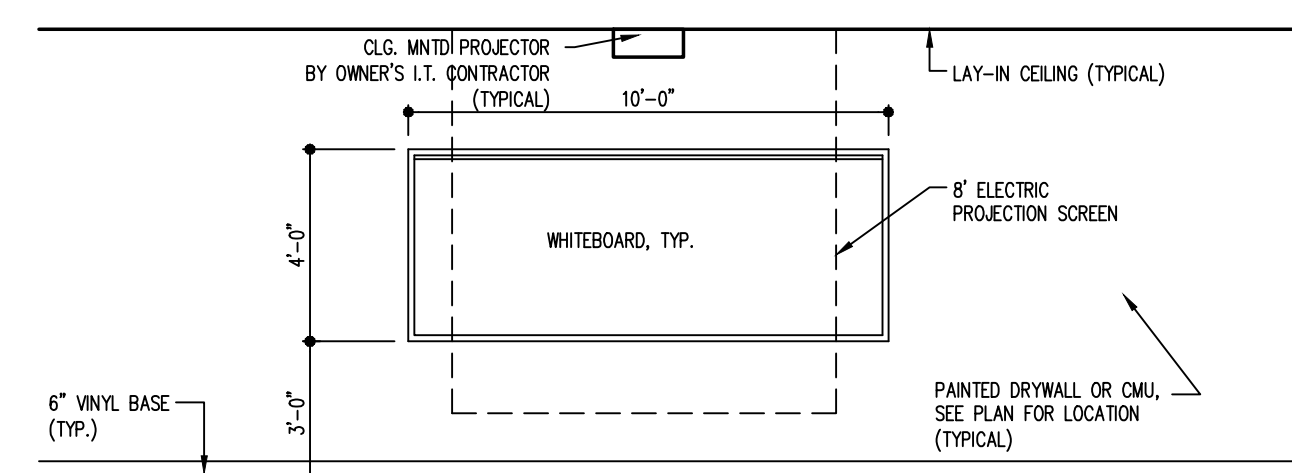
UNLESS NOTED OTHERWISE IN FURNITURE/EQUIPMENT LIST AS (I.N.C.), ALL ITEMS ARE IN BASE BID INCLUDING PLUMBING, HVAC & ELECTRICAL.



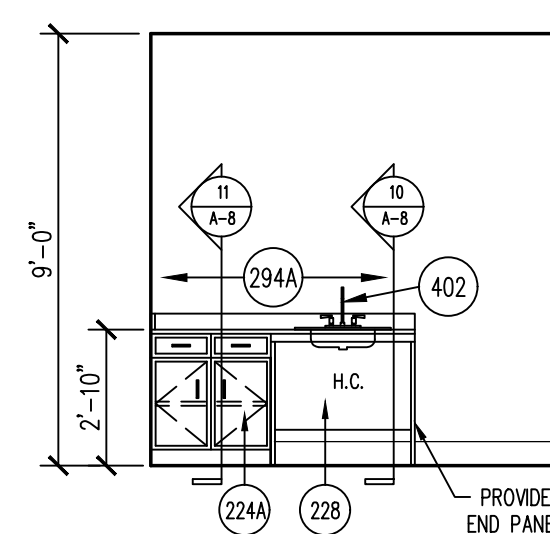
1 ELEVATION SCALE 1/4"=1'-0"
A-8 MAIN OFFICE #01



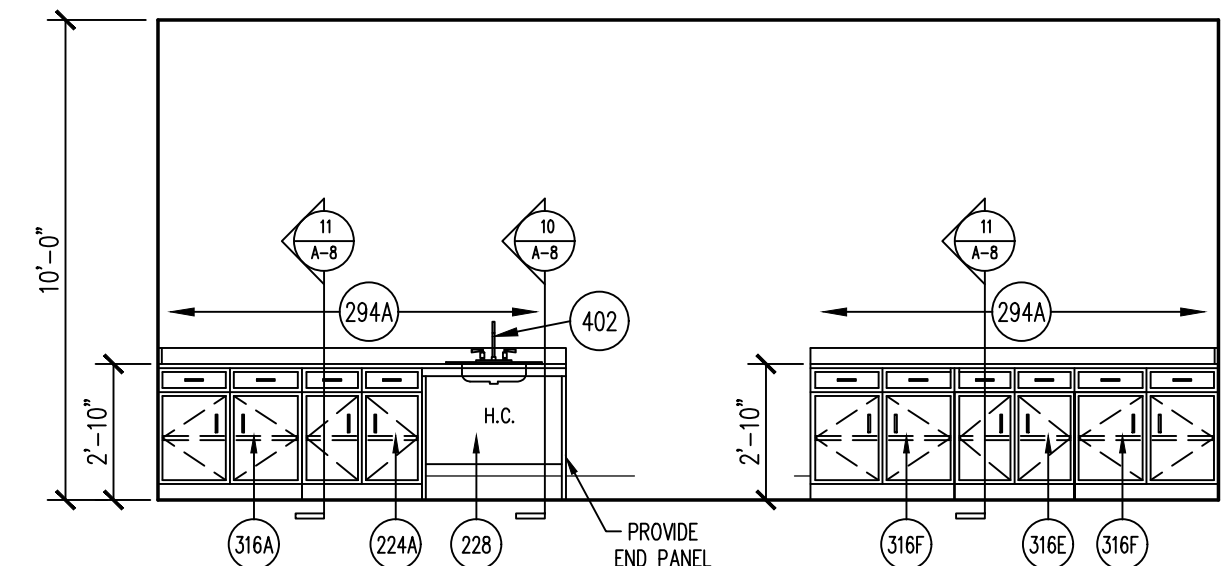
2 ELEVATION SCALE 1/4"=1'-0"
A-8 MAILBOXES



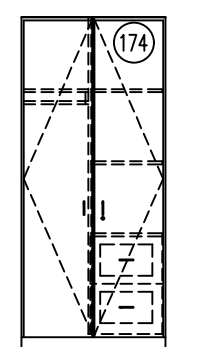
3 WHITEBOARD ELEV. SCALE 1/4"=1'-0"
A-8 CONFERENCE ROOM #09



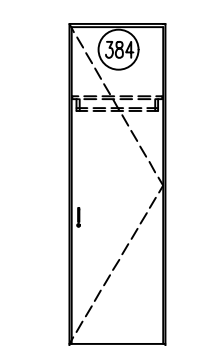
4 ELEVATION SCALE 1/4"=1'-0"
A-8 CONFERENCE ROOM #09



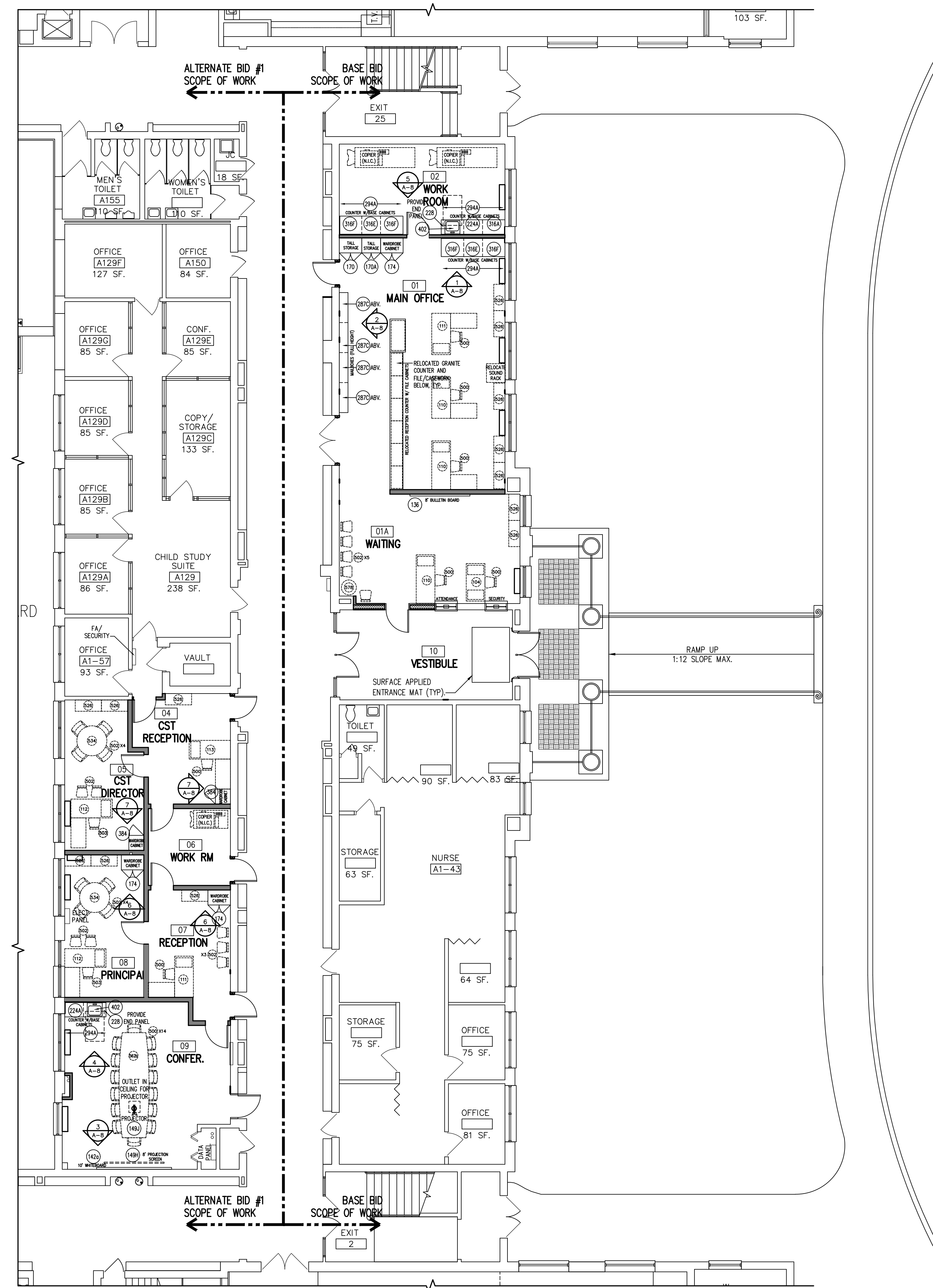
5 ELEVATION SCALE 1/4"=1'-0"
A-8 WORK ROOM #02



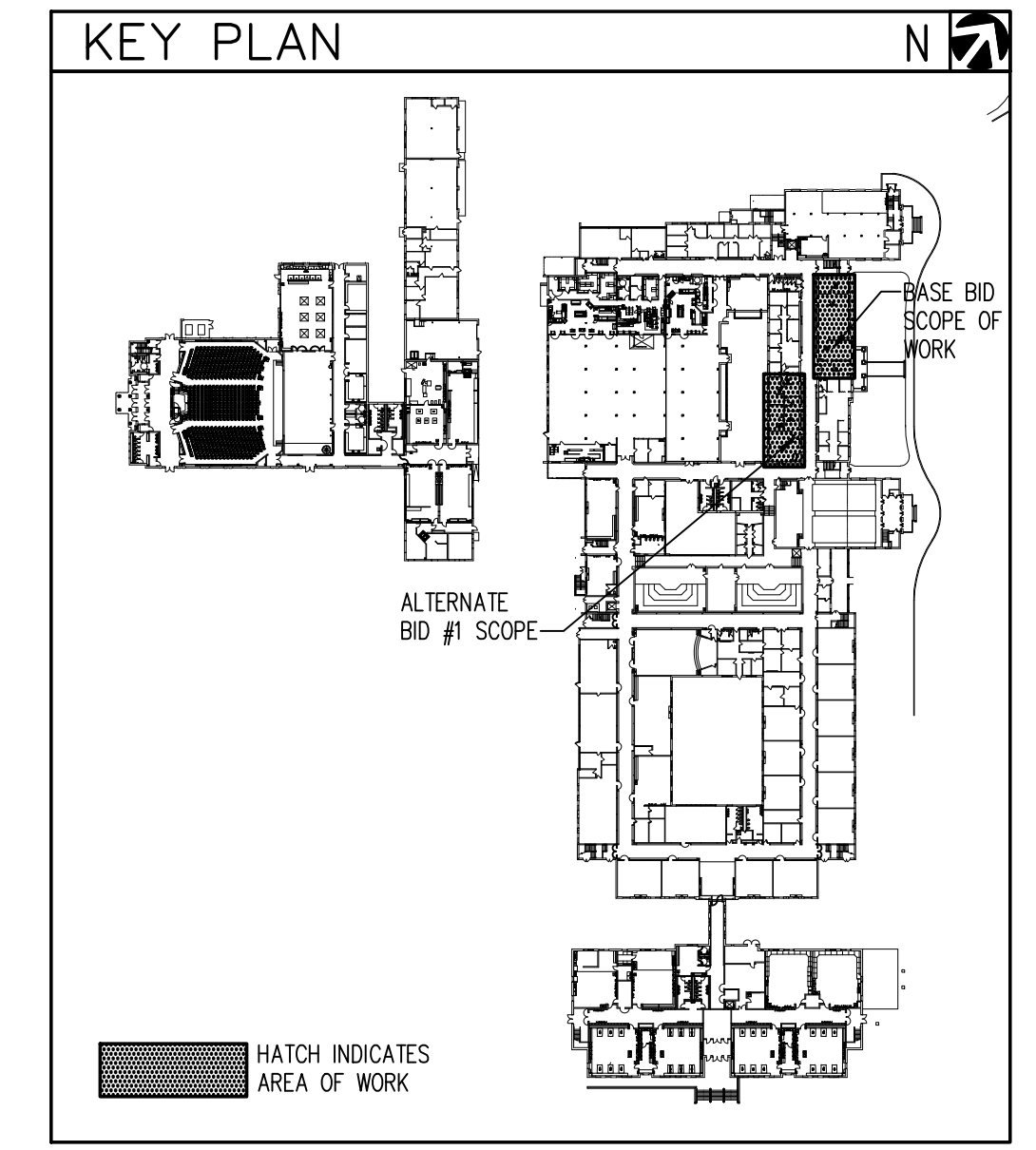
6 ELEVATION SCALE 1/4"=1'-0"
A-8 WARDROBE AT PRINCIPAL #08 & RECEPTION #07



7 ELEVATION SCALE 1/4"=1'-0"
A-8 WARDROBE AT CST DIRECTOR #05 & CST RECEPTION #04



1 PROPOSED PARTIAL FURNITURE PLAN
SCALE 1/8"=1'-0"



Garrison Architects
A Professional Corporation of Architects and Planners
713 CREEK ROAD, BELLMAR, NEW JERSEY 08031 (856) 396-6200

RANCOCAS VALLEY REGIONAL HIGH SCHOOL
SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS
520 JACKSONVILLE ROAD
MT. HOLLY, NEW JERSEY 08060

REVISIONS
a. e.
b. f.
c. g.

Project No. 18-91
Date: 02/25/19
Scale: AS NOTED

ENLARGED FURNITURE & CESEWORK
A-8

GENERAL NOTES

- THE NOTES OF THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. THE INTENT OF THE SPECIFICATIONS IS TO OUTLINE OR INDICATE ITEMS OF WORK WHICH CANNOT READILY BE SHOWN ON THE CONTRACT DRAWINGS AND FURTHER TO INDICATE THE TYPES AND QUALITIES OF MATERIALS AND WORKMANSHIP. SHOULD THE SPECIFICATIONS AND DRAWINGS DISAGREE IN THEMSELVES, OR WITH EACH OTHER, WRITTEN CLARIFICATIONS SHOULD BE REQUESTED OF THE ARCHITECT/ENGINEER BY THE CONTRACTOR. INCONSISTENCIES BETWEEN THE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK. IN THE ABSENCE OF SAME, PROPOSALS SHALL BE BASED ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED ON EITHER THE DRAWINGS OR SPECIFICATIONS. SEE SPECIFICATION SECTION 00100 PARAGRAPH 3, a & b.
- IF DURING THE PROGRESS OF THE WORK THE CONTRACTOR MAY DISCOVER ANY ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL AT ONCE SO REPORT TO THE ARCHITECT/ENGINEER. EXTRAS WILL NOT BE ALLOWED FOR CORRECTION OF PROBLEMS THAT COULD HAVE BEEN AVOIDED BY CAREFUL REVIEW AND THE MINOR ADJUSTMENT OF SIZE AND/OR LOCATION OF VARIOUS ITEMS FOR PROPER FIT. THIS CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK WITH THE OTHER CONTRACTORS.
- ANY ITEM NOT SPECIFICALLY LISTED OR SHOWN ON THE CONTRACT DOCUMENTS BUT IS INCIDENTAL TO THE COMPLETION OF THE PROJECT OR PACKAGE WILL BE CONSIDERED AS PART OF THE CONTRACT SCOPE OF WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS, FALSEWORK, FORMWORK, AND STAGING. PROVIDE ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT. IN THE EVENT THAT THE CONTRACTOR DETERMINES THAT SHEETING OR SHORING IS REQUIRED, THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR DESIGN AND DOCUMENTATION OF ALL SHEETING, SHORING AND TEMPORARY BRACING REQUIRED FOR THE WORK. IF NOT IN THE ORIGINAL CONTRACT FOR WORK, REVIEW OF ANY ENGINEERED SHEETING, SHORING AND TEMPORARY BRACING REQUIRED WILL BE CONSIDERED ADDITIONAL SCOPE OF WORK AND WILL BE CONSIDERED ADDITIONAL SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALLOWABLE CONSTRUCTION LOADS.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.
- ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- SUBMIT SHOP DRAWINGS IN THE FORM ELECTRONIC PDF FILES. IN NO CASE SHALL REPRODUCTION OF THE CONTRACT DOCUMENTS BE USED AS A SHOP DRAWING. AS A MINIMUM, SUBMIT THE FOLLOWING ITEMS FOR REVIEW:
 - CONCRETE MIX DESIGNS
 - REINFORCING STEEL SHOP DRAWINGS
 - STRUCTURAL STEEL SHOP DRAWINGS
- SUBMIT SHOP DRAWINGS 12 BUSINESS DAYS (MINIMUM) PRIOR TO DATE THAT RETURNED SHOP DRAWINGS ARE REQUIRED. SHOP DRAWINGS SHALL HAVE THE CONTRACTOR'S STAMP OF APPROVAL PRIOR TO REVIEW BY ENGINEER OF RECORD. THE CONTRACTOR REVIEW/APPROVAL STAMP PROVIDES CERTIFICATION TO THE ENGINEER OF RECORD THAT THE CONTRACTOR HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAS REVIEWED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- COSTS OF INVESTIGATION AND/OR REDISIGN DUE TO CONTRACTOR ERRORS WILL BE AT THE CONTRACTOR'S EXPENSE.
- THE ENGINEER HAS NO ONGOING PRESENCE ON THE SITE. NO CONTROL OF ACTIVITIES ON THE SITE, NO SUPERVISORY ROLE AND NO FIELD RESPONSIBILITY FOR SITE SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION OF THE WORK INCLUDING PERSONNEL PROTECTION IN ACCORDANCE WITH OSHA AND OTHER APPLICABLE REGULATIONS AND PUBLIC PROTECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION IN WHICH THE PROJECT IS BEING CONSTRUCTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES BY OR DURING THE EXECUTION OF THE WORK.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING WORK. THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PROMPTLY OF ANY DEVIATION FROM THE PLAN, UNEXPECTED CONDITIONS, OR INCIDENTS INVOLVING INJURY, COLLAPSE, PROPERTY DAMAGE OR VIOLATIONS ISSUED BY GOVERNMENT ENTITIES.
- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD AND INVESTIGATE ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATING/POURING ANY CONSTRUCTION MATERIALS.

CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318 (LATEST EDITION).
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE:
 - FOUNDATIONS: 4000 PSI
 - SLABS ON GRADE: 4000 PSI
 ALL CONCRETE SUBJECT TO FREEZE/THAW CYCLE SHALL BE AIR-ENTRAINED.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND BE PROVIDED IN FLAT SHEETS.
- COMPLETE SHOP DRAWINGS AND SCHEDULES OF ALL REINFORCING STEEL SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR REVIEW.
- REINFORCEMENTS SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. PROVIDE CLASS "B" TENSION LAP SPICES FOR ALL HORIZONTAL WALL REINFORCING UNLESS OTHERWISE SHOWN ON PLAN. PROVIDE CLASS "B" TENSION LAP SPICES FOR ALL HORIZONTAL GRADE BEAM REINFORCING.
- CLEARANCES FOR REINFORCEMENT:
 - CONCRETE PLACED DIRECTLY ON EARTH, FOOTINGS: 3"
 - SLABS, FROM TOP UNLESS OTHERWISE NOTED: 1"
 - FORMED SURFACES EXPOSED TO WEATHER OR EARTH: #5 BAR OR SMALLER: 1 1/2" #6 BAR OR LARGER: 2"
- CONTROL JOINTS IN SLABS ON GRADE: SEE SPECIFICATION SECTION 03300.
 - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON SLAB ON GRADE PLAN.
 - CONTROL JOINTS SHALL BE SAW CUT (1/3 THE SLAB DEPTH) AND FILLED WITH JOINT SEALER. CUT JOINTS AS SOON AS POSSIBLE WITHOUT FRAYING THE CONCRETE SURFACE.
 - CONSTRUCTION JOINTS SHALL INCLUDE A 1"x2" SHEAR KEY AT MID-HEIGHT OF SLAB.
 - CONTROL JOINTS IN WALLS SHALL NOT EXCEED 40'-0" O.C. NOR 15'-0" FROM ANY CORNER.
- CONTROL JOINTS SHALL BE LOCATED BY CONTRACTOR IN ACCORDANCE WITH ACI CRITERIA. MAXIMUM SPACINGS AS PER TYPICAL SLAB ON GRADE DETAILS AND TYPICAL CONTROL JOINT LOCATION DETAILS (U.A.O.). MINIMUM CONTROL JOINT DEPTHS ARE INDICATED ON TYPICAL CONTROL JOINT DETAILS. CONTROL JOINTS WHICH ARE NOT PROMPTLY OR PROPERLY CUT AND ARE NOT FUNCTIONING SHALL BE RE-CUT BY THE CONCRETE CONTRACTOR. RE-CUTS OF JOINTS WHICH WERE NOT PROMPTLY OR PROPERLY CUT SHALL BE 3" DEEP MINIMUM.
- THE FINISH TOLERANCE OF ALL SLABS SHALL BE IN ACCORDANCE WITH ACI 302 AND THAT SPECIFIED ON THE CONTRACT DOCUMENTS.
- LAP ALL BARS A MINIMUM OF 40 DIAMETERS. LAP ALL WWF A MINIMUM OF 6 INCHES.
- IN ORDER TO AVOID CONCRETE SHRINKAGE CRACKING, PLACE CONCRETE SLABS IN ALTERNATING LANE PATTERN. THE MAXIMUM LENGTH OF SLAB CAST IN ANY ONE CONTINUOUS POUR IS RECOMMENDED TO BE LESS THAN 100 FEET.
- SEE THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DEPRESSED SLAB AREAS, DRAINS, AND DIMENSIONS.
- PROVIDE FOR ANY DEWATERING AS REQUIRED DURING EXCAVATION AND CONSTRUCTION OF THE FOUNDATION SYSTEM.

STEEL NOTES

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO:
 - AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" ANSI/AISC 360-10 OR (05)
 - AISC "STEEL CONSTRUCTION MANUAL", 13TH EDITION (14TH EDITION)
 - AISC "DETAILING FOR STEEL CONSTRUCTION", 3RD EDITION
- ALL WELDING SHALL CONFORM TO:
 - "STRUCTURAL WELDING CODE - STEEL", AWS D1.1 - LATEST EDITION
 - "STRUCTURAL WELDING CODE - SHEET STEEL" AWS D1.3 - LATEST EDITION
- ALL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECS:
 - CHANNELS, ANGLES, PLATES & BARS: ASTM A36, Fy = 36 KSI
- THE GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF RECORD OF ANY ERECTION, FABRICATION OR INSTALLATION ERRORS OR CONDITIONS OF NON-COMFORMANCE TO THE CONSTRUCTION DRAWINGS. THE GENERAL CONTRACTOR SHALL NOT PROVIDE ANY FIELD CORRECTIONS PRIOR TO A WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
- ALL STEEL NOT RECEIVING FIREPROOFING SHALL BE PAINTED WITH THE FABRICATOR'S RUST INHIBITING PRIMER. ALL PRIMER THAT IS DAMAGED IN THE FIELD AND ALL FIELD WELDS SHALL BE TOUCHED UP WITH FIELD APPLIED PRIMER.
- THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE DESIGN PROFESSIONAL.
- NON-SHRINK GROUT FOR COLUMN BASE PLATES SHALL BE PREMIXED (FACTORY-PACKAGED), SHRINKAGE RESISTANT, NONMETALLIC GROUT COMPLYING WITH ASTM C-1107. NON-SHRINK GROUT SHALL BE AGGREGATE SHALL BE NONMETALLIC, NON-CORROSIVE, NON-STAINING, MIXED WITH WATER TO CONSISTENCY SUITABLE FOR APPLICATION AND A 30 MINUTE WORKING TIME. CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA SHEETS FOR APPROVAL BY ENGINEER OF RECORD, PRIOR TO CONSTRUCTION.
- PROMPTLY PACK GROUT SOLIDLY BETWEEN BEARING SURFACES AND BASE OR BEARING PLATES SO NO VOIDS REMAIN. NEATLY AND CAREFULLY FINISH ALL EXPOSED SURFACES. PROTECT GROUT AND ALLOW TO CURE, FOLLOWING MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTALLATION INSTRUCTION FOR SHRINKAGE-RESISTANT GROUTS.

MASONRY NOTES (04810)

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES (LATEST EDITION).
- ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90, GRADE N, TYPE 1 STANDARD WEIGHT BLOCKS INCLUDING STRETCHERS AND CORNER BLOCKS. SPECIFIED COMPRESSIVE STRENGTH OF MASONRY, Fm, SHALL BE A MINIMUM OF 2150. PSI, AS DETERMINED BY THE UNIT STRENGTH METHOD OR BY PRSM TESTS.
- MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270, TYPE S. OWNER'S TESTING AGENCY SHALL VERIFY STRENGTH FROM FIELD-OBTAINED TEST CUBES.
- CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS. BOND CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS. ALL EXTERNAL CORNERS SHALL BE BULL NOSE BLOCKS.
- PROVIDE TEMPORARY BRACING OF MASONRY WALLS TO WITHSTAND LATERAL LOADS DURING CONSTRUCTION.
- LOCATION OF LINTELS AT MASONRY OPENINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS.

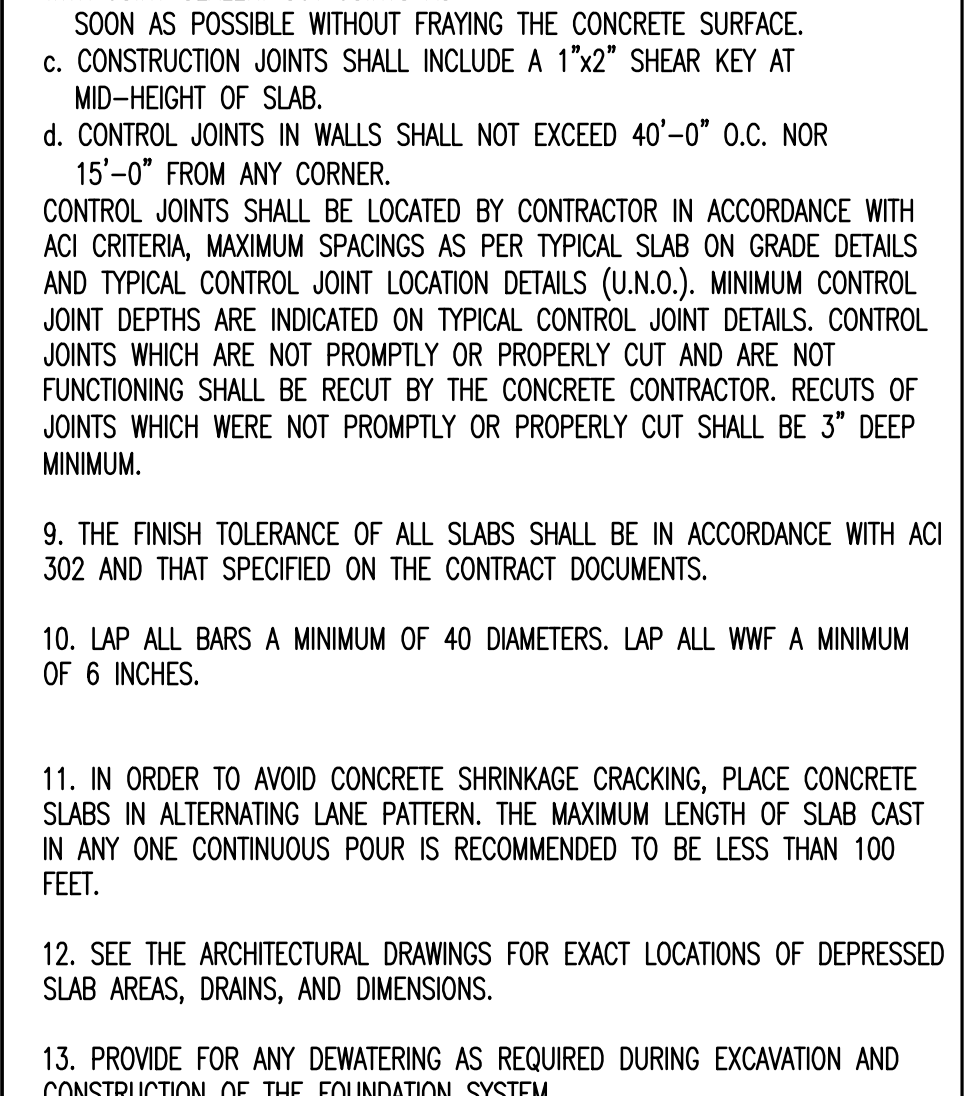
EXISTING CONDITIONS

- EXISTING CONDITIONS INDICATED ARE OBTAINED FROM AVAILABLE SOURCES (EXISTING DRAWINGS, FIELD SURVEYS, ETC.) AND ARE NOT GUARANTEED TO BE TRUE AND EXACT. CONTRACTOR(S) SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- EXISTING FOUNDATION SIZE AND ELEVATIONS ARE UNKNOWN OR MAY VARY FROM ASSUMED CONDITIONS. GENERAL CONTRACTOR SHALL PROVIDE TEST PITS ETC. AS REQUIRED TO VERIFY CONDITIONS. THIS WORK SHALL BE DONE PRIOR TO STARTING ANY EXCAVATION OR OTHER WORK ON SITE. NOTIFY THE ENGINEER IMMEDIATELY OF FINDINGS INCLUDING A DETAILED SKETCH OF FOOTING SIZES AND BOTTOM OF FOOTING ELEVATIONS INCLUDING ANY OTHER PERTINENT INFORMATION.
- ALLOW A MINIMUM OF 1 WEEK FOR ENGINEER OF RECORD TO REVIEW INFORMATION AND MAKE CORRECTIONS TO THE CONTRACT DOCUMENTS AS REQUIRED.

FOUNDATION NOTES

- THE DESIGN OF THE SLAB-ON-GRADE IS BASED ON AN ASSUMPTION OF SUITABLE SOIL FOR SUPPORT. THIS DESIGN MAY NEED TO BE RE-EVALUATED UPON RECEIPT OF THE GEOTECHNICAL ENGINEER'S REPORT.
- EXTEND BOTTOM OF EXTERIOR FOOTINGS AT LEAST 3'-0" BELOW THE EXTERIOR FINISHED GRADE FOR PROTECTION AGAINST FROST.
- ALL SUBGRADES AND UNDERCUTS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. SOILS EXPOSED AT THE BASES OF ALL APPROVED FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHOULD BE PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. SLOPE FOOTING EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY OR PROVIDE SHEETING OR SHORING IN ACCORDANCE WITH OSHA REQUIREMENTS. IN THE EVENT THAT THE CONTRACTOR DETERMINES THAT SHEETING OR SHORING IS REQUIRED FOR EXCAVATION, THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR DESIGN AND DOCUMENTATION OF ALL SHEETING AND SHORING REQUIRED FOR THE WORK.

KEY PLAN



1 PARTIAL FOUNDATION PLAN

1/8" = 1'-0"



2 PARTIAL FRAMING PLAN

1/8" = 1'-0"

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LINTEL SCHEDULE

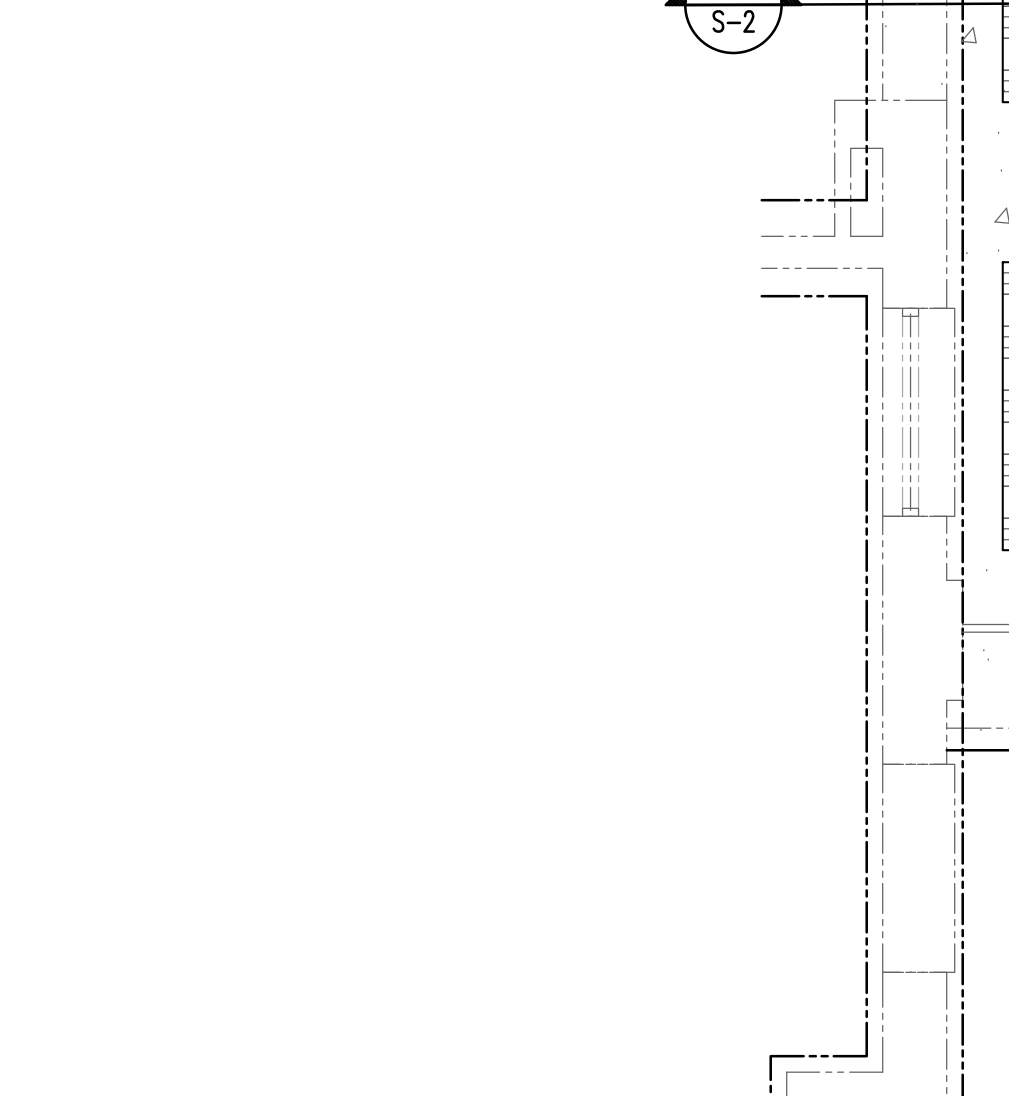
MARK	SIZE & TYPE
L1	DBL. 1.5x3 3/4x 1/4 LVL - (A36 STEEL LINTEL)
L2	(1) 6x8 PRECAST CONC. LINTEL W/ (1) #5 T&B

NOTE: ALL LINTELS INDICATED REQUIRE MIN. 8" OF BEARING EACH END (TYP.) REFER TO 5/S-2

FOUNDATION NOTES

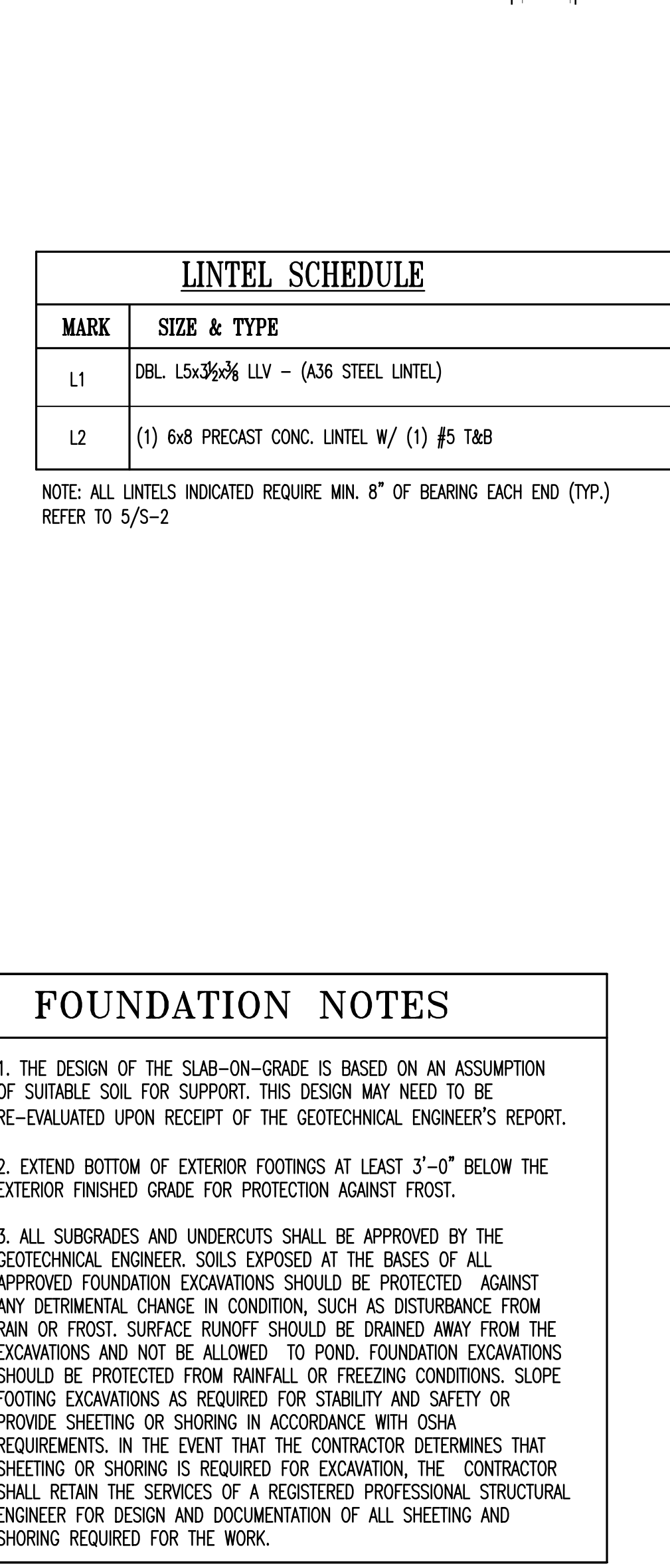
- THE DESIGN OF THE SLAB-ON-GRADE IS BASED ON AN ASSUMPTION OF SUITABLE SOIL FOR SUPPORT. THIS DESIGN MAY NEED TO BE RE-EVALUATED UPON RECEIPT OF THE GEOTECHNICAL ENGINEER'S REPORT.
- EXTEND BOTTOM OF EXTERIOR FOOTINGS AT LEAST 3'-0" BELOW THE EXTERIOR FINISHED GRADE FOR PROTECTION AGAINST FROST.
- ALL SUBGRADES AND UNDERCUTS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. SOILS EXPOSED AT THE BASES OF ALL APPROVED FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHOULD BE PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. SLOPE FOOTING EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY OR PROVIDE SHEETING OR SHORING IN ACCORDANCE WITH OSHA REQUIREMENTS. IN THE EVENT THAT THE CONTRACTOR DETERMINES THAT SHEETING OR SHORING IS REQUIRED FOR EXCAVATION, THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER FOR DESIGN AND DOCUMENTATION OF ALL SHEETING AND SHORING REQUIRED FOR THE WORK.

KEY PLAN



2 PARTIAL FRAMING PLAN

1/8" = 1'-0"



3 PARTIAL FRAMING PLAN

1/8" = 1'-0"

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A Professional Corporation of Architects and Planners
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RANCOCAS VALLEY REGIONAL HIGH SCHOOL SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS
520 JACKSONVILLE ROAD
MT. HOLLY, NEW JERSEY 08060

REVISIONS

a.	e.
b.	f.
c.	g.

Project No. 18-91
Date: 02/25/19
Scale: AS NOTED

GENERAL NOTES PARTIAL & PLANS

S-1

ORNDORF & ASSOCIATES, INC.
STRUCTURAL ENGINEERS

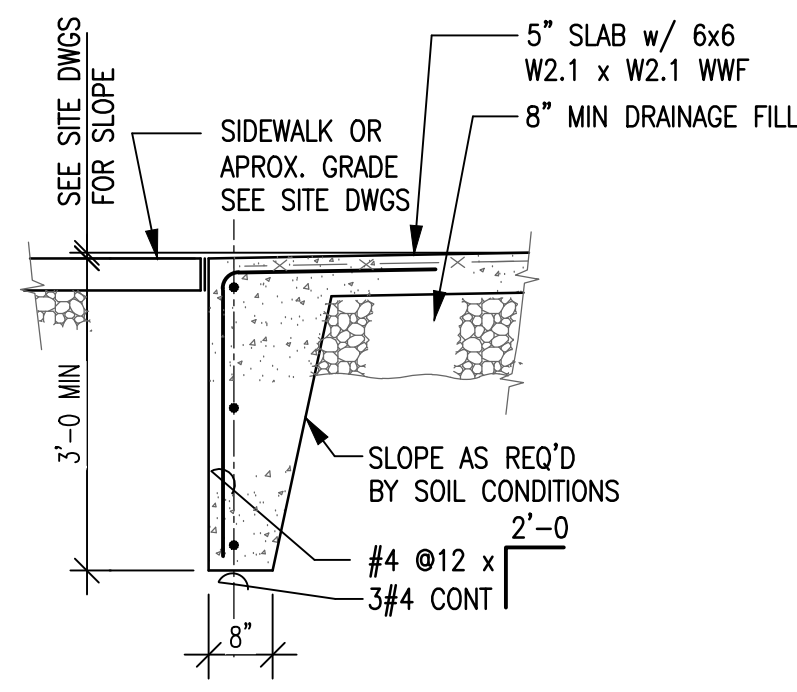
8600 West Chester Pike, Suite 201
Upper Darby, PA 19082
t: 610.896.4500 | f: 610.896.4503
w: www.orndorf.com

N.J.P.E. # GE36372
N.J. CERT. OF AUTH. #24C427960500

KEVIN R. ORNDORF

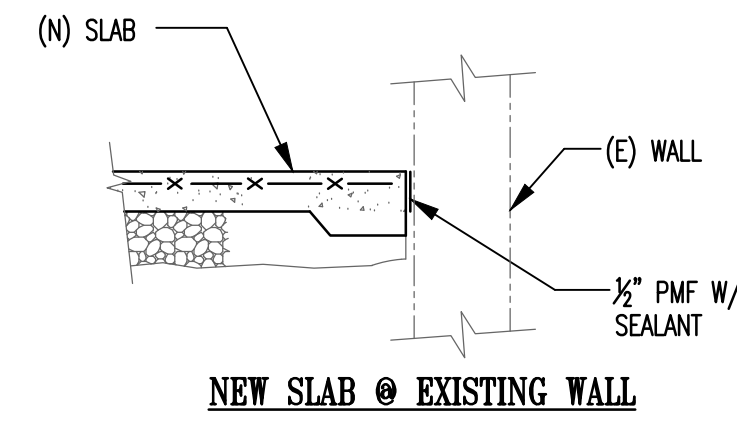
VOID UNLESS GREEN OR EMBOSSED PROFESSIONAL SEAL IS AFFIXED

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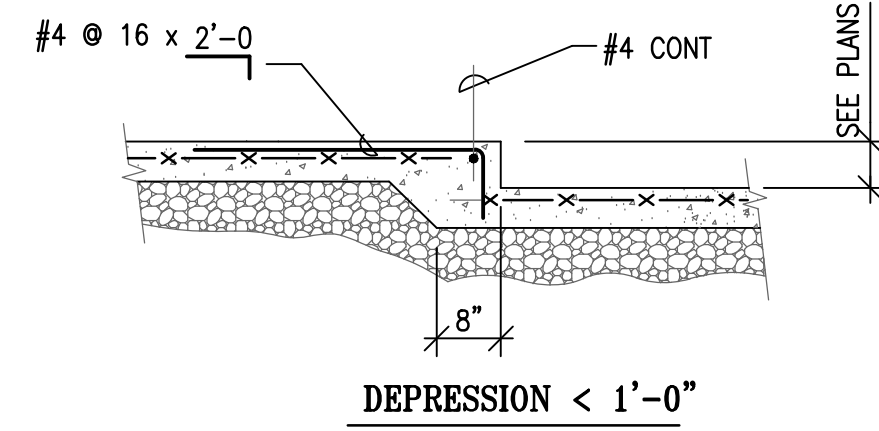
1
S-2

TURNED DOWN SLAB
1/2" = 1'-0"



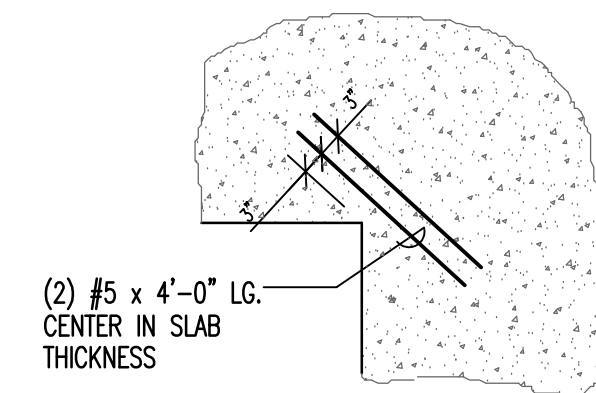
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S-2

TYPICAL NEW SLAB/EXISTING INTERFACE
1/2" = 1'-0"



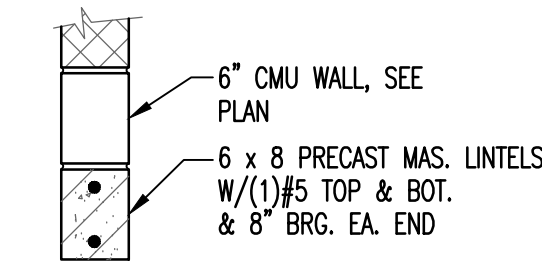
3
S-2

SLAB DEPRESSION DETAILS
1/2" = 1'-0"



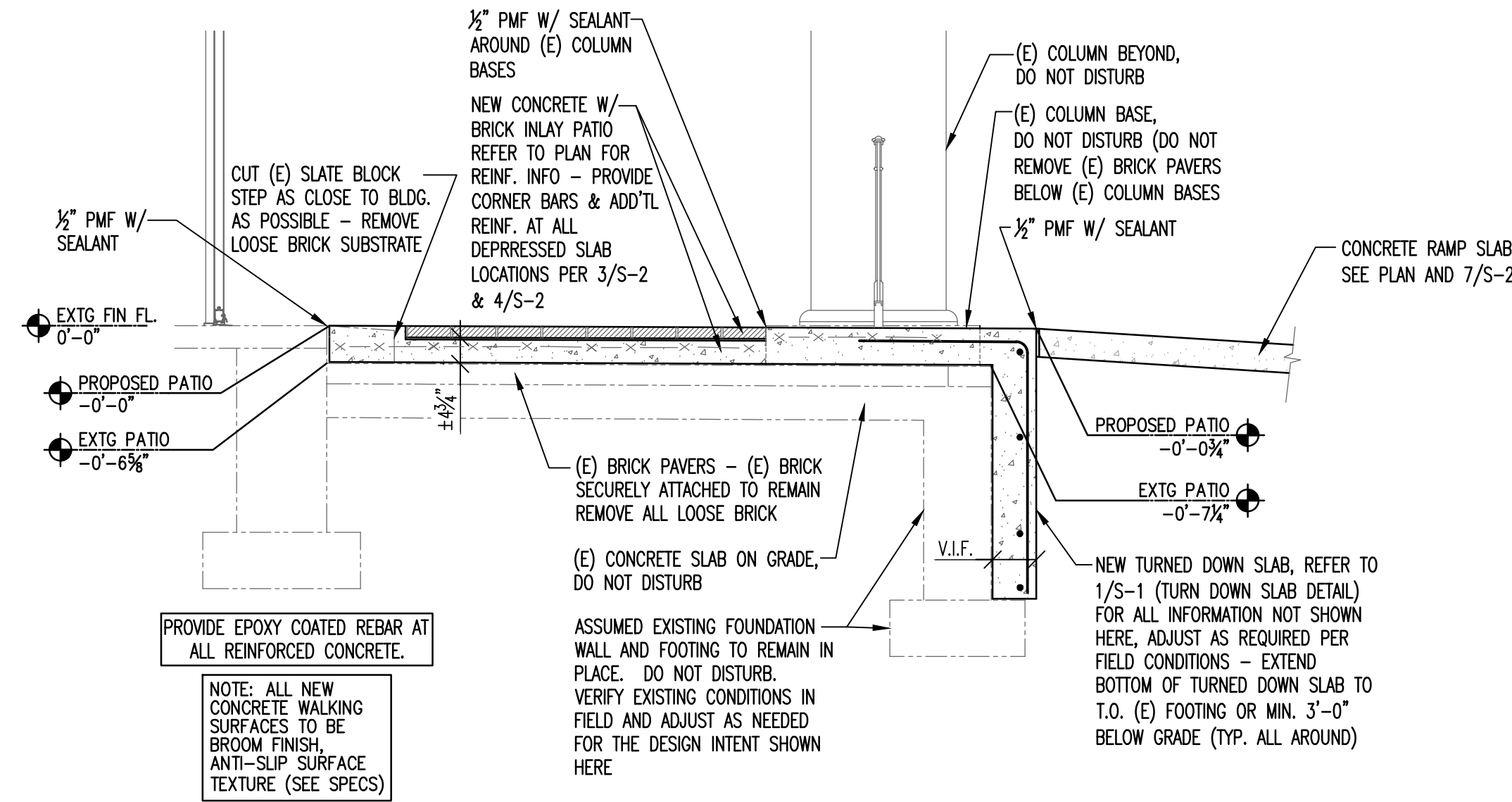
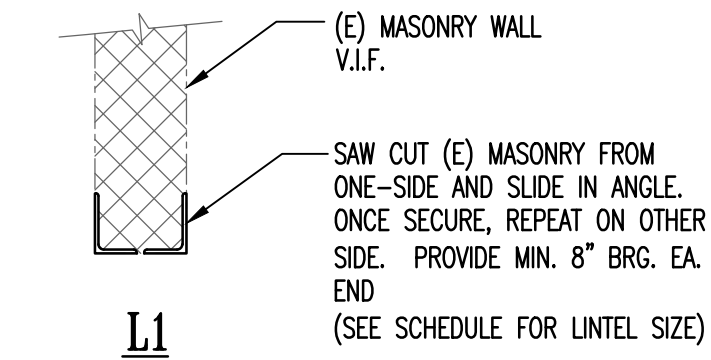
4
S-2

RE-ENTRANT CORNER
1/2" = 1'-0"



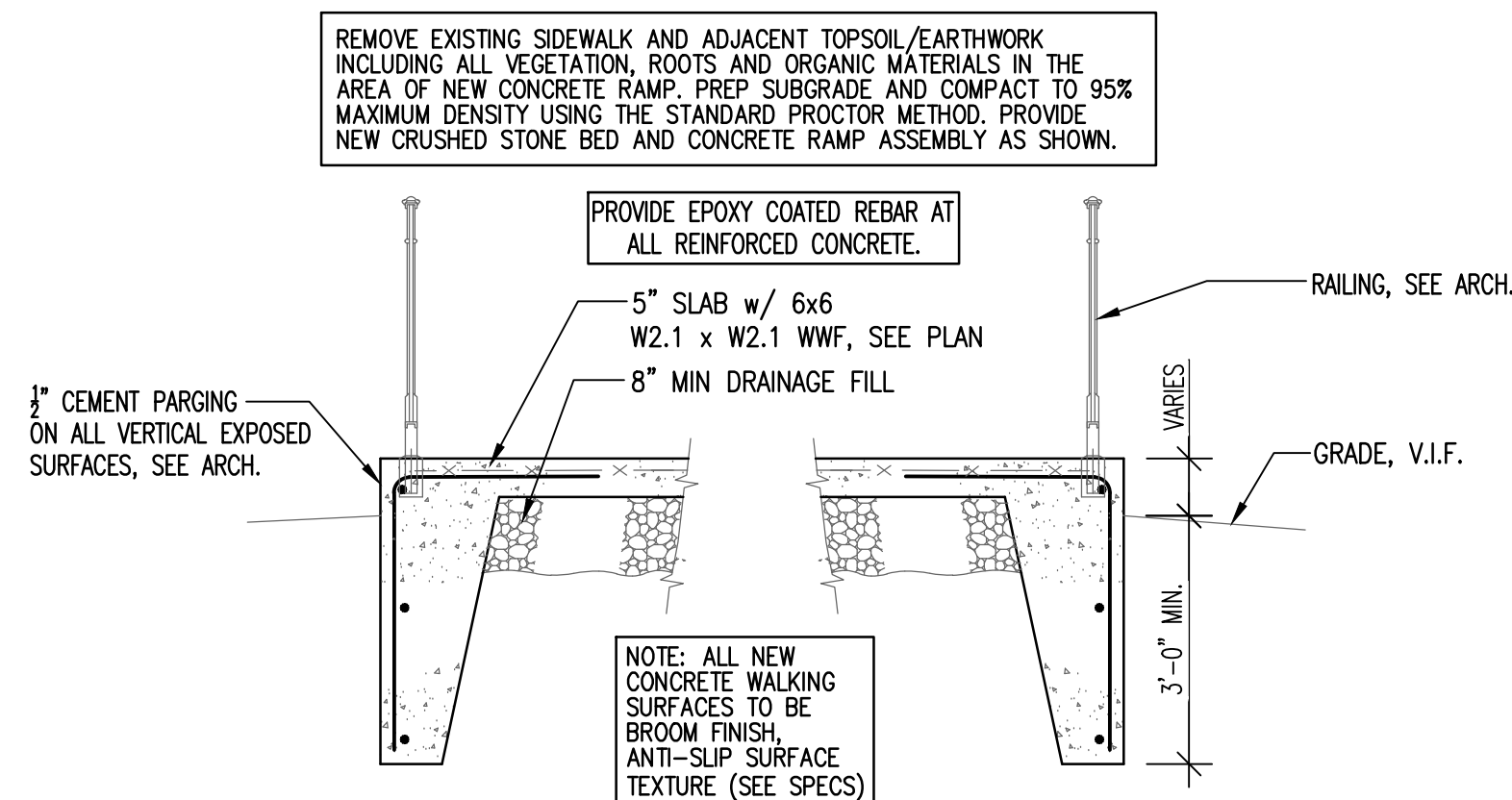
5
S-2

LINTEL DETAILS
3/4" = 1'-0"



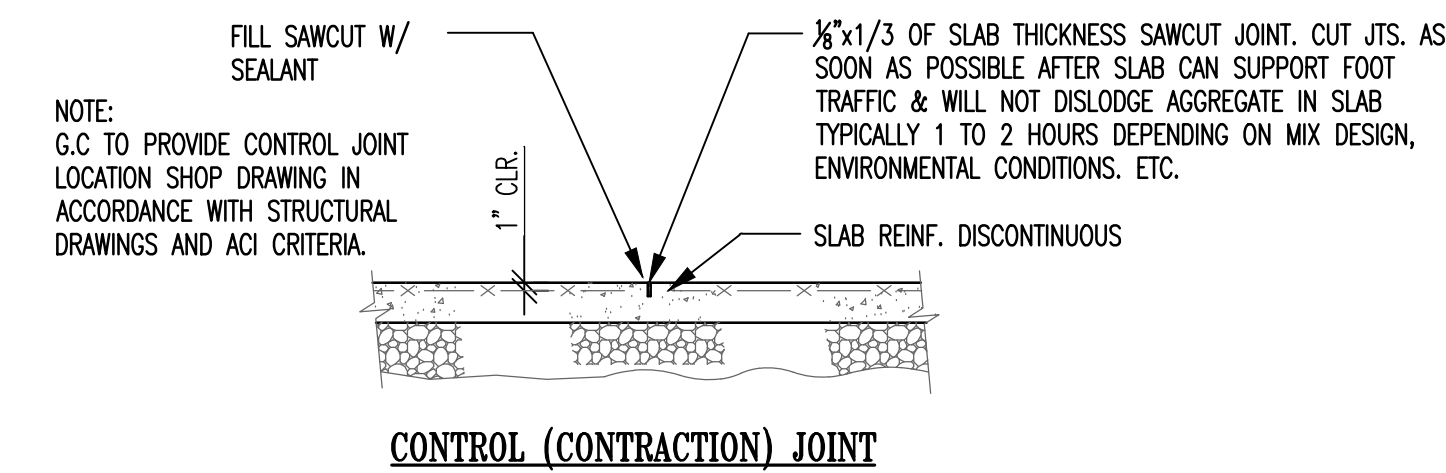
6
S-2

SECTION AT NEW CONCRETE W/ BRICK INLAY PATIO
1/2" = 1'-0"



7
S-2

SECTION AT NEW CONCRETE RAMP
1/2" = 1'-0"



8
S-2

TYPICAL SLAB-ON-GRADE JOINT DETAILS
1/2" = 1'-0"

REVISIONS	
a.	e.
b.	f.
c.	g.

Project No. 18-91
Date: 02/25/19
Scale: AS NOTED
SECTIONS & DETAILS
S-2

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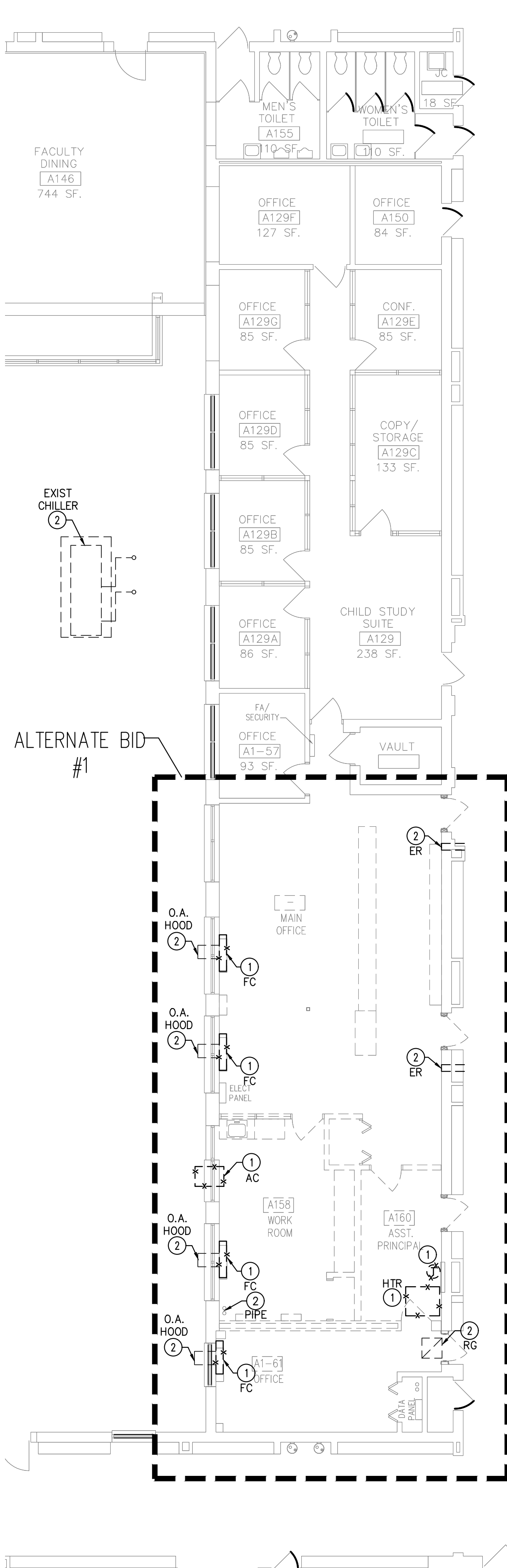
ORNDORF & ASSOCIATES, INC.
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KEVIN R. ORNDORF

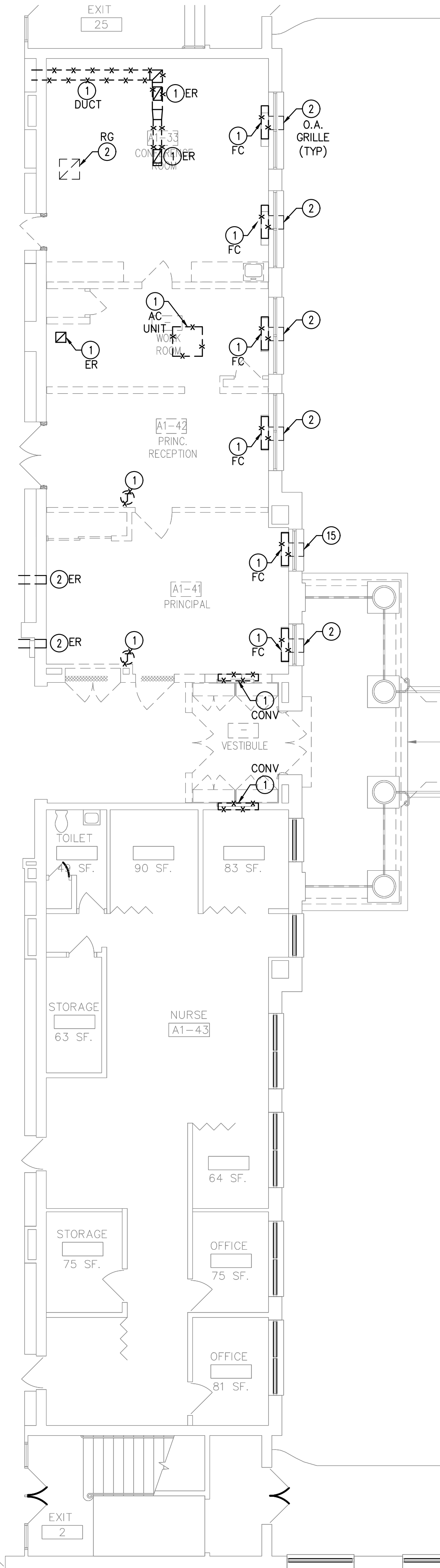
ALL NOTES ON PLANS MAY NOT BE ON THIS SHEET
FOR ALL NOTES REFER TO NOTES ON M-2

PRIOR TO BIDDING, MECHANICAL CONTRACTOR
TO VISIT SITE PER SPECIFICATION 15010
ALL WORK NEW U.N.O.
ALL WORK BASE BID U.N.O.

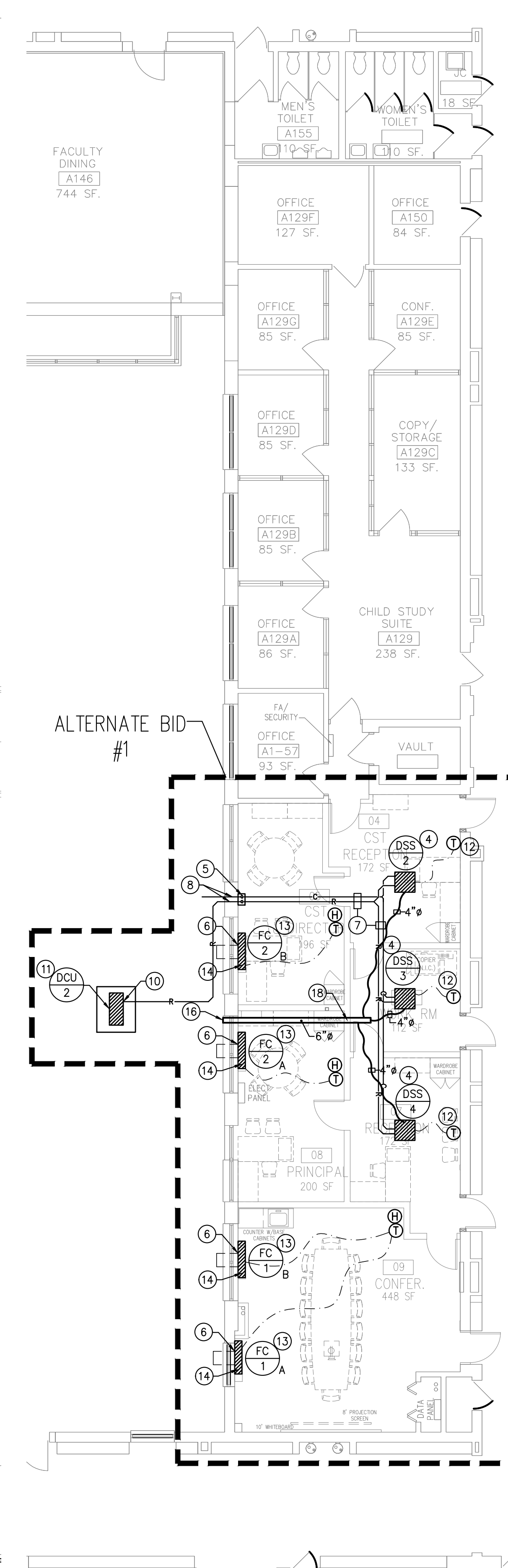
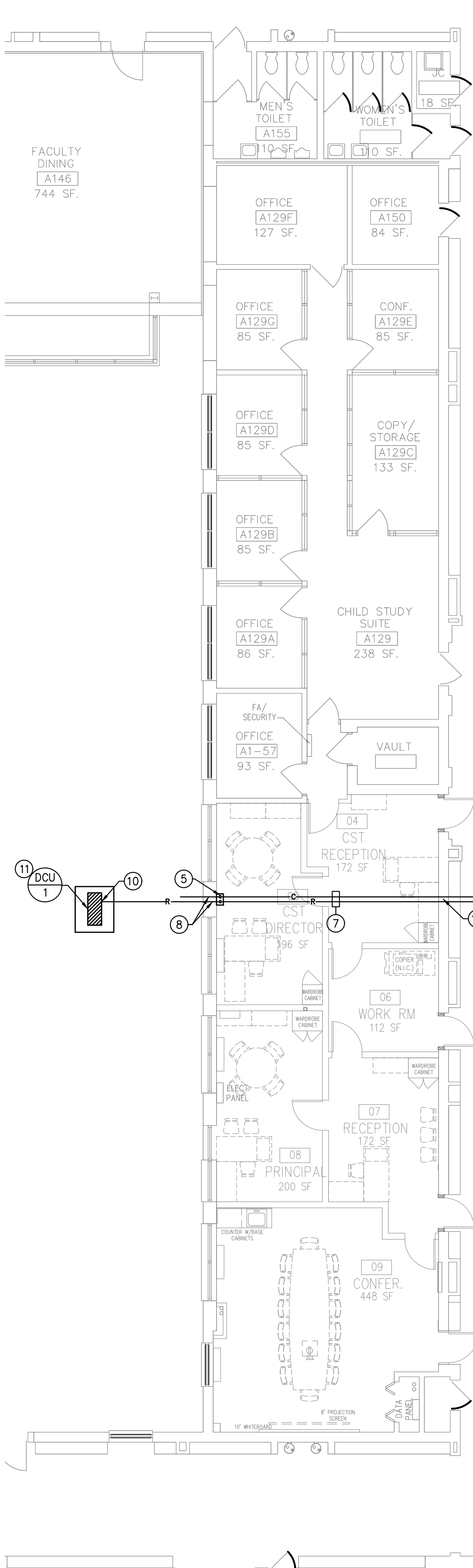
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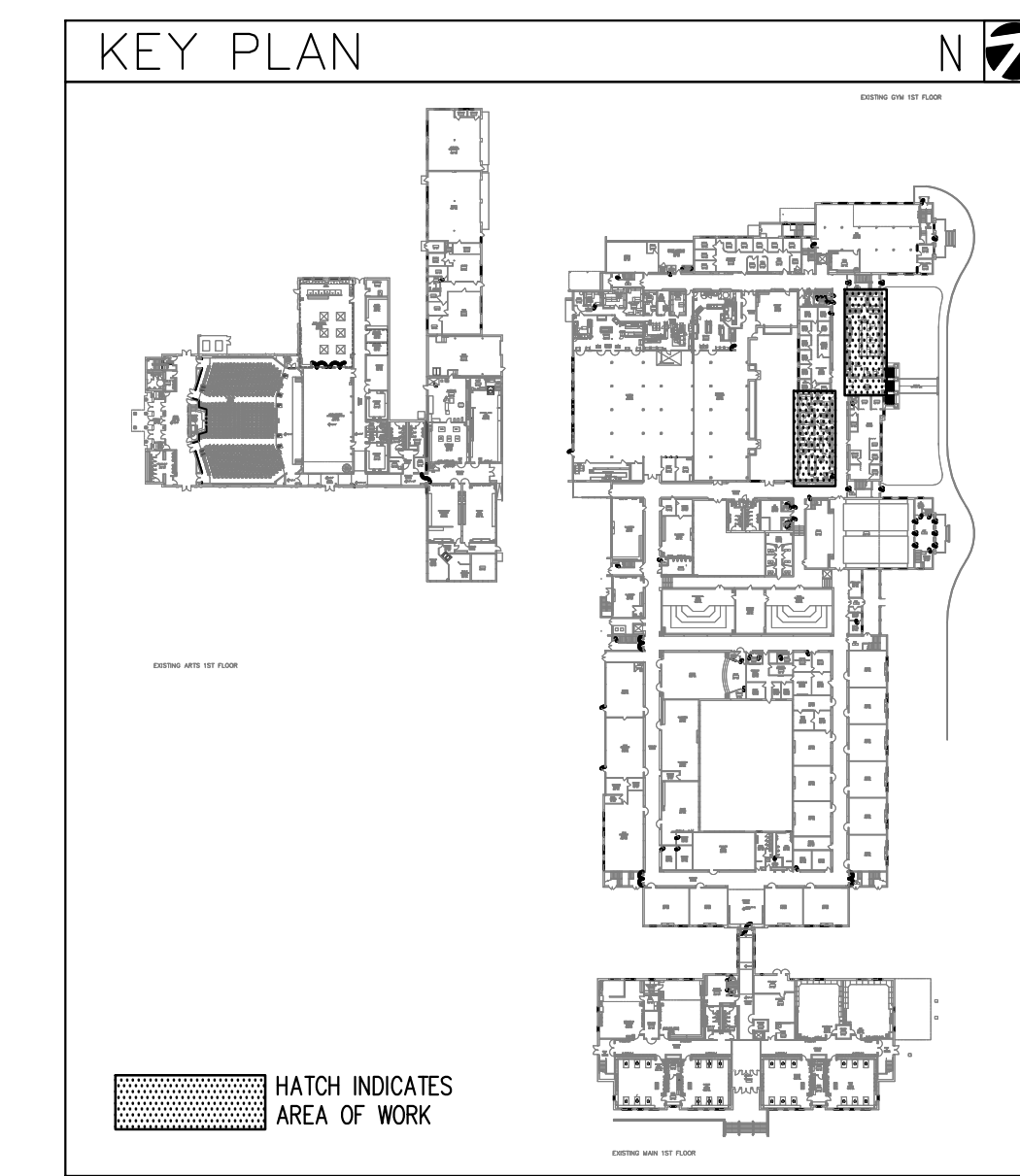
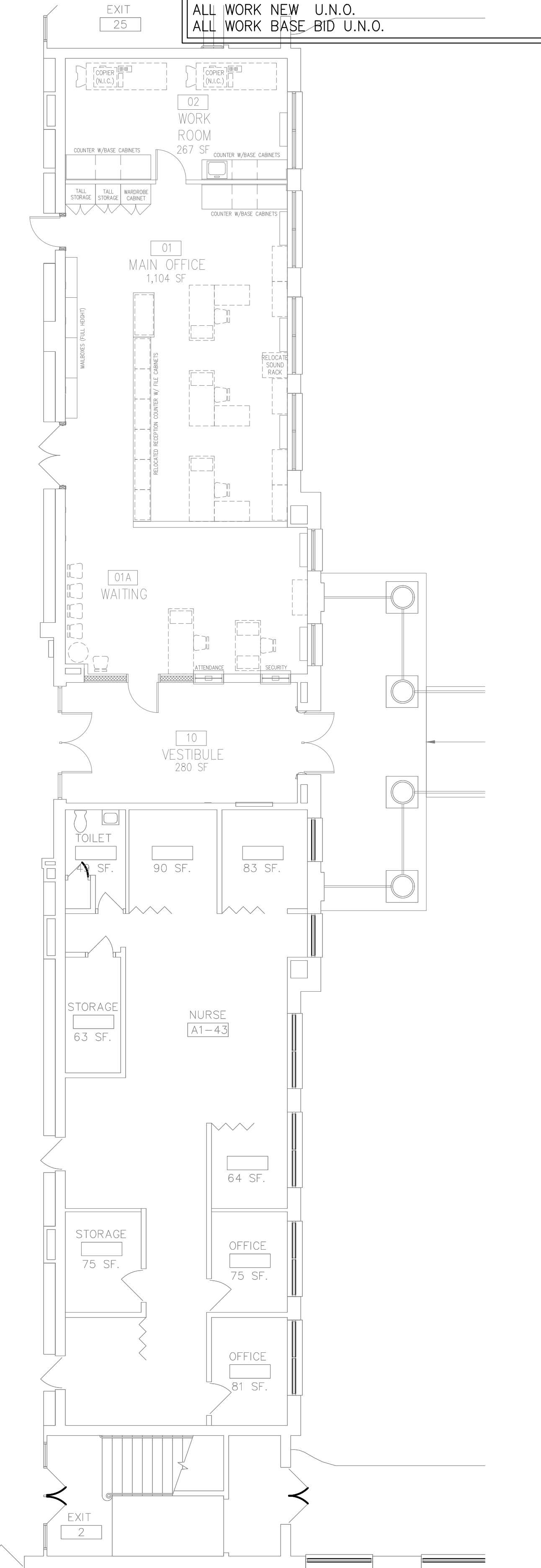
1 EXISTING PARTIAL MECHANICAL FLOOR PLAN
M-1 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"



2 PROPOSED PARTIAL MECHANICAL FLOOR PLAN BASE BID
M-1 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"



3 PROPOSED PARTIAL MECHANICAL PLAN ALTERNATE BID #1
M-1 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"



HATCH INDICATES
AREA OF WORK

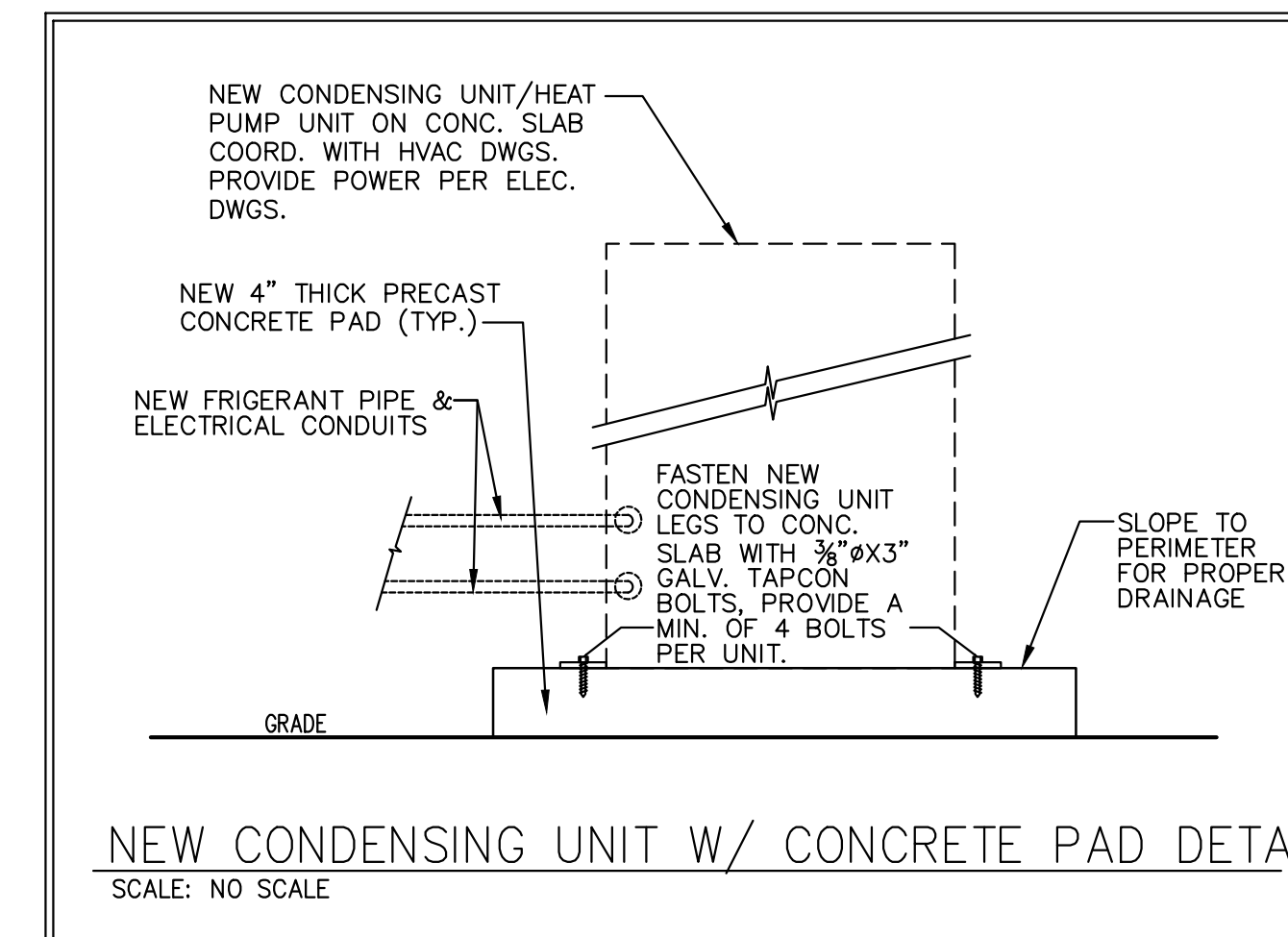
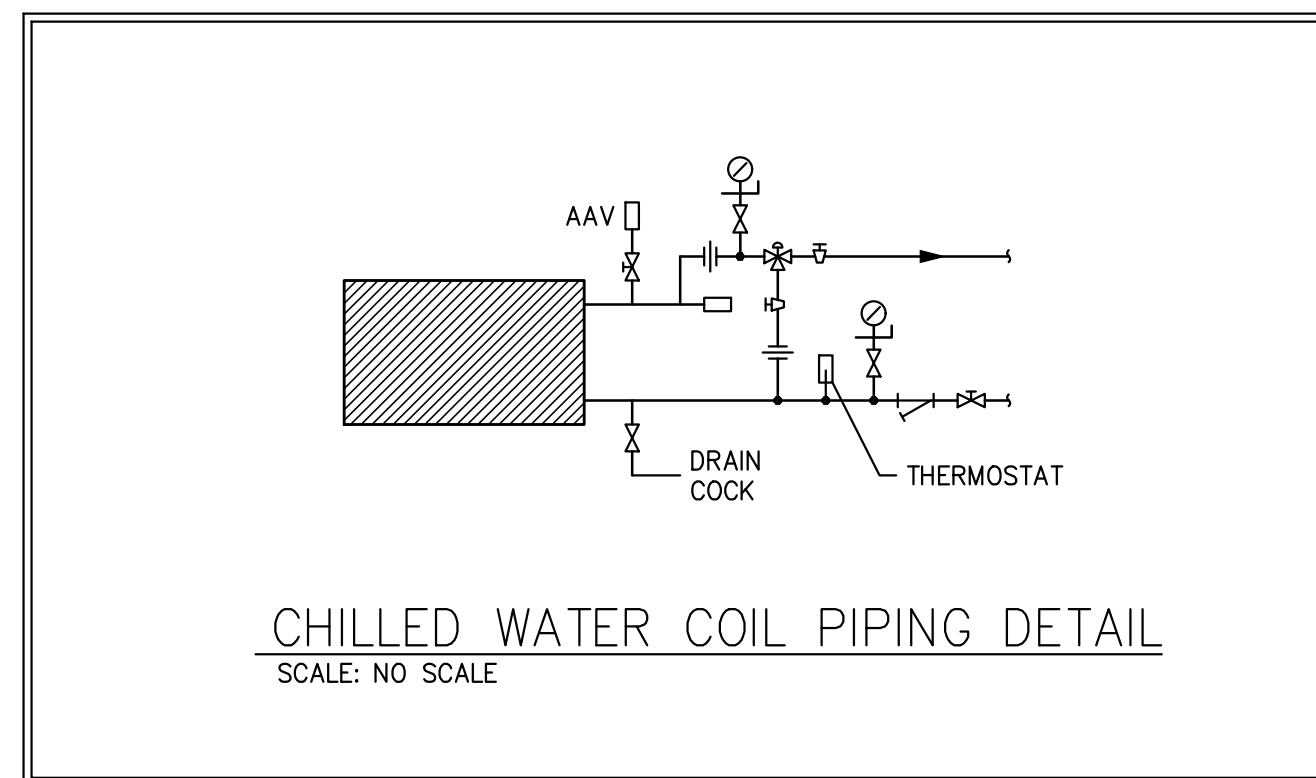
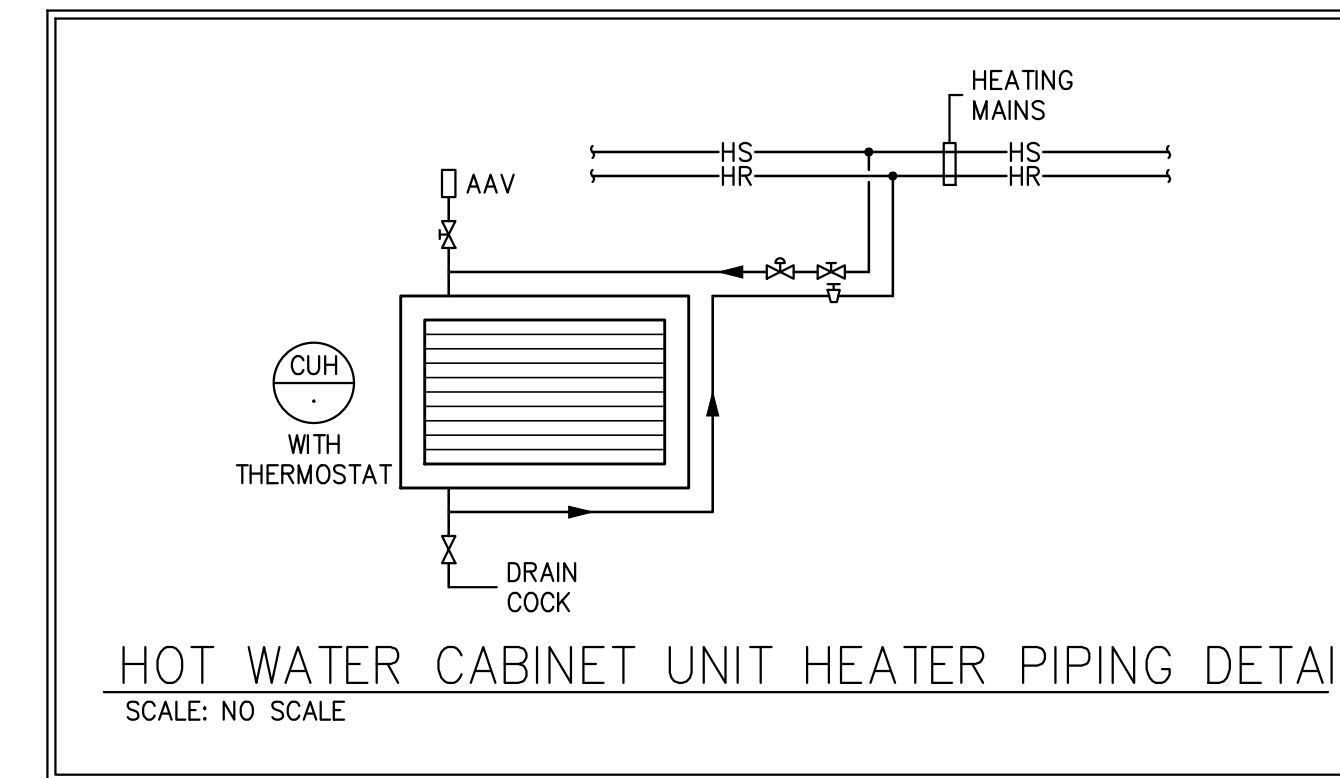
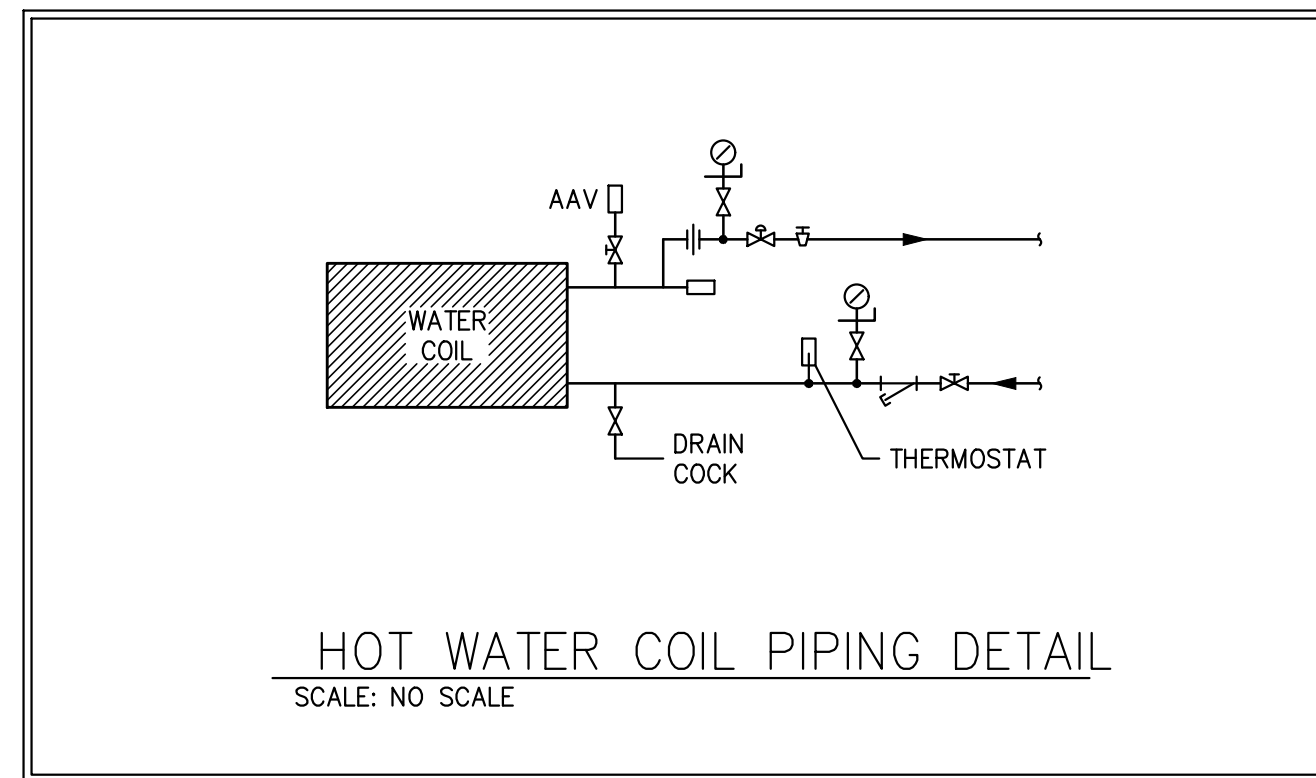
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EXISTING & PROPOSED MECHANICAL FLOOR PLANS
M-1

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FOR ALL NOTES REFER TO NOTES ON M-2

PRIOR TO BIDDING, MECHANICAL CONTRACTOR
TO VISIT SITE PER SPECIFICATION 15010
ALL WORK NEW U.N.O.
ALL WORK BASE BID U.N.O.



MECHANICAL LEGEND

A/L	ACOUSTICALLY LINED	—C—	CONDENSATE PIPE
AP	ACCESS PANEL	—HWS—	HOT WATER HEATING SUPPLY (SYSTEM)
ACD	ACCESS DOOR	—HWR—	HOT WATER HEATING RETURN (SYSTEM)
ADR	AUTOMATIC DAMPER	—CHWR—	CHILLED WATER RETURN (SYSTEM)
BDD	BACK DRAFT DAMPER	—CHWS—	CHILLED WATER SUPPLY (SYSTEM)
BTJ	BETWEEN THE JOISTS	—CWR—	CONDENSER WATER RETURN
CS	CHILLED WATER SUPPLY	—CWS—	CONDENSER WATER SUPPLY
CR	CHILLED WATER RETURN	—R—	REFRIGERANT PIPE
CD	CEILING DIFFUSER	—G—	GATE VALVE
CU	CONDENSING UNIT	—C—	CHECK VALVE
CUH	CABINET UNIT HEATER	—R—	RELIEF VALVE
DBR	DOWN BLOW REGISTER	—C—	CONTROL VALVE
DL	DOOR LOUVER	—C—	AUTOMATIC THREE-WAY VALVE
DN	DOWN	—G—	GLOBE VALVE
DX	DIRECT EXPANSION COIL	—R—	PRESSURE REDUCING VALVE
(E)	EXISTING	—C—	AUTOMATIC TWO-WAY VALVE
EF	EXHAUST FAN	—P—	PLUG OR BALL VALVE
EG	EXHAUST GRILLE	—B—	BALANCING VALVE
ER	EXHAUST REGISTER	—S—	STRAINER
FDR	FIRE DAMPER	—U—	UNION
FVAV	FAN POWERED VAV UNIT	—T—	HEATING THERMOSTAT
GV	GATE VALVE	—C—	HEATING & COOLING THERMOSTAT
HR	HOT WATER HEATING RETURN	—C—	COOLING THERMOSTAT
HS	HOT WATER HEATING SUPPLY	—H—	HUMIDISTAT
LAD	LOUVER/AUTO DAMPER	—T—	THERMOMETER
LBD	LOUVER/BACKDRAFT DAMPER	—G—	PRESSURE GAUGE W/GAUGE COCK
LID	LINEAR DIFFUSER	—A—	AUTOMATIC AIR VENT
LMD	LOUVER/MANUAL DAMPER	—F—	FLEXIBLE CONNECTION
LVR	LOUVER	—N—	NEW CONNECTION TO EXISTING
MUA	MAKEUP AIR UNIT	—D—	POINT OF DEMOLITION
MYD	MANUAL VOLUME DAMPER	—R—	DUCT REDUCER
OA	OUTSIDE AIR		
RG	RETURN GRILLE		
RR	RETURN REGISTER		
SG	SUPPLY GRILLE		
SF	SUPPLY FAN		
SR	SUPPLY REGISTER		
SDR/FDR	SMOKE/FIRE DAMPER		
TF	TRANSFER FAN		
TWJ	THROUGH WEB OF JOIST		
TYP	TYPICAL (OF QUANTITY)		
UNO	UNLESS NOTED OTHERWISE		
VAV	VARIABLE AIR VOLUME TERMINAL UNIT		
VVT	VARIABLE AIR VOLUME TEMPERATURE UNIT		
WMS	WIRE MESH SCREEN		

MECHANICAL SHEET NOTES

- EXISTING TO BE REMOVED. REMOVE ALL APPURTENANCES. CAP ALL FINISHED SURFACES. PATCH EXISTING SURFACES DISTURBED TO MATCH ADJACENT SURFACES.
- EXISTING TO REMAIN. ITEM AS INDICATED. VERIFY ALL CONDITIONS IN FIELD. PROTECT DURING CONSTRUCTION.
- NEW HORIZONTAL RECESSED CABINET UNIT HEATER IN CEILING. VERIFY EXACT LOCATION IN FIELD.
- NEW DUCTLESS SPLIT SYSTEM CASSETTE UNIT.
- NEW REFRIGERANT AND CONDENSATE PIPE DOWN IN METAL ENCLOSURE THRU EXISTING WALL AND DISCHARGE AT GRADE.
- ATTACH EXISTING OUTSIDE AIR UNIT GRILLE TO NEW FAN COIL UNIT DUCT MODIFY EXISTING OPENING AS REQ'D.
- NEW REFRIGERANT PIPE AND CONDENSATE LINE ABOVE NEW OR EXISTING CEILING. REMOVE AND REPLACE EXISTING CEILING AND ALL CONSTRUCTION AS REQUIRED FOR PIPE INSULATION. VERIFY EXACT ROUTE AND LOCATION IN FIELD.
- NEW REFRIGERANT AND CONDENSATE PIPE THRU EXISTING WALL. CONDENSATE LINE DISCHARGE AT GRADE.
- NOT USED.
- NEW REFRIGERANT PIPE CONNECT TO NEW CONDENSING UNIT PER UNIT MANUFACTURERS' REQUIREMENTS.
- NEW CONDENSING UNIT ON NEW 6'-0" x 6'-0", 4" THICK CONCRETE PAD. CONCRETE SHALL BE 4200 PSI CONCRETE, CLASS A, OVER 4" CRUSHED STONE AND COMPACTED FILL. 1/2" ROUNDING OR CHAMFER ALL EXPOSED CORNERS. SEE DETAIL ON THIS SHEET.
- NEW THERMOSTAT. VERIFY EXACT LOCATION IN FIELD WITH EXISTING CONDITIONS. REMOVE EXISTING THERMOSTAT AND INSTALL NEW THERMOSTAT IN PLACE (IF APPLICABLE). NOTE - DO NOT USE EXISTING LOCATION IF HEAT GENERATING SOURCE, IE. COMPUTER MONITOR, ETC., IS NEARBY. PROVIDE LOCKABLE COVERS AT ALL THERMOSTATS IN AREAS ACCESSIBLE TO THE PUBLIC.
- NEW VERTICAL FAN COIL UNIT.
- CONNECT EXISTING C.W. CHILLED WATER AND HOT WATER SUPPLY AND RETURN PIPE TO NEW VERTICAL FAN COIL UNIT. VERIFY EXACT LOCATION IN FIELD.
- SEAL OFF EXISTING OUTSIDE AIR GRILLE. SEE ARCHITECTURAL PLANS.
- NEW FRESH AIR INTAKE VENT.
- NEW PIPE THRU EXISTING / NEW WALL.
- NEW DUCT THRU NEW WALL.
- NEW HOT WATER SUPPLY AND RETURN PIPE UP IN NEW STUD WALL PARTITION FROM CRAWL SPACE BELOW.
- NEW HOT WATER SUPPLY AND RETURN PIPE ABOVE EXISTING CEILING.

NOTE:
FINAL LOCATION OF NEW INTERIOR DUCTLESS SPLIT SYSTEM UNITS SHALL BE COORDINATED WITH EXISTING CEILING AND LIGHTS. CONTRACTOR IS FURTHER CAUTIONED THAT THE NEW UNITS MAY HAVE TO BE LOCATED BETWEEN EXISTING STRUCTURE.

DUCTLESS SPLIT SYSTEM A/C SCHEDULE BASE BID SYMBOL **(DSS) (DCU)**

NO.	COOLING CAP'Y	HEATING CAP'Y	ROOM SERVED	INDOOR UNIT	REMARKS
1	8,400	10,900	10 VEST	SLZ-KA09NA	DCU-1 3/4 TON MITSUBISHI SUZ-KA09NA

W/ REFRIGERANT PIPE PER MANUFACTURERS REQUIREMENTS
INTERFACE W/ CENTRAL CONTROL SYSTEM FOR SCHEDULING

DUCTLESS SPLIT SYSTEM A/C SCHEDULE ALT. BID SYMBOL **(DSS) (DCU)**

NO.	COOLING CAP'Y	HEATING CAP'Y	ROOM SERVED	INDOOR UNIT	REMARKS
2	8,400	10,900	CST RECEPT	SLZ-KA09NA	DCU-2 3 TON MITSUBISHI MXZ-4C30NAHZ
3	8,400	10,900	06 WORK ROOM	SLZ-KA09NA	
4	8,400	10,900	07 RECEPT	SLZ-KA09NA	

W/ REFRIGERANT PIPE PER MANUFACTURERS REQUIREMENTS
INTERFACE W/ CENTRAL CONTROL SYSTEM FOR SCHEDULING

UNIT HEATER & CABINET UNIT HEATER SCHEDULE SYMBOL **(CUH) (UH)**

NO.	MBH	GPM	P.D. FT. WATER	ENTER AIR TEMP.	ENTER WATER TEMP.	CFM	FINAL AIR TEMP.	FAN H.P.	REMARKS
1	49.7	5	0.93	60	180	608	120	1/10	CABINET UNIT HEATER RECESSED, HORIZ. BOTTOM OUTLET/INLET

FAN COIL UNIT SCHEDULE SYMBOL **(FC)**

NO.	CFM	H.P.	RPM.	COOLING CAP'Y		HEAT MBH	COOLING		HEATING		REMARKS
				SENS.	TOTAL		GPM	PD.FT.	GPM	PD.FT.	
1	217	37W	840	4.66	6.35	18.45	1.30	2.56	1.20	1.93	VERTICAL CABINET TRANE B020
2	277	37W	780	5.62	7.53	22.36	1.50	3.45	1.50	2.74	VERTICAL CABINET TRANE B030
3	338	58W	780	7.67	10.91	28.29	2.20	7.64	1.90	4.74	VERTICAL CABINET TRANE B040
4	933	145W	1070	20.73	29.25	78.53	5.90	9.86	5.20	7.39	VERTICAL CABINET TRANE B100

PROVIDE NEW MOTORIZED OUTSIDE AIR DAMPER.
PROVIDE REMOTE ROOM THERMOSTAT AND HUMIDISTAT.
MOUNT CHILLED WATER IN REHEAT POSITION.
CHILLED WATER COIL BASED ON 30% PROPYLENE GLYCOL UNITS ARE (4) PIPE.

REVISIONS

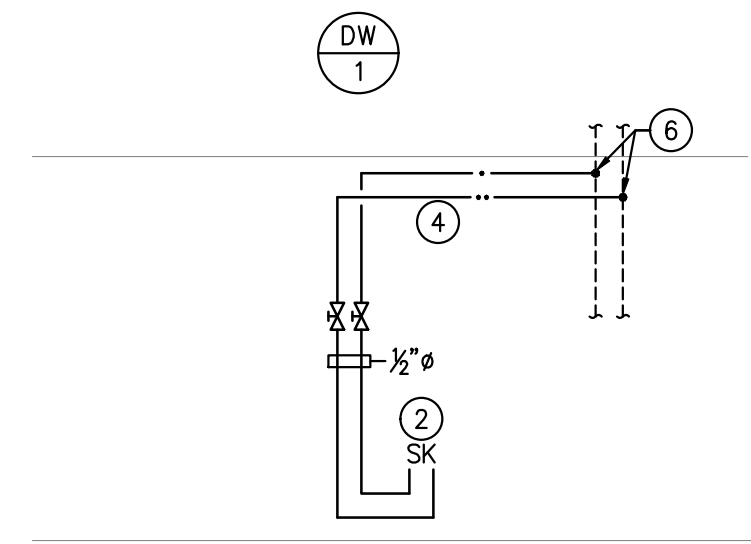
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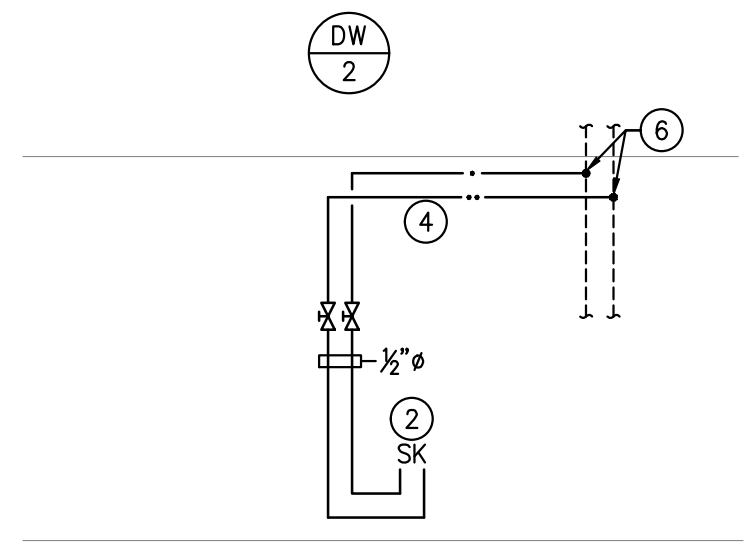
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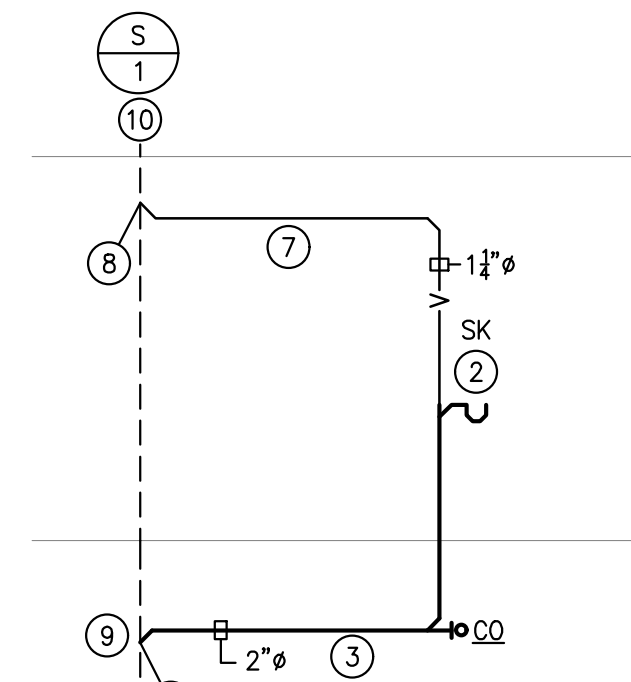
ALL WORK BY PLUMBING CONTRACTOR U.N.O.
ALL WORK NEW U.N.O.
ALL WORK BASE BID U.N.O.
FOR RISER DIAGRAMS SEE SHEET P-1



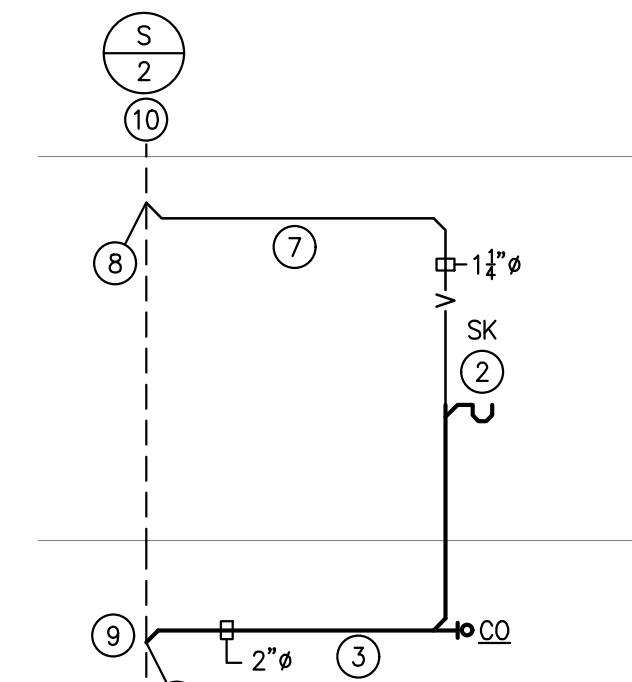
DOMESTIC WATER PIPING DETAIL
SCALE: NO SCALE



DOMESTIC WATER PIPING DETAIL ALT BID #1
SCALE: NO SCALE



SANITARY RISER DIAGRAM
SCALE: NO SCALE



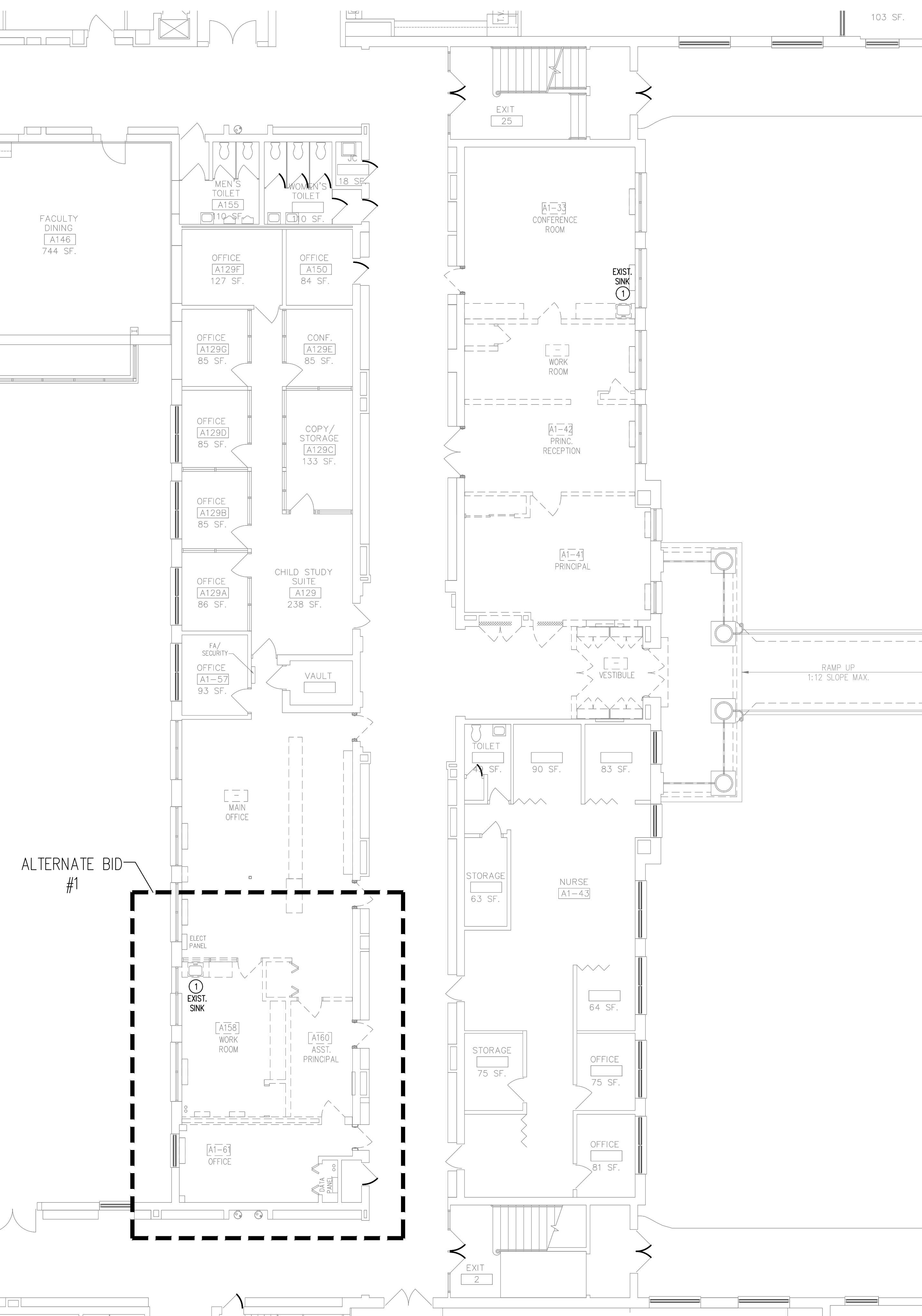
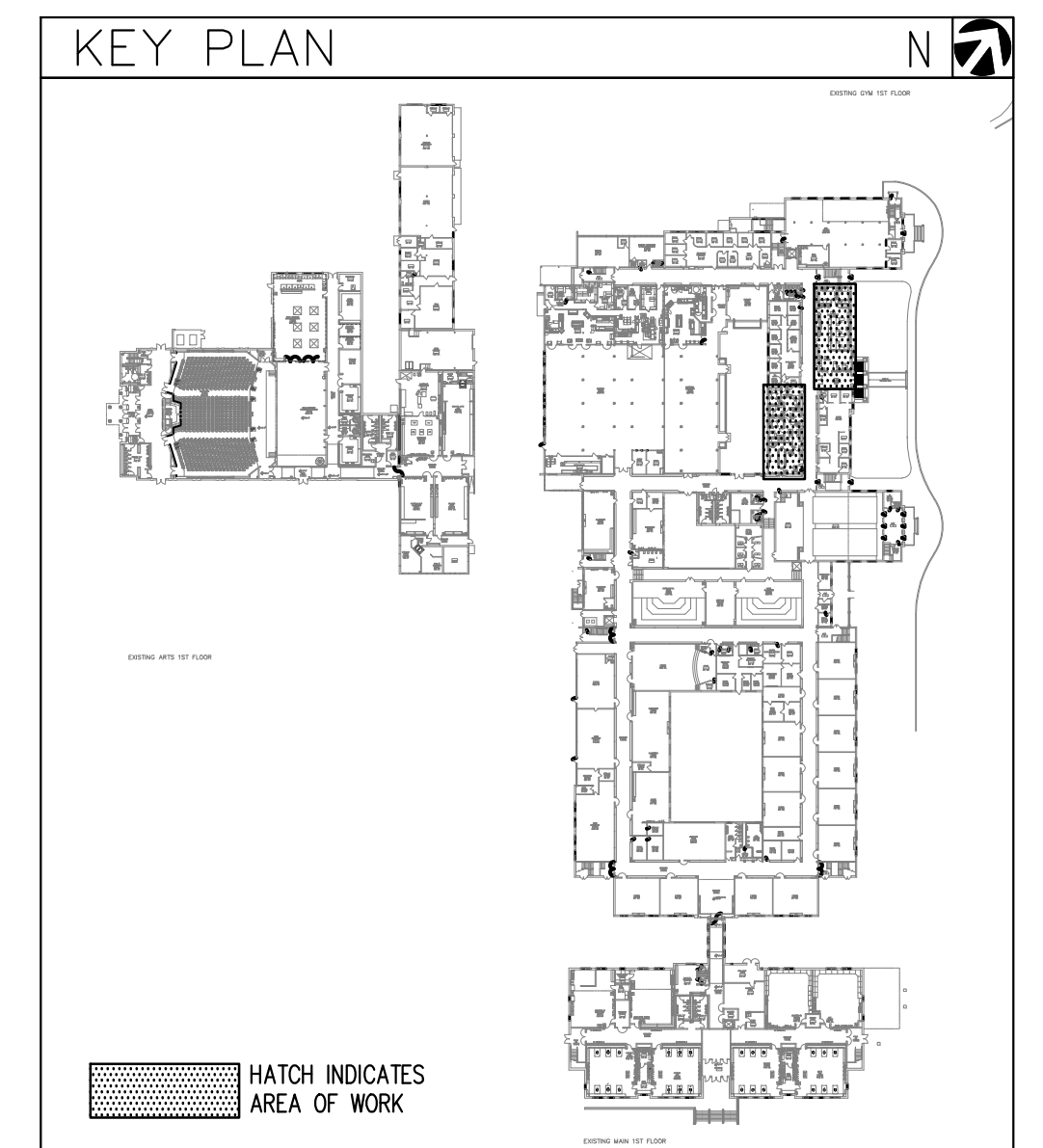
SANITARY RISER DIAGRAM ALT BID #1
SCALE: NO SCALE

PLUMBING LEGEND			
3CS	(3) COMPARTMENT SINK	—A—	COMPRESSED AIR
ACD	ACCESS DOOR	—C—	COLD WATER
AD	AREA DRAIN	—D—	DOMESTIC HOT WATER
BT	BATHTUB	—R—	DOMESTIC HOT WATER RETURN
CC	CLEANOUT	—S—	SANITARY SEWER
DC	DENTAL CHAIR	—V—	STORM WATER
DN	DOWN	—V—	VENT PIPING
DF	DRINKING FOUNTAIN	—F—	FIRE PROTECTION PIPE
DSW	DISHWASHER	—VAC—	VACUUM PIPE
DSHWR	DISHWASHER	—DCA—	DENTAL COMPRESSED AIR
EWC	ELECTRIC WATER COOLER	—AR—	ACID RESISTANT PIPE
FH	FUME HOOD	—ARV—	ACID RESISTANT VENT
FPS	FOOD PREP SINK	—S—	SPRINKLER HEAD
FS	FLOOR SINK	—C—	CLEANOUT
GS	GREASE INTERCEPTOR	—FD—	FLOOR DRAIN
HCLS	HANDICAPPED LAB STATION/SINK	—G—	GATE VALVE
HD	HUB DRAIN	—C—	CHECK VALVE
HS	HAND SINK	—R—	RELIEF VALVE
HTUB	HYDRO THERAPY TUB	—T—	AUTOMATIC THREE-WAY VALVE
HWS	HAIR WASH SINK	—G—	GLOBE VALVE
IS	INSTRUCTORS TABLE/SINK	—P—	PRESSURE REDUCING VALVE
LAV	LAVATORY	—A—	AUTOMATIC TWO-WAY VALVE
LS	LAB STATION/SINK	—G—	GAS COCK
MR	MOP RECEPTOR	—S—	STRAINER
MR	MOP RECEPTOR	—SC—	SIAMSE CONNECTION
MH	MANHOLE	—T—	THERMOMETER
MV	MIXING VALVE	—P—	PRESSURE GAUGE W/GAUGE COCK
OI	OIL INTERCEPTOR	—H—	WALL HYDRANT (HOSE BIBB)
PEDSK	PEDICURE SINK	—N—	NEW CONNECTION TO EXISTING
PS	PREP ROOM SINK	—D—	POINT OF DEMOLITION
RWC	RAINWATER CONDUCTOR	—Q—	SHOCK ABSORBER
SHWR	SHOWER	—Q—	BALANCING VALVE
SI	SAND INTERCEPTOR		
STK	STACK		
SS	SERVICE SINK		
UNO	UNLESS NOTED OTHERWISE		
UR	URNAL		
V	VENT		
VTR	VENT TO ROOF		
WC	WATER CLOSET		
WS	WASH STATION		

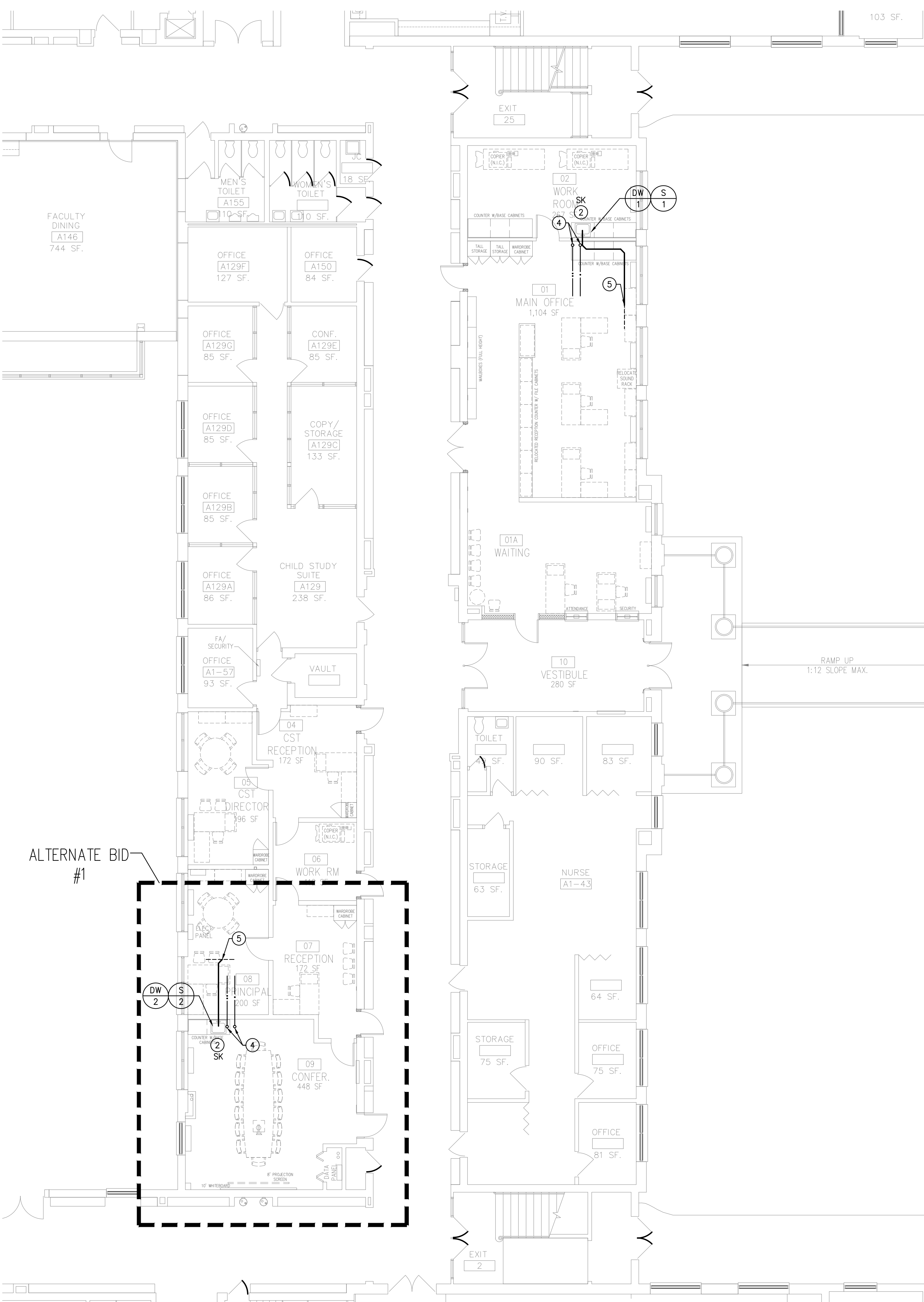
PLUMBING FIXTURE CONNECTION SCHEDULE						
FIXTURE TYPE	ABBREV	FIXTURE UNIT VALUE	CONNECTION SIZES			REMARKS
			(TRAP) SAN	VENT	HW	
SINK	SK	2	1 1/2	1 1/2	1/2	1/2

PLUMBING NOTES

- EXISTING PLUMBING FIXTURE AND ALL PIPE AND APPURTENANCES TO BE REMOVED. VERIFY ALL CONDITIONS IN FIELD.
- NEW PLUMBING FIXTURE TYPE AS INDICATED.
- NEW SANITARY LINE IN EXISTING CRAWL SPACE VERIFY ROUTE AND LOCATION IN FIELD.
- NEW DOMESTIC WATER PIPE IN CRAWL SPACE. VERIFY ROUTE AND LOCATION IN FIELD.
- CONNECT NEW SANITARY TO EXISTING SANITARY IN CRAWL SPACE BELOW EXISTING FLOOR SLAB. REPAIR EXISTING PIPE. VERIFY EXISTING LOCATION.
- CONNECT NEW DOMESTIC WATER TO EXISTING DOMESTIC WATER PIPE. VERIFY EXISTING PIPE AND REPAIR PIPE AND PROVIDE SHUTOFF VALVES.
- NEW VENT PIPE.
- CONNECT NEW VENT TO EXISTING VENT.
- EXISTING SANITARY LINE TO REMAIN.
- EXISTING VTR TO REMAIN. VERIFY EXACT LOCATION AND SIZE IN FIELD.



1 EXISTING PARTIAL PLUMBING FLOOR PLAN
P-1 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"



2 PROPOSED PARTIAL PLUMBING FLOOR PLAN
P-1 MAIN OFFICE RENOVATIONS
SCALE: 1/8" = 1'-0"

**RANCOCAS VALLEY REGIONAL HIGH SCHOOL
SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS**
520 JACKSONVILLE ROAD
MT. HOLLY, NEW JERSEY 08060

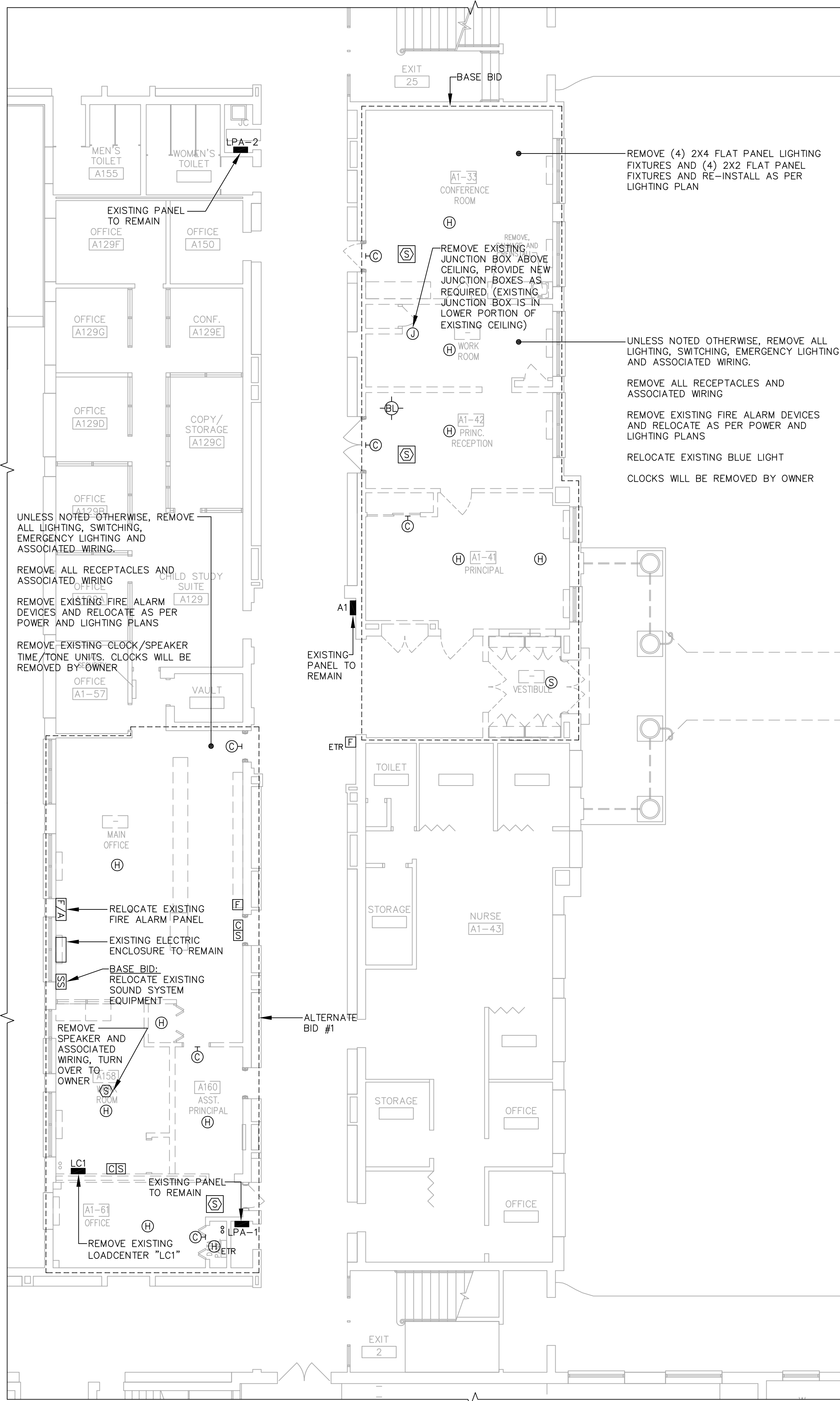
REVISIONS	
a.	e.
b.	f.
c.	g.

Project No. 18-91
Date: 02/25/19
Scale: AS NOTED

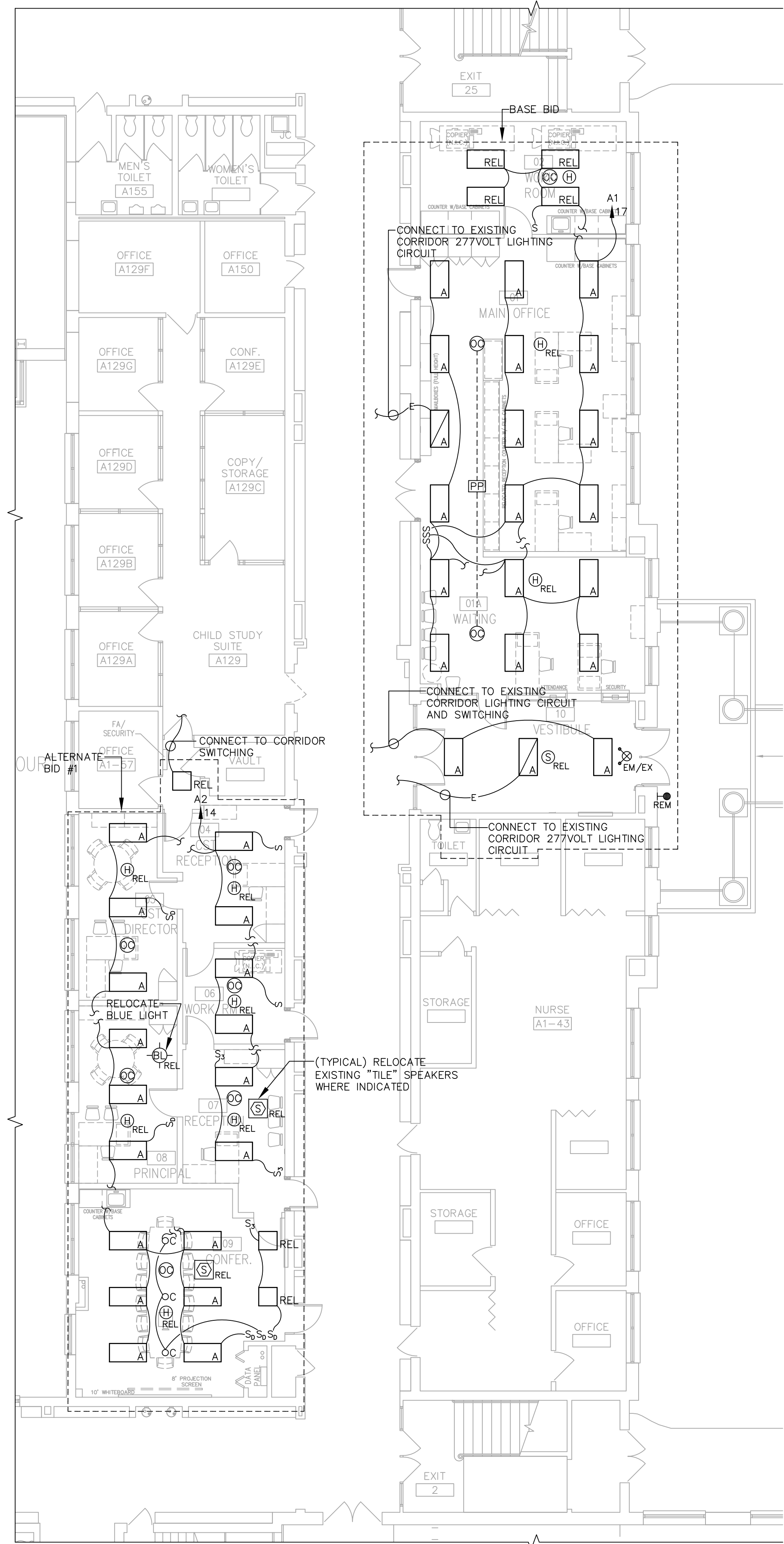
PLUMBING FLOOR PLANS SCHEDULES & NOTES

P-1

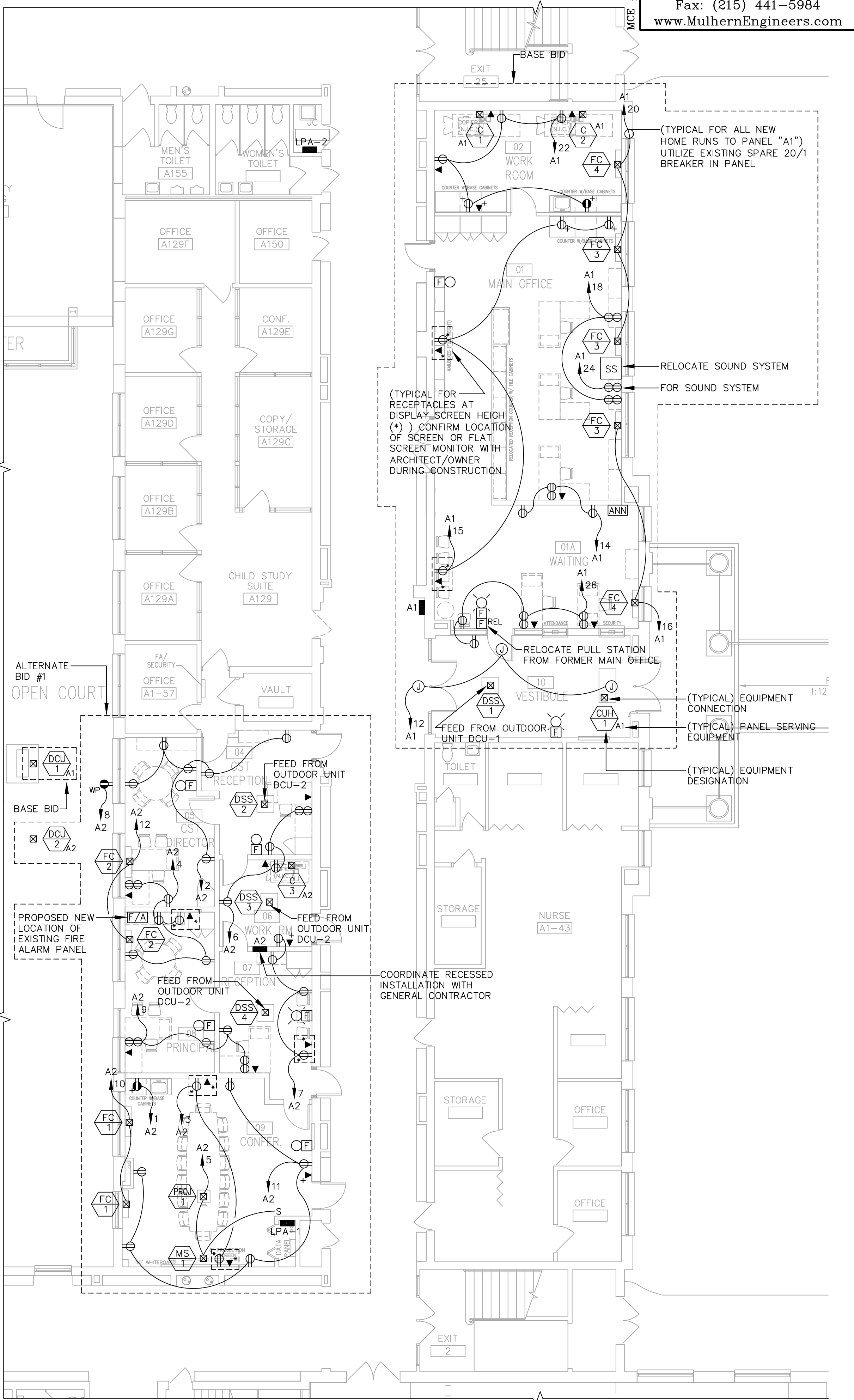
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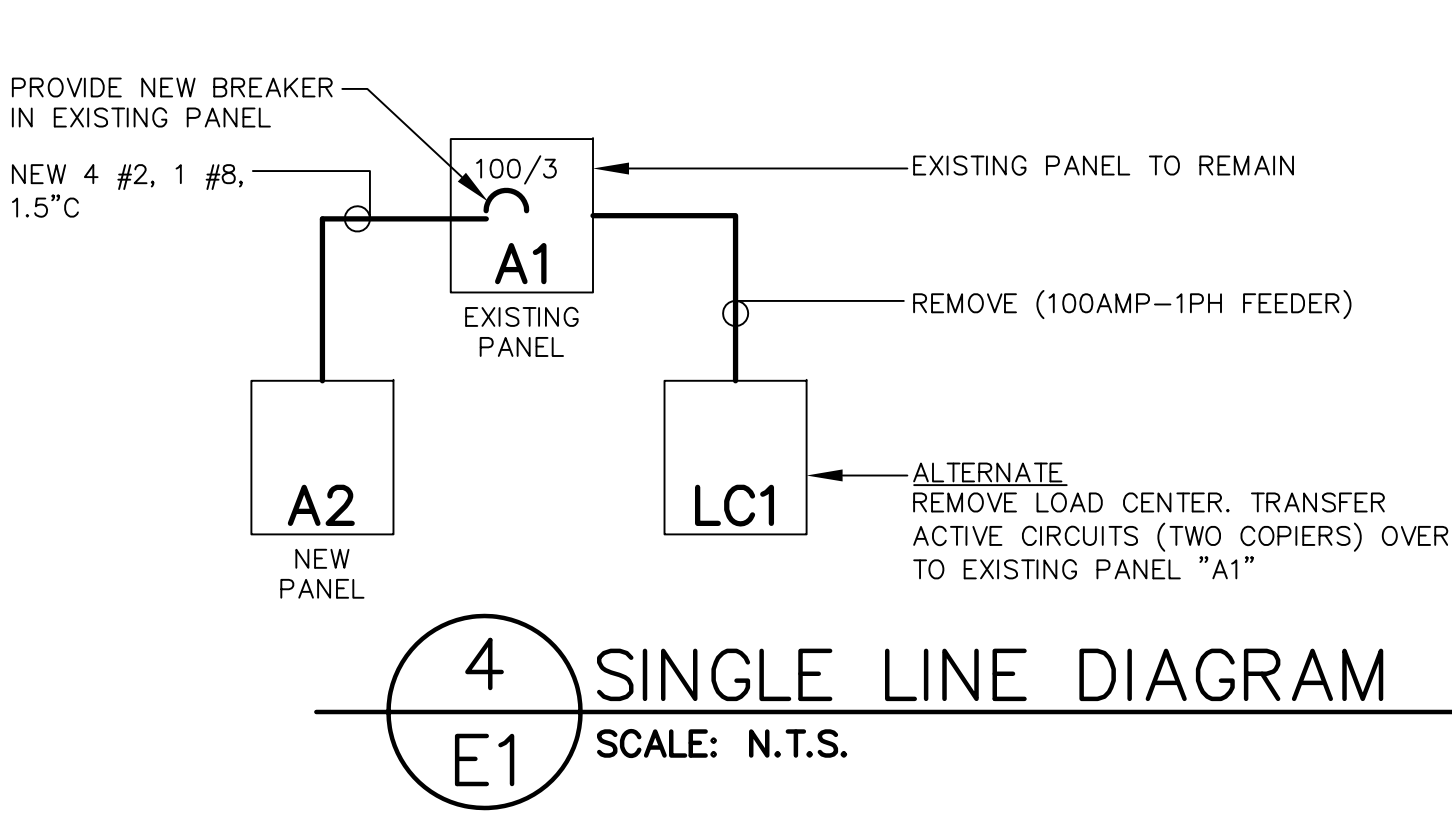
1 ELECTRICAL DEMOLITION PLAN
E1
GRAPHIC SCALE (FEET)



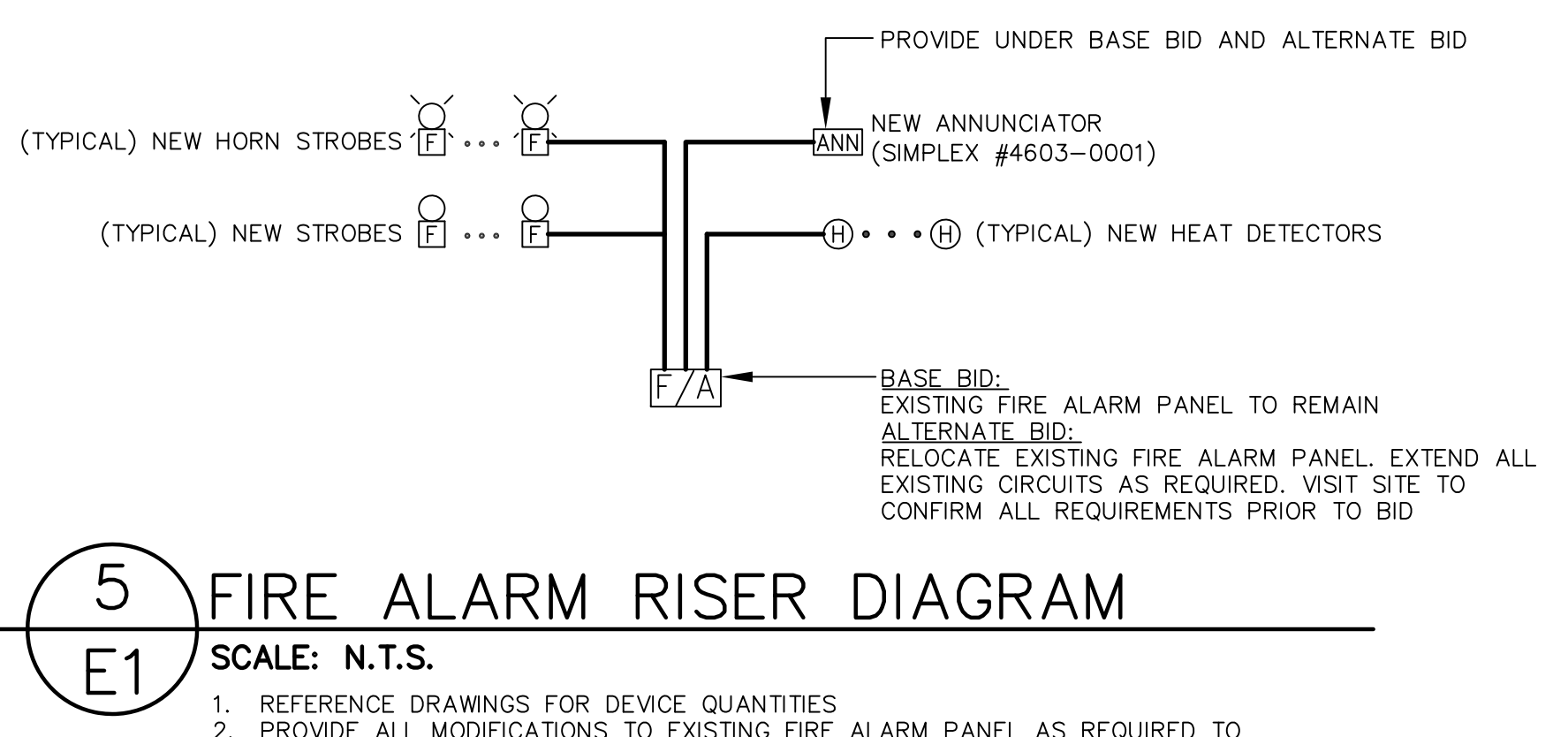
2 LIGHTING PLAN
E1
GRAPHIC SCALE (FEET)



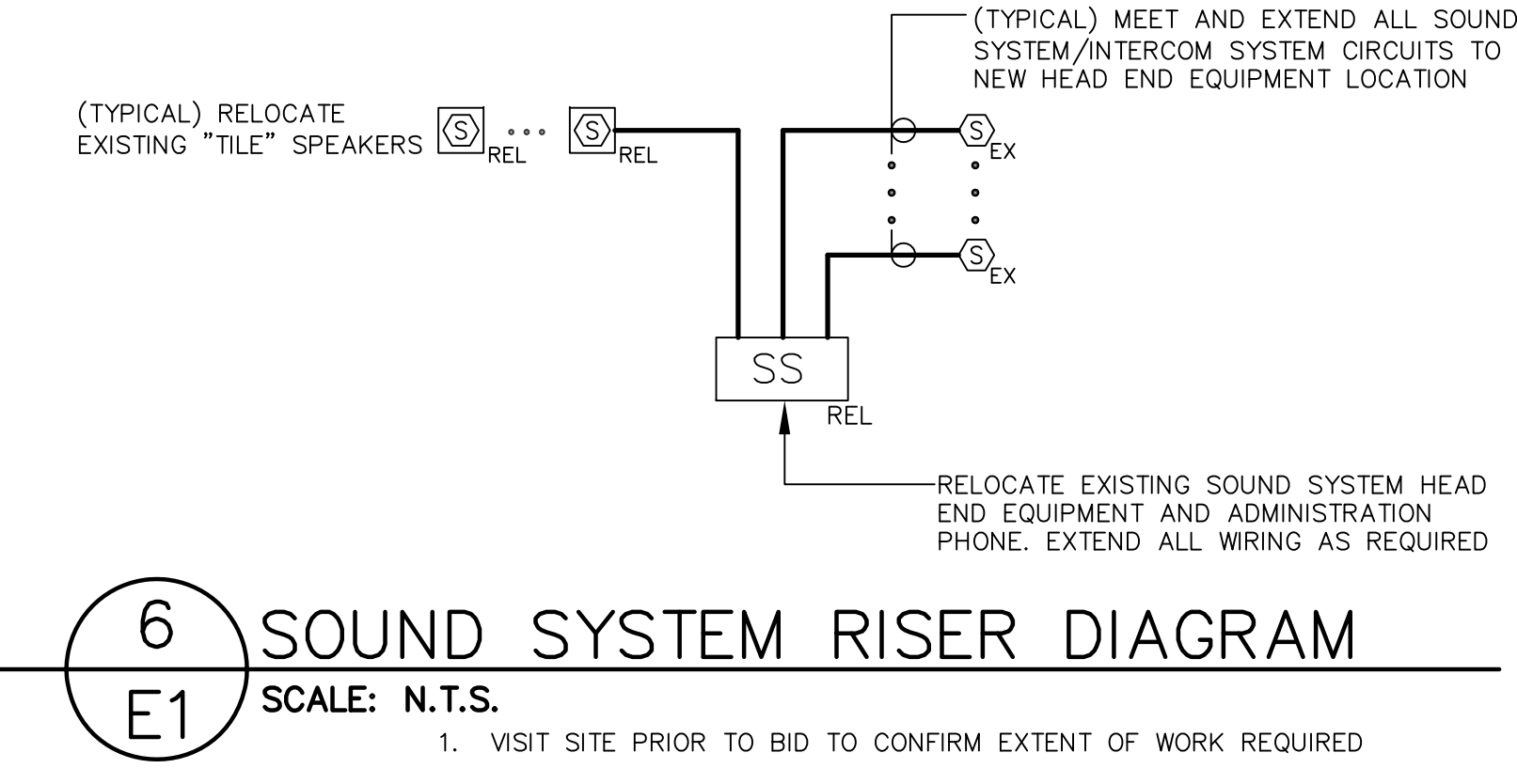
3 POWER PLAN
E1
GRAPHIC SCALE (FEET)



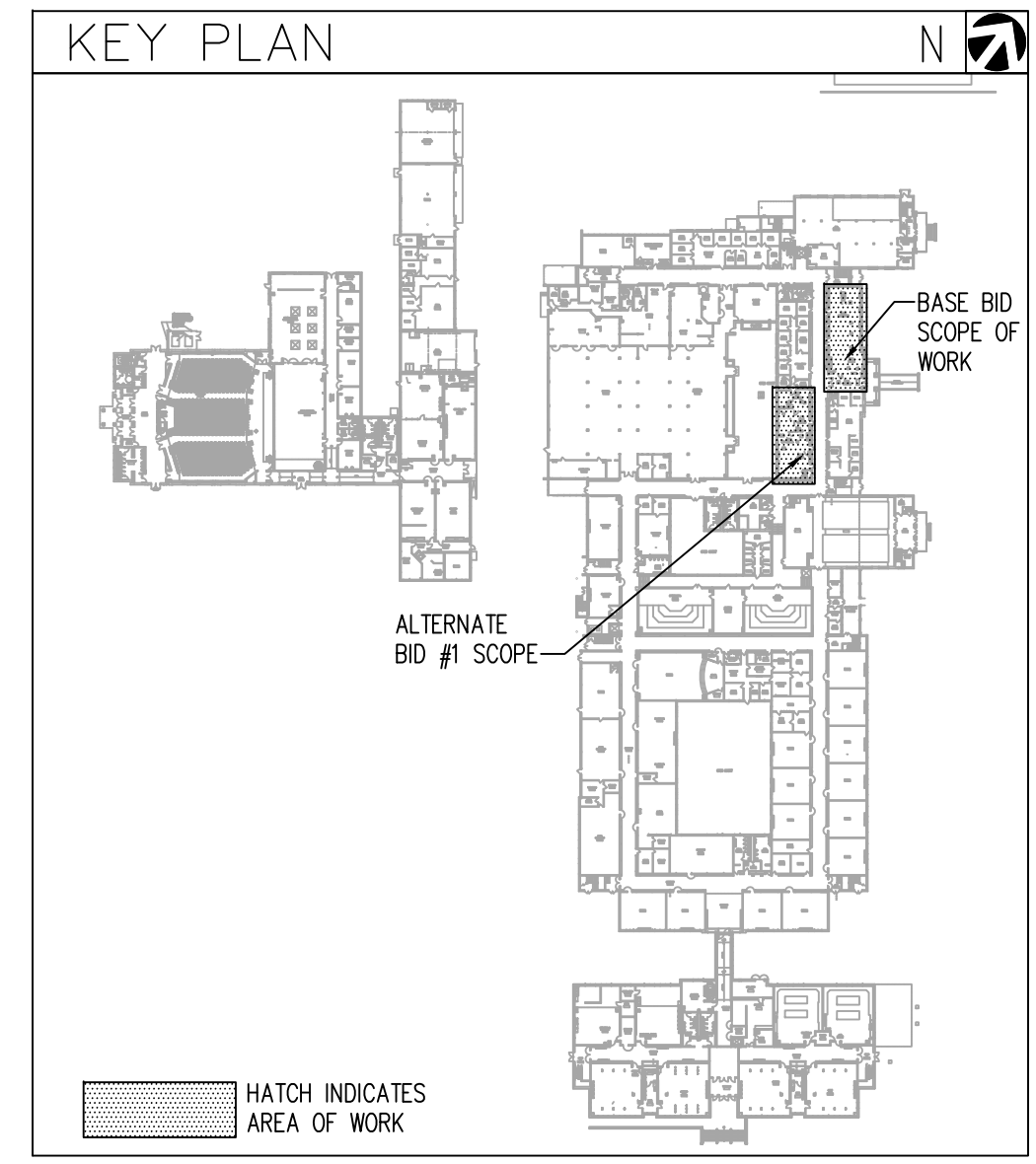
4 SINGLE LINE DIAGRAM
E1
SCALE: N.T.S.



5 FIRE ALARM RISER DIAGRAM
E1
SCALE: N.T.S.



6 SOUND SYSTEM RISER DIAGRAM
E1
SCALE: N.T.S.



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Project No. 18-91
Date: 02/28/19
Scale: AS NOTED

ELECTRICAL PLAN

E1

DISCLAIMER: THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF GARRISON ARCHITECTS. WRITTEN DIMENSIONS ON THESE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

ELECTRICAL NOTES

- 1) PERFORM ALL WORK IN STRICT ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), OSHA REQUIREMENTS, ALL FEDERAL, STATE, AND LOCAL CODES AND ALL OWNER REQUIREMENTS.
- 2) INCLUDE ALL TEMPORARY POWER AND LIGHTING, PERMIT, LICENSE, AND INSPECTION COSTS IN BID.
- 3) VERIFY EXACT LOCATIONS AND MOUNTING OF ALL LUMINAIRES, SWITCHES, RECEPTACLES, OUTLETS, FIRE ALARM, AND OTHER EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND IN THE FIELD PRIOR TO ROUGH IN.
- 4) VERIFY ELECTRICAL RATINGS, CONNECTION REQUIREMENTS, AND EXACT LOCATIONS OF ALL MECHANICAL, KITCHEN, MANUFACTURING, AND OTHER UTILIZATION EQUIPMENT (WHERE APPLICABLE) IN FIELD PRIOR TO PURCHASING ASSOCIATED ELECTRICAL EQUIPMENT. PROVIDE A COMPLETE AND WORKING INSTALLATION.
- 5) THE TERM "PROVIDE" MEANS, "FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR", AND THE TERMS "CONTRACTOR" AND "E.C." MEAN "ELECTRICAL CONTRACTOR", UNLESS INDICATED OTHERWISE. ALL WORK INDICATED ON THE ELECTRICAL DRAWINGS AND ELECTRICAL SPECIFICATIONS IS BY THE E.C. (UNLESS INDICATED OTHERWISE) AND IS NEW (UNLESS INDICATED OTHERWISE).
- 6) COORDINATE ALL REQUIRED SHUTDOWNS WITH THE OWNER A MINIMUM OF FOURTEEN (14) DAYS IN ADVANCE. INCLUDE OVERTIME COSTS IN BID TO PERFORM ALL SHUTDOWNS (INCLUDING SHUTDOWNS FOR AREAS WHICH MAY BE UNOCCUPIED DURING CONSTRUCTION) AFTER NORMAL WORKING HOURS AS COORDINATED WITH THE OWNER. NO EXTRA CLAIMS OR COMPENSATION WILL BE GRANTED FOR OVERTIME COSTS ASSOCIATED WITH PERFORMING SHUTDOWNS.
- 7) PROVIDE MOUNTING HEIGHTS OF EQUIPMENT AS REQUIRED BY ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND STANDARDS, INCLUDING ALL APPLICABLE DISABLED (HANDICAPPED) ACCESS CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA). CONTACT ANY AND ALL AUTHORITIES HAVING JURISDICTION TO VERIFY REQUIRED MOUNTING HEIGHTS.
- 8) PERFORM ALL WORK IN PHASES AND SEQUENCES AS DIRECTED BY THE ARCHITECT. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. FULLY COORDINATE PHASES/SEQUENCES IN DETAIL WITH ALL CONTRACTORS/TRADES, THE ARCHITECT, AND THE OWNER PRIOR TO PERFORMING WORK AND INCLUDE ALL COSTS IN BID.
- 9) COMPLETELY DISCONNECT AND REMOVE ALL EXISTING WIRING AND ELECTRICAL EQUIPMENT IN AREAS BEING RENOVATED, IN AREAS OF GENERAL DEMOLITION, INTERFERING WITH NEW CONSTRUCTION BY ANY CONTRACTOR OR TRADE (INCLUDING, BUT NOT LIMITED TO, GENERAL CONSTRUCTION, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, ETC.), AND SERVING EQUIPMENT AND APPARATUS REMOVED AS PART OF THIS PROJECT (BY ANY CONTRACTOR OR TRADE), UNLESS INDICATED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR THE GENERAL SCOPE OF RENOVATIONS AND AREAS OF GENERAL DEMOLITION. REFER TO AND CAREFULLY EXAMINE DRAWINGS AND SPECIFICATIONS OF ALL TRADES TO IDENTIFY INTERFERENCES WITH NEW CONSTRUCTION AND EQUIPMENT/APPARATUS REMOVALS. BASE PRICING ON THE ASSUMPTION THAT ELECTRICAL REMOVALS ARE NECESSARY IN ALL AREAS OF DEMOLITION (GENERAL DEMOLITION AS WELL AS DEMOLITION OF ANY SYSTEMS IN THE BUILDING [SPECIFICALLY INCLUDING DUCTWORK, PIPING, AND WIRING SYSTEMS OF ANY KIND]) AND ALL AREAS OF PROPOSED NEW WORK (BY ANY TRADE), UNLESS ACTUALLY VERIFIED OTHERWISE BY THE ELECTRICAL CONTRACTOR. INCLUDE ALL COSTS IN BID.
- 10) WHERE EXISTING WIRING TO BE REMOVED (AS INDICATED ABOVE) OR OTHERWISE AFFECTED BY CONSTRUCTION (BY ANY CONTRACTOR OR TRADE, INCLUDING GENERAL CONSTRUCTION, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, ETC.) FEEDS LOADS WHICH REMAIN OR FEEDS LOADS IN ADJACENT OR OTHER AREAS NOT WITHIN THE SCOPE OF WORK, THE WIRING SHALL REMAIN, RELOCATE, EXTEND, AND/OR RE-FEED THE EXISTING WIRING AS REQUIRED TO MAINTAIN SERVICE, UNLESS INDICATED OTHERWISE. BASE PRICING ON THE ASSUMPTION THAT RELOCATING, EXTENDING, AND RE-FEEDING IS NECESSARY IN ALL AREAS OF DEMOLITION AND ALL AREAS OF PROPOSED NEW WORK (BY ANY TRADE), UNLESS ACTUALLY VERIFIED OTHERWISE BY THE ELECTRICAL CONTRACTOR. INCLUDE ALL COSTS IN BID.
- 11) WHERE RE-FEEDING EXISTING ELECTRICAL CIRCUITS AND LOADS, VERIFY ALL REQUIREMENTS IN THE FIELD AND INCLUDE ALL COSTS IN BID. VERIFY EXACT CONDUCTOR SIZES AND AMPACITY, EXISTING CIRCUIT BREAKER AND/OR FUSE AMPS, LOAD AND WIREMATE RATINGS, CONDUIT SIZES, ETC. FOR EQUIPMENT TO BE RE-FEED. PROVIDE ALL NEW WIRING DIRECTLY TO THE EQUIPMENT. DO NOT REUSE EXISTING WIRING TO RE-FEED EQUIPMENT, UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS.
- 12) INFORMATION REGARDING EXISTING CONDITIONS AND EQUIPMENT AND ALL INFORMATION REGARDING REMOVALS (INCLUDING INFORMATION REGARDING THE SCOPE OF REMOVALS ON ARCHITECTURAL DRAWINGS) INDICATES GENERAL CONDITIONS AND ARE A GUIDE TO PRICING ONLY. PRIOR TO SUBMITTING BID, VISIT THE PROJECT SITE AND VERIFY ALL EXISTING CONDITIONS AND EQUIPMENT, ALL REMOVALS AND REQUIREMENTS, AND ALL TIE-INS TO EXISTING EQUIPMENT AND WIRING IN DETAIL. INCLUDE ALL COSTS IN BID. NO EXTRA CLAIMS OR COMPENSATION WILL BE GRANTED FOR NOT FIRST VERIFYING ALL CONDITIONS.
- 13) FOR ALL NEW CIRCUIT BREAKERS IN EXISTING BRANCH AND DISTRIBUTION PANELS, PROVIDE CIRCUIT BREAKERS MATCHING AND COMPATIBLE WITH EXISTING CIRCUIT BREAKERS. PROVIDE WITH SHORT CIRCUIT INTERRUPTING RATINGS EQUAL TO OR EXCEEDING THE HIGHEST RATED EXISTING BRANCH CIRCUIT BREAKER IN THE PANEL. CIRCUIT BREAKER TYPES INDICATED ON THE DRAWINGS (WHERE APPLICABLE) ARE GUIDES TO PRICING ONLY. VERIFY EXACT TYPE AND ALL REQUIREMENTS IN FIELD PRIOR TO RELEASING EQUIPMENT.
- 14) FOR ALL WIRING AND WORK INDICATED, INCLUDING ALL SYSTEMS (POWER, LIGHTING, FIRE ALARM, CONTROL, SIGNAL, SOUND, TELECOMMUNICATIONS, DATA, AND ALL OTHER SYSTEMS, WHERE APPLICABLE), PROVIDE ALL NEW CONDUITS, RACEWAYS, OUTLETS, AND CONDUCTORS, INCLUDING ALL COSTS IN BID. WHERE EXISTING CONDUITS AND RACEWAYS ARE DETERMINED BY THE ENGINEER TO BE IN ADEQUATE CONDITION, AND WHERE SPECIFICALLY APPROVED BY THE OWNER, ARCHITECT, AND ENGINEER, EXISTING CONDUITS AND RACEWAYS MAY BE REUSED. PROVIDE A SEPARATE GROUNDING CONDUCTOR, IN ADDITION TO ALL OTHER GROUNDING CONDUCTORS SPECIFIED, AND BOND TO ALL RACEWAYS, CONDUITS, BOXES, AND OUTLETS WHERE RACEWAYS ARE REUSED. DO NOT DEPEND ON EXISTING CONDUITS/RACEWAYS FOR GROUNDING PATHS. REUSE EXISTING CONDUCTORS ONLY WHERE SPECIFICALLY INDICATED ON THE DRAWINGS.
- 15) WHERE ADDING NEW FIRE ALARM SIGNALING OR INITIATING DEVICES TO AN EXISTING FIRE ALARM SYSTEM, COMPLETELY TEST AND CERTIFY THE ENTIRE FIRE ALARM SYSTEM THROUGHOUT THE ENTIRE BUILDING TO DEMONSTRATE CAPABILITY AND COMPLIANCE WITH REQUIREMENTS (INCLUDING ALL CODE AND MUNICIPAL REQUIREMENTS). WHERE ANY DISCREPANCIES OR MALFUNCTIONS ARE FOUND WITH EXISTING SYSTEM PORTIONS WHICH ARE NOT MODIFIED OR ADDED TO AS PART OF THIS PROJECT, NOTIFY THE OWNER.
- 16) PROVIDE ALL NEW FIRE ALARM VISUAL SIGNALING DEVICES (VISUAL ONLY STROBES AND STROBE PORTIONS OF COMBINATION HORN/STROBES) AS SYNCHRONIZED. PROVIDE ALL VISUAL SIGNALING DEVICES LOCATED IN THE SAME ROOM OR OTHERWISE WITHIN SIGHT SYNCHRONIZED TOGETHER (I.E. CONTROLLED BY A COMMON SYNCHRONIZING MODULE). PROVIDE ALL DEVICES OF TYPES FACILITATING SYNCHRONIZING AND PROVIDE ALL SIGNALING CIRCUITS INCLUDING SYNCHRONIZING CONTROLLERS AS REQUIRED. EXISTING VISUAL SIGNALING DEVICES ARE NOT REQUIRED TO SYNCHRONIZE WITH NEW DEVICES (UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS).
- 17) THE E.C. SHALL FURNISH AND INSTALL ALL ELECTRICAL DEVICES, EQUIPMENT, AND WIRING AT MILLWORK (CABINETS, DESKS, CREDENZAS, AND OTHER SIMILAR FURNITURE) AS REQUIRED. REFER TO ARCHITECTURAL, MILLWORK, AND FURNITURE DRAWINGS FOR ADDITIONAL INFORMATION (INCLUDING INFORMATION ON WIRING AND ELECTRICAL EQUIPMENT). PROVIDE EQUIPMENT AND WIRING AS REQUIRED, REGARDLESS OF WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT.
- 18) COMPLETELY SEAL AND FIRE STOP ALL PENETRATIONS OF ALL FIRE AND/OR SMOKE RATED WALLS, FLOORS, CEILINGS, AND ANY OTHER CONSTRUCTION (INCLUDING ALL WALLS REQUIRED TO BE RATED BY CODE) TO A RATING MATCHING OR EXCEEDING THE FIRE RATING OF THE CONSTRUCTION. COMPLETELY SEAL AND WEATHERPROOF ALL PENETRATIONS OF EXTERIOR, AT OR BELOW GRADE, AND WET LOCATION WALLS AND FLOORS AND ROOF PENETRATIONS. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR INFORMATION ON FIRE RATINGS OF BUILDING CONSTRUCTION AND INCLUDE ALL COSTS IN BID. COMPLY WITH AND INSTALL FIRE STOPPING IN ACCORDANCE WITH ALL APPLICABLE FIRE RATING CODES AND STANDARDS (INCLUDING THE NEC, NFPA, IBC, AND THE UL "FIRE RESISTANCE DIRECTORY").
- 19) PROVIDE 120 V POWER TO ALL SECURITY AND DOOR HARDWARE AS REQUIRED. COORDINATE ALL REQUIREMENTS WITH ARCHITECTURAL DOCUMENTS, THE OWNER, AND SECURITY SUPPLIER. OBTAIN POWER FROM A SUITABLE NEARBY BRANCH CIRCUIT.
- 20) WHERE EXISTING CEILINGS ARE REMOVED AND REINSTALLED (EITHER PARTLY OR ENTIRELY), THE E.C. SHALL REMOVE ALL EXISTING ELECTRICAL EQUIPMENT (INCLUDING LIGHTING FIXTURES, FIRE ALARM DEVICES (INCLUDING, BUT NOT LIMITED TO, SMOKE AND HEAT DETECTORS, SIGNALING DEVICES, INDICATORS, ETC.), SECURITY/CCTV CAMERAS, MOTION DETECTORS, SPEAKERS, AND ALL OTHER ELECTRICAL DEVICES, EQUIPMENT, AND APPARATUS) FROM THE CEILING GRID AND CEILING TILES. LEAVE IN PLACE AT THE CEILING AND SUPPORT (IN A CODE APPROVED AND LOCAL CODE OFFICIAL APPROVED MANNER) AS REQUIRED TO FACILITATE CEILING REMOVAL. ONCE CEILING IS REINSTALLED, THE E.C. SHALL PERMANENTLY REINSTALL ALL ELECTRICAL EQUIPMENT IN THE CEILING. WHERE NEW EQUIPMENT IS SHOWN ON THE DRAWINGS, THE E.C. SHALL COMPLETELY DISCONNECT AND REMOVE EXISTING EQUIPMENT (BEING REPLACED) AND ALL ASSOCIATED WIRING AND PROVIDE ALL NEW EQUIPMENT AND ASSOCIATED WIRING AS SHOWN ON THE DRAWINGS. CEILINGS MAY BE LEFT OPEN FOR A LONG PERIOD OF TIME (I.E. THERE MAY BE SEVERAL MONTHS OR MORE BETWEEN THE TIME OF REMOVAL AND THE TIME OF INSTALLING NEW CEILINGS). WHEN CEILINGS ARE NOT IN PLACE, MAINTAIN (AS OPERATIONAL) ALL FIRE ALARM DEVICES AND EQUIPMENT AND NORMAL AND EMERGENCY LIGHTING AS REQUIRED (TEMPORARILY INSTALL FIRE ALARM DEVICES, SUPPORTED FROM STRUCTURE AND PROVIDE TEMPORARY LIGHTING OR TEMPORARILY SUPPORT EXISTING LIGHTING FROM STRUCTURE AS REQUIRED). WHEN CEILINGS ARE NOT IN PLACE, SAFELY SECURE EVERYTHING WHICH IS EXPOSED BY THE ABSENCE OF CEILINGS (NEW AND EXISTING) AND KEEP ALL AREAS CLEAN WHEN OCCUPIED. THIS CEILING WORK APPLIES REGARDLESS OF THE PARTY REMOVING THE CEILING AND REGARDLESS OF WHETHER OR NOT CEILING REMOVAL IS SHOWN ON DRAWINGS. COORDINATE WITH ALL CONTRACTORS AND TRADES TO CONFIRM THE EXTENT OF CEILING WORK AND INCLUDE ALL COSTS IN BID. THIS CEILING WORK ALSO APPLIES WHERE ANY CONTRACTOR CHOOSES TO INSTALL NEW CEILING IN LIEU OF REINSTALLING THE EXISTING CEILING.
- 21) WHERE EXISTING CEILINGS ARE REMOVED AND NEW CEILINGS ARE INSTALLED (EITHER PARTLY OR ENTIRELY), THE E.C. SHALL REMOVE ALL EXISTING ELECTRICAL EQUIPMENT (INCLUDING LIGHTING FIXTURES, FIRE ALARM DEVICES (INCLUDING, BUT NOT LIMITED TO, SMOKE AND HEAT DETECTORS, SIGNALING DEVICES, INDICATORS, ETC.), SECURITY/CCTV CAMERAS, MOTION DETECTORS, SPEAKERS, AND ALL OTHER ELECTRICAL DEVICES, EQUIPMENT, AND APPARATUS) FROM THE CEILING GRID AND CEILING TILES. LEAVE IN PLACE AT THE CEILING AND SUPPORT (IN A CODE APPROVED AND LOCAL CODE OFFICIAL APPROVED MANNER) AS REQUIRED TO FACILITATE CEILING REMOVAL. ONCE NEW CEILING IS INSTALLED, THE E.C. SHALL PERMANENTLY REINSTALL ALL ELECTRICAL EQUIPMENT IN THE CEILING. WHERE NEW EQUIPMENT IS SHOWN ON THE DRAWINGS, THE E.C. SHALL COMPLETELY DISCONNECT AND REMOVE EXISTING EQUIPMENT (BEING REPLACED) AND ALL ASSOCIATED WIRING AND PROVIDE ALL NEW EQUIPMENT AND ASSOCIATED WIRING AS SHOWN ON THE DRAWINGS. CEILINGS MAY BE LEFT OPEN FOR A LONG PERIOD OF TIME (I.E. THERE MAY BE SEVERAL MONTHS OR MORE BETWEEN THE TIME OF REMOVAL AND THE TIME OF INSTALLING NEW CEILINGS). WHEN CEILINGS ARE NOT IN PLACE, MAINTAIN (AS OPERATIONAL) ALL FIRE ALARM DEVICES AND EQUIPMENT AND NORMAL AND EMERGENCY LIGHTING AS REQUIRED (TEMPORARILY INSTALL FIRE ALARM DEVICES, SUPPORTED FROM STRUCTURE AND PROVIDE TEMPORARY LIGHTING OR TEMPORARILY SUPPORT NEW OR EXISTING LIGHTING FROM STRUCTURE AS REQUIRED). WHEN CEILINGS ARE NOT IN PLACE, SAFELY SECURE EVERYTHING WHICH IS EXPOSED BY THE ABSENCE OF CEILINGS (NEW AND EXISTING) AND KEEP ALL AREAS CLEAN WHEN OCCUPIED. THIS CEILING WORK IS NOT SHOWN ON ELECTRICAL PLANS (SEE ARCHITECTURAL DRAWINGS AND CEILING PLANS FOR INFORMATION).
- 22) WHERE ELECTRICAL WORK INVOLVES REMOVAL AND REINSTALLATION OF EXISTING CEILINGS, REMOVAL AND RELOCATION IS THE RESPONSIBILITY OF THE E.C.. AS AN ALTERNATIVE (AT THE E.C.'S OPTION) TO REINSTALLING CEILINGS REMOVED TO FACILITATE ELECTRICAL WORK, THE E.C. MAY INSTALL A NEW CEILING OF A TYPE MATCHING THE EXISTING CEILING PROVIDED THERE IS NO COST CHANGE TO THE CONTRACT (WHEREVER NEW CEILING INVOLVES ADDITIONAL COST TO THE CONTRACT, NEW CEILING IS NOT ACCEPTABLE). REPLACE ANY CEILING TILES DAMAGED AS PART OF ELECTRICAL WORK.
- 23) PROVIDE NEC AND OSHA APPROVED TEMPORARY LIGHTING AT ALL TEMPORARY PROTECTED EGRESS COVERS (I.E. AT CERTAIN EXITS DURING CONSTRUCTION). PROVIDE TEMPORARY CODE APPROVED ILLUMINATED EXIT SIGNS AS REQUIRED TO IDENTIFY THE ENTIRE TEMPORARY EGRESS PATH. PROVIDE TEMPORARY EMERGENCY LIGHTING (UTILIZING BATTERY UNIT AND/OR REMOTE HEADS) AS REQUIRED TO SATISFY CODE REQUIREMENTS. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR INFORMATION AND LOCATIONS.
- 24) SUPPORT ALL NEW AND EXISTING WIRING (POWER AND ALL SYSTEMS) ABOVE EXISTING CEILINGS AFTER EXISTING CEILINGS ARE REMOVED. SUPPORT IN AN NEC AND LOCAL INSPECTOR APPROVED MANNER. INCLUDE ALL COSTS IN BID FOR ALL AREAS WHERE CEILINGS ARE BEING REMOVED AND REPLACED.

ELECTRICAL SYMBOL LIST

- S₃S₄ 20 A, 277/120 V SWITCH, SINGLE POLE (S), THREE-WAY (S-3), AND FOUR-WAY (S-4), RESPECTIVELY, SPECIFICATION GRADE, FLUSH MOUNTED, FINISH AND COVER PLATE AS PER OWNER
- S₀ 0-10 V, 30 Ma, 8 A, 120/277 V, LIGHT EMITTING DIODE (LED) DRIVER OR FLUORESCENT ELECTRONIC BALLAST DIMMER SWITCH (S-D), SINGLE POLE, SLIDE TYPE (WITHOUT ON/OFF TOGGLE OR ROCKER SWITCH), FULLY RATED, SPECIFICATION GRADE, FLUSH MOUNTED, LOW PROFILE, FINISH AND COVER PLATE AS PER ARCHITECT. OF A TYPE COMPATIBLE WITH THREE-WAY OPERATION VIA REMOTE STANDARD THREE-WAY SWITCHES; LUTRON #JVS-TV-** (OR APPROVED EQUAL), UTILIZE EXACT RESPECTIVE DIMMER SWITCH TYPE COORDINATED WITH DIMMABLE LED DRIVERS OR DIMMABLE FLUORESCENT BALLASTS IN CONTROLLED LIGHTING FIXTURE (FULLY COORDINATE IN DETAIL WITH LIGHTING FIXTURE AND DIMMER MANUFACTURER AND INCLUDE COSTS IN BID TO USE DIFFERENT TYPES OF DIMMER SWITCHES AS APPLICABLE FOR EACH DIFFERENT LIGHTING FIXTURE TYPE CONTROLLED); WHERE CIRCUIT LOAD EXCEEDS 8 A UTILIZE #PP-DV POWER PACK(S) AS REQUIRED TO FACILITATE LOAD
- S_{0OC} 0-10 V, 30 Ma, 8 A, 120/277 V, LIGHT EMITTING DIODE (LED) DRIVER OR FLUORESCENT ELECTRONIC BALLAST COMBINATION DIMMER SWITCH AND OCCUPANCY SENSOR (S-D-OC), SINGLE POLE, TAP SWITCH WITH ROCKER DIMMING CONTROL, FULLY RATED, SPECIFICATION GRADE, FLUSH MOUNTED, LOW PROFILE, FINISH AND COVER PLATE AS PER ARCHITECT. OF A TYPE COMPATIBLE WITH THREE-WAY OPERATION VIA REMOTE STANDARD THREE-WAY SWITCHES; LUTRON #MS-Z101-** (OR APPROVED EQUAL). UTILIZE EXACT RESPECTIVE DIMMER SWITCH TYPE COORDINATED WITH DIMMABLE LED DRIVERS OR DIMMABLE FLUORESCENT BALLASTS IN CONTROLLED LIGHTING FIXTURE (FULLY COORDINATE IN DETAIL WITH LIGHTING FIXTURE AND DIMMER MANUFACTURER AND INCLUDE COSTS IN BID TO USE DIFFERENT TYPES OF DIMMER SWITCHES AS APPLICABLE FOR EACH DIFFERENT LIGHTING FIXTURE TYPE CONTROLLED); WHERE CIRCUIT LOAD EXCEEDS 8 A UTILIZE #PP-***H POWER PACK(S) AS REQUIRED TO FACILITATE LOAD
- S_{OC} OCCUPANCY/VACANCY SENSOR LIGHTING CONTROL WITH INTEGRAL MANUAL OVERRIDE TO "ON" PUSH BUTTON (S-OC), FLUSH MOUNTED ON WALL (ON FLUSH MOUNTED OUTLET BOX), SELF-CONTAINED "STAND-ALONE" TYPE (SINGLE SENSOR FOR LOCAL LIGHTING CONTROL OF A SINGLE CIRCUIT ONLY), MULTI-TECHNOLOGY PASSIVE INFRARED (PIR) AND ULTRASONIC TYPE WITH INTEGRAL SWITCHING RELAY, RATED MINIMUM 800 W, 1,200 VA FOR 120 V OPERATION AND RATED MINIMUM 2,700 VA FOR 277 V OPERATION, SINGLE POLE, NOMINAL 93 m2 (1,000 SQ FT) COVERAGE, MEETING NEMA WD7 STANDARD, INTEGRAL SELECTABLE AMBIENT LIGHT LEVEL SENSOR, SELECTABLE AUTOMATIC (OCCUPANCY SENSOR) OR MANUAL (VACANCY SENSOR) MODES, SPECIFICATION GRADE, WHITE FINISH, EATON/COOPER #0NW-D-1001-MV-* (OR APPROVED EQUAL)
- OC OCCUPANCY SENSOR LIGHTING CONTROL [OC], FLUSH MOUNTED IN CEILING, FOR COMMON CONTROL OF LIGHTING (MULTIPLE SENSORS FOR LIGHTING CONTROL IN CONJUNCTION WITH REMOTE LIGHTING CONTROL RELAY MODULE(S)), MULTI-TECHNOLOGY PASSIVE INFRARED (PIR) AND ULTRASONIC TYPE, 360 DEGREE NOMINAL 186 m2 (2,000 SQ FT) COVERAGE, MEETING NEMA WD7 STANDARD, INTEGRAL SELECTABLE AMBIENT LIGHT LEVEL SENSOR, SPECIFICATION GRADE, WHITE FINISH; PROVIDE LOW VOLTAGE CONTROL WIRING AS REQUIRED BETWEEN SENSOR AND CONTROL RELAY
- PP LIGHTING CONTROL RELAY MODULE [PP], INTERCONNECT (UTILIZING LOW VOLTAGE CONTROL WIRING AS REQUIRED) WITH OCCUPANCY SENSORS AS SHOWN ON THE DRAWINGS, RATED 1,800 VA FOR 120 V OPERATION AND RATED 4,800 VA FOR 277 V OPERATION, SINGLE POLE, SPECIFICATION GRADE; PROVIDE A MINIMUM OF ONE (1) RELAY PER CIRCUIT CONTROLLED (WHERE MULTIPLE RELAYS ARE SHOWN OR OTHERWISE REQUIRED, PROVIDE EXACT QUANTITY AS REQUIRED [INCLUDING ADDITIONAL RELAYS OR MODULES IF NEEDED]) TO SUPPORT THE SWITCHING CONTROL SHOWN ON DRAWINGS IN CONJUNCTION WITH THE QUANTITY OF CONTROLLING SENSORS INVOLVED, INTERCONNECT AUXILIARY CONTACTS AS REQUIRED FOR SIMULTANEOUS CONTROL; WHERE WALL SWITCHES (SINGLE POLE OR THREE-WAY) ARE INDICATED ALONG WITH OCCUPANCY SENSOR ON THE DRAWINGS, ARRANGE SWITCHES TO OPERATE AS MANUAL OVERRIDE TO "OFF" (AS RECOMMENDED BY OCCUPANCY SENSOR MANUFACTURER)
- LIGHTING FIXTURE, TYPE AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- 2 X 2 LIGHTING FIXTURE, TYPE AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- 2 X 4 LIGHTING FIXTURE, TYPE AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- INDICATES LIGHTING FIXTURE, UN-SWITCHED, ON 24-HOURS, TYPE AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- ⊗ EXIT SIGN, TYPE ("EXIT" UNLESS INDICATED OTHERWISE) AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- EM COMBINATION EXIT/EMERGENCY UNIT, TYPE ("EX/EM" UNLESS INDICATED OTHERWISE) AS INDICATED ON THE LUMINAIRE SCHEDULE, WITH INTEGRAL BATTERY BACKUP
- REMOTE EMERGENCY LIGHTING HEAD, TYPE AS INDICATED ON THE LIGHTING FIXTURE SCHEDULE
- Ⓜ 20 A, 120 V DUPLEX RECEPTACLE (NEMA 5-20R), SPECIFICATION GRADE, TAMPER RESISTANT, FLUSH MOUNTED, FINISH AND COVER PLATE AS PER OWNER. (+) INDICATES ABOVE COUNTER MOUNTING HEIGHT, (*) INDICATES MOUNTED HIGH ON WALL AT DISPLAY/SCREEN OR ABOVE BOARD
- Ⓜ 20 A, 120 V DUPLEX ROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLE (NEMA 5-20R), SPECIFICATION GRADE, TAMPER RESISTANT, FLUSH MOUNTED, FINISH AND COVER PLATE AS PER OWNER, (+) INDICATES ABOVE COUNTER MOUNTING HEIGHT, (WP) INDICATES WEATHER-RESISTANT TYPE RECEPTACLE MOUNTED IN A WEATHERPROOF OUTLET BOX WITH SINGLE SPRING-LATCHED WEATHERPROOF-WHILE-IN-USE COVER; FEED THROUGH PROTECTION OF STANDARD TYPE RECEPTACLES FROM OTHER GFCI RECEPTACLES OR PROTECTION OF STANDARD TYPE RECEPTACLES FROM GFCI CIRCUIT BREAKERS ARE NOT ACCEPTABLE
- Ⓜ QUADRUPLX ("DOUBLE DUPLEX") RECEPTACLE, WITH RECEPTACLE TYPE AS INDICATED
- Ⓜ EQUIPMENT CONNECTION, REFER TO THE EQUIPMENT SCHEDULE AND THE EQUIPMENT NOTES FOR INFORMATION
- EQUIPMENT DESIGNATION, FOR REFERENCE TO THE EQUIPMENT SCHEDULE
- ELECTRICAL PANEL, REFER TO THE SINGLE LINE DIAGRAM AND RESPECTIVE PANEL SCHEDULE
- Ⓜ ELECTRICAL JUNCTION BOX (J-BOX), AS INDICATED ON THE DRAWINGS, WHERE JUNCTION BOX SERVES EQUIPMENT, PROVIDE COMPLETE EQUIPMENT CONNECTIONS AS REQUIRED
- INDICATES HOME RUN OF WIRING TO PANEL AND CIRCUIT INDICATED
- E INDICATES EMERGENCY CIRCUIT (-E-)
- ▼ TELEPHONE/DATA OUTLET, FLUSH MOUNTED, PROVIDE SUITABLE OWNER APPROVED OUTLET BOX (INCLUDE COSTS IN BID FOR 2-GANG OUTLET) IN WALL AND 27 mm (1") CONDUIT (WITH PULL WIRE) RUN FROM OUTLET STUBBED AND CAPPED INTO NEARBY ACCESSIBLE CEILING SPACE. (+) INDICATES ABOVE COUNTER MOUNTING HEIGHT OR WALL MOUNTED TELEPHONE MOUNTING HEIGHT (COORDINATE WITH ARCHITECT/OWNER DURING CONSTRUCTION), (*) INDICATES MOUNTED HIGH ON WALL AT DISPLAY/SCREEN OR ABOVE BOARD
- F/A FIRE ALARM CONTROL PANEL [F/A]
- ANN FIRE ALARM REMOTE ANNUNCIATOR PANEL [ANN], 80-CHARACTER (MINIMUM) ALPHANUMERIC TYPE, EXACT MATCHING FIRE ALARM CONTROL PANEL, FLUSH MOUNTED, RED OR BEIGE FINISH AS PER OWNER
- ETR FIRE ALARM AUDIO/VISUAL HORN/STROBE, ADA APPROVED TYPE PROVIDING ADA APPROVED COVERAGE, WITH SYNCHRONIZED TYPE STROBE, SEMI-FLUSH MOUNTED. "ETR" INDICATES "EXISTING TO REMAIN," "REL" INDICATES "RELOCATE AND EXTEND ALL EXISTING WIRING AS REQUIRED."
- F FIRE ALARM VISUAL ONLY STROBE, ADA APPROVED TYPE PROVIDING ADA APPROVED COVERAGE, SYNCHRONIZED TYPE, FLUSH MOUNTED. "ETR" INDICATES "EXISTING TO REMAIN," "REL" INDICATES "RELOCATE AND EXTEND ALL EXISTING WIRING AS REQUIRED."
- F FIRE ALARM MANUAL PULL STATION [F], METAL, NON-CODED, DOUBLE ACTION TYPE, FLUSH MOUNTED, ADDRESSABLE TYPE. "ETR" INDICATES "EXISTING TO REMAIN," "REL" INDICATES "RELOCATE AND EXTEND ALL EXISTING WIRING AS REQUIRED."
- S FIRE ALARM SMOKE DETECTOR (S), ADDRESSABLE ANALOG PHOTOELECTRIC TYPE, WITH SUITABLE BASE. "ETR" INDICATES "EXISTING TO REMAIN," "REL" INDICATES "RELOCATE AND EXTEND ALL EXISTING WIRING AS REQUIRED."
- H FIRE ALARM HEAT DETECTOR (H), ADDRESSABLE ANALOG TYPE, CONFIGURE FOR 135 DEGREES F (57 DEGREES C) FIXED AND RATE-OF-RISE OPERATION (UNLESS DIFFERENT OPERATION IS INDICATED OTHERWISE), WITH SUITABLE BASE; (*) INDICATES MOUNT ABOVE DROP CEILING (WHERE AN ABOVE CEILING DETECTOR IS SHOWN IN CONJUNCTION WITH A DETECTOR BELOW THE CEILING, MOUNT THE ABOVE CEILING DETECTOR AS CLOSE AS PRACTICAL TO DIRECTLY ABOVE THE BELOW CEILING DETECTOR [FOR DROP CEILINGS, MOUNT ABOVE THE CEILING TILE CONTAINING THE BELOW CEILING DETECTOR]). "ETR" INDICATES "EXISTING TO REMAIN," "REL" INDICATES "RELOCATE AND EXTEND ALL EXISTING WIRING AS REQUIRED."
- S PAGING/INTERCOM SYSTEM CEILING SPEAKER
- S PAGING/INTERCOM SYSTEM "TILE" CEILING SPEAKER WITH INTEGRAL VOLUME CONTROL SWITCH
- NATIONAL ELECTRICAL CODE (NEC), LATEST ADOPTED EDITION
- ELECTRICAL CONTRACTOR (EC)
- MECHANICAL CONTRACTOR (MC), INCLUDING ALL MECHANICAL TRADES IN GENERAL (MECHANICAL, HVAC, ATC, PLUMBING, FIRE PROTECTION, ETC.), REFER TO MECHANICAL DOCUMENTS FOR DISTINCTION BETWEEN CONTRACTORS/TRADES
- GENERAL CONTRACTOR (GC), INCLUDING ALL GENERAL CONSTRUCTION TRADES IN GENERAL (CARPENTRY, STEEL, CONCRETE, SITE, ETC.), REFER TO ARCHITECTURAL AND SITE DOCUMENTS FOR DISTINCTION BETWEEN CONTRACTORS/TRADES

RANCOCAS VALLEY REGIONAL HIGH SCHOOL SECURITY ENTRANCE AND MAIN OFFICE RENOVATIONS
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 MT. HOLLY, NEW JERSEY 08060

REVISIONS	
a.	e.
b.	f.
c.	g.

Project No. 18-91
 Date: 02/28/19
 Scale: AS NOTED

ELECTRICAL NOTES
E2

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