

STERLING REGIONAL HIGH SCHOOL EXTERIOR DOOR REPLACEMENT

501 S. WARWICK ROAD
SOMERDALE, NEW JERSEY 08083

FOR THE

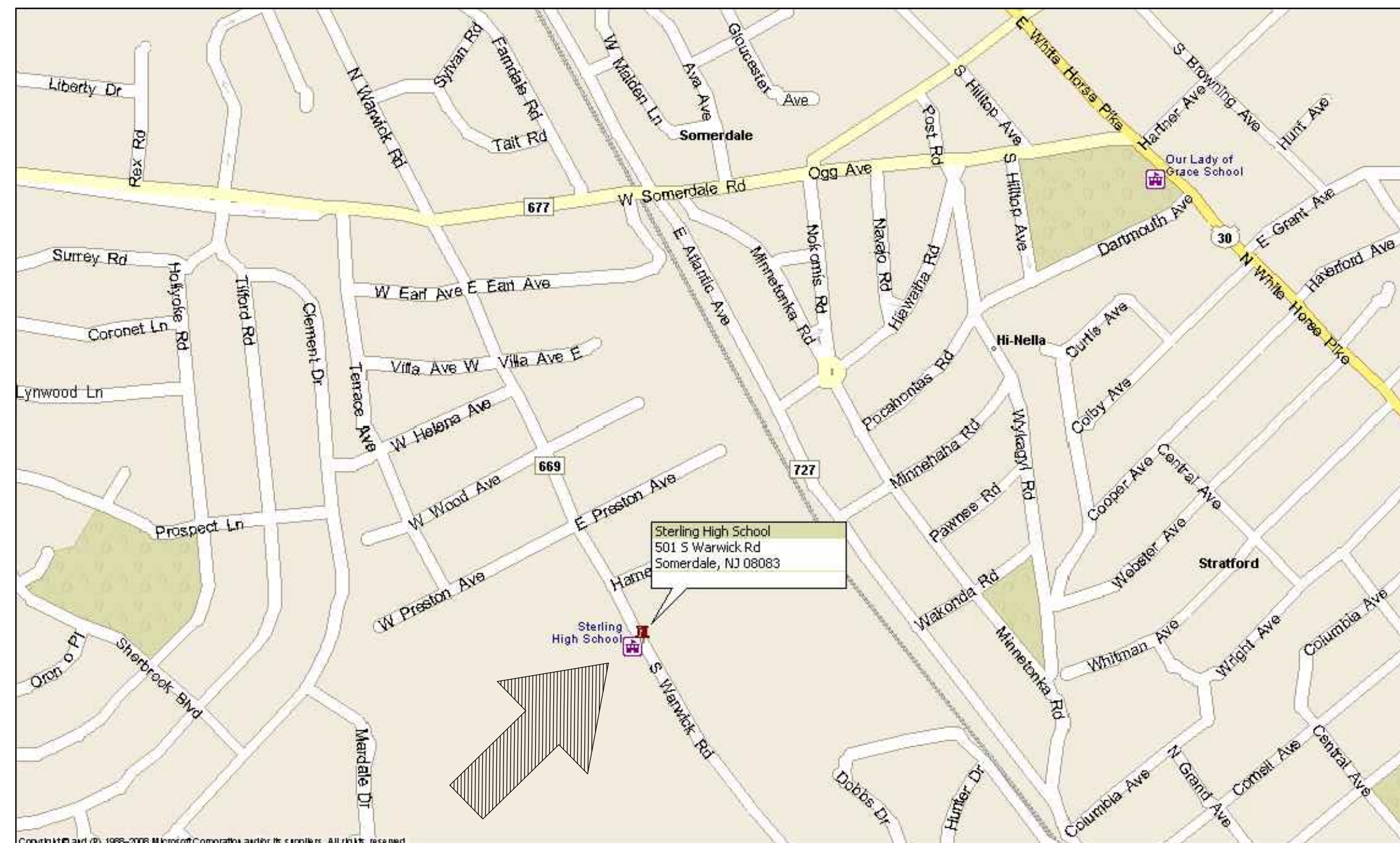
STERLING REGIONAL HIGH SCHOOL DISTRICT

801 W. PRESTON AVENUE
SOMERDALE, NEW JERSEY 08083

PROJECT NUMBER: 18-01
TYPE OF CONSTRUCTION: 2B
USE GROUP: E/A-3



AERIAL MAP

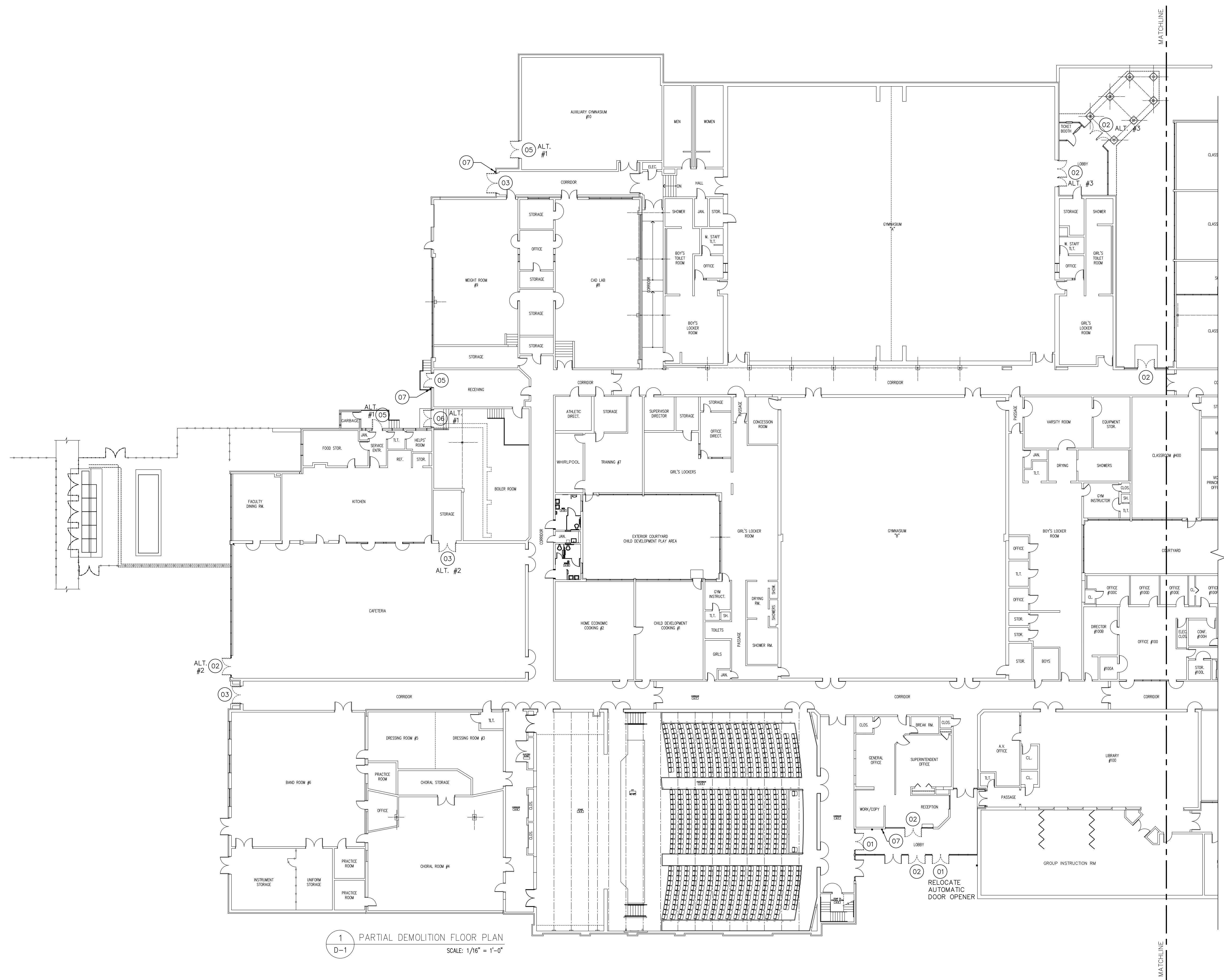


LOCATION MAP

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ARCHITECTURAL	
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NEW JERSEY MODEL CODE ADOPTIONS & STANDARDS:

BUILDING SUBCODE: INTERNATIONAL BUILDING CODE/2015, NEW JERSEY EDITION
 PLUMBING SUBCODE: NATIONAL STANDARD PLUMBING CODE/2015
 ELECTRICAL SUBCODE: NATIONAL ELECTRICAL CODE (NFPA 70)/2014
 ENERGY SUBCODE: INTERNATIONAL ENERGY CONSERVATION CODE/2015 (RESIDENTIAL)
 ASHRAE STD. 90.1-2013 (COMMERCIAL)
 MECHANICAL SUBCODE: INTERNATIONAL MECHANICAL CODE/2015
 FUEL GAS SUBCODE: INTERNATIONAL FUEL GAS CODE/2015
 REHABILITATION SUBCODE: NJUCC, SUBCHAPTER 6
 BARRIER FREE SUBCODE: (SUB 7) - ICC/ANSI A117.1-2009
 ELEVATOR SUBCODE: AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)
 FIRE PROTECTION SUBCODE: INTERNATIONAL BUILDING CODE/2015, NEW JERSEY EDITION
 NJ UCC BULLETIN 00-3: PUBLIC SCHOOLS-FACILITY PLANNING STANDARDS & UCC ENHANCEMENTS



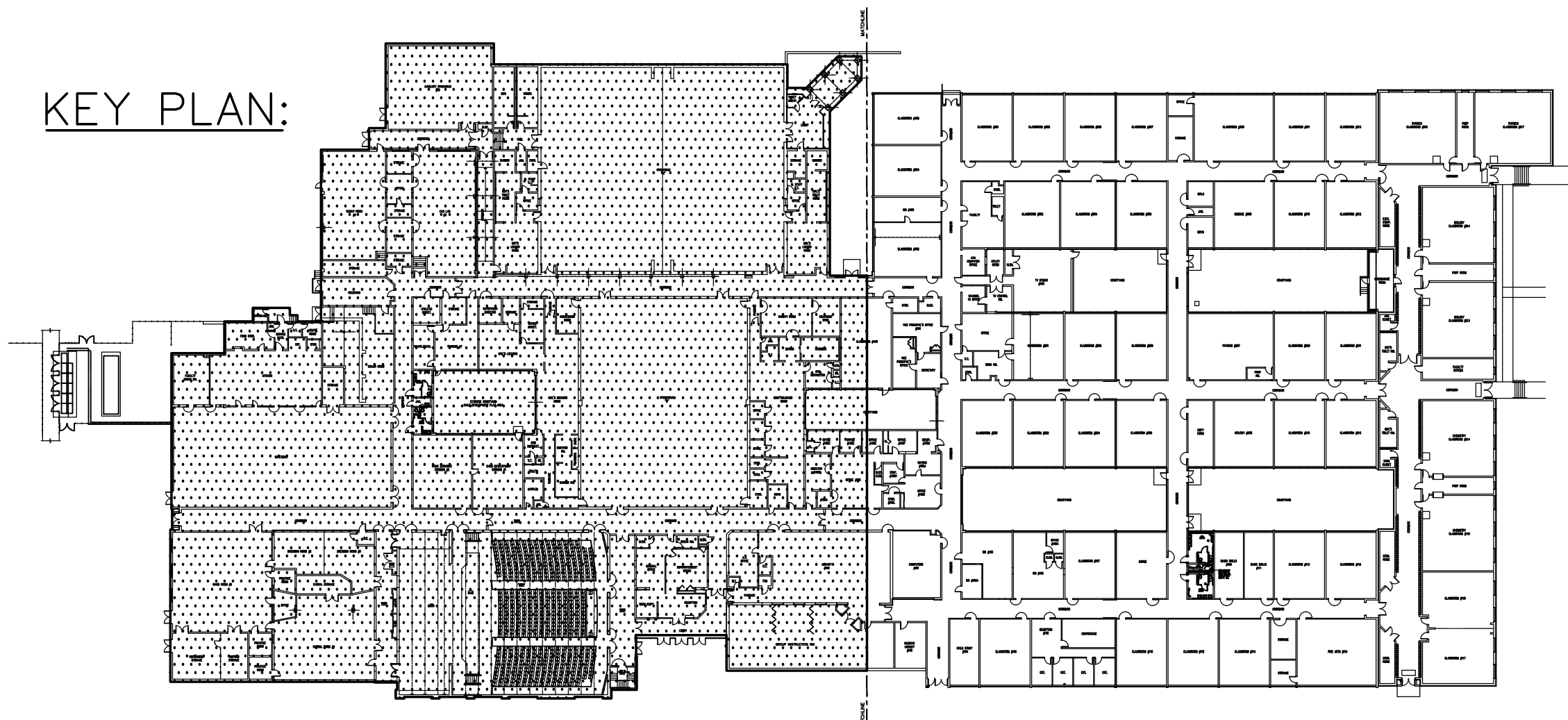
1 PARTIAL DEMOLITION FLOOR PLAN
D-1 SCALE: 1/16" = 1'-0"

DEMOLITION KEYNOTES:

- 01 REMOVE EXISTING ALUMINUM DOORS. SEE HARDWARE SCHEDULE FOR EXISTING AUTOMATIC DOOR OPENER THAT SHALL REMAIN OR BE RELOCATED. EXISTING STOREFRONT SYSTEM TO REMAIN. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
- 02 REMOVE EXISTING ALUMINUM DOORS. EXISTING STOREFRONT SYSTEM TO REMAIN. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
- 03 REMOVE EXISTING ALUMINUM DOORS & FRAME IN ITS' ENTIRETY. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
- 04 NOT USED
- 04A NOT USED
- 05 REMOVE EXISTING HOLLOW METAL DOORS & FRAME IN ITS' ENTIRETY. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
- 06 REMOVE EXISTING HOLLOW METAL DOORS & HARDWARE. EXISTING HOLLOW METAL FRAME TO REMAIN. PATCH ALL HOLES & DAMAGED AREAS & PAINT ENTIRE FRAME, TYP. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
- 07 EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO REMAIN. RECONNECT EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO NEW DOORS/FRAMES. SEE HARDWARE SCHEDULE & SPECS. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL REVIEW & CONFIRM EXISTING DOOR OPERATION WITH THE OWNER. AFTER INSTALLATION OF THE NEW DOORS, HARDWARE, & FRAME, THE DOOR ACCESS OPERATIONS SHALL FUNCTION THE SAME AS THE PRE-CONSTRUCTION OPERATION.

NOTE: RECONNECT ALL EXISTING DOOR CONTACTS, CARD READERS, MOTION ACTIVATED MAG LOCKS, MOTION DETECTORS, AUTOMATIC DOOR OPENERS, ETC. AFTER NEW DOORS ARE INSTALLED, TYP.

KEY PLAN:



**STERLING REGIONAL HIGH SCHOOL
EXTERIOR DOOR REPLACEMENT**

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REVISIONS

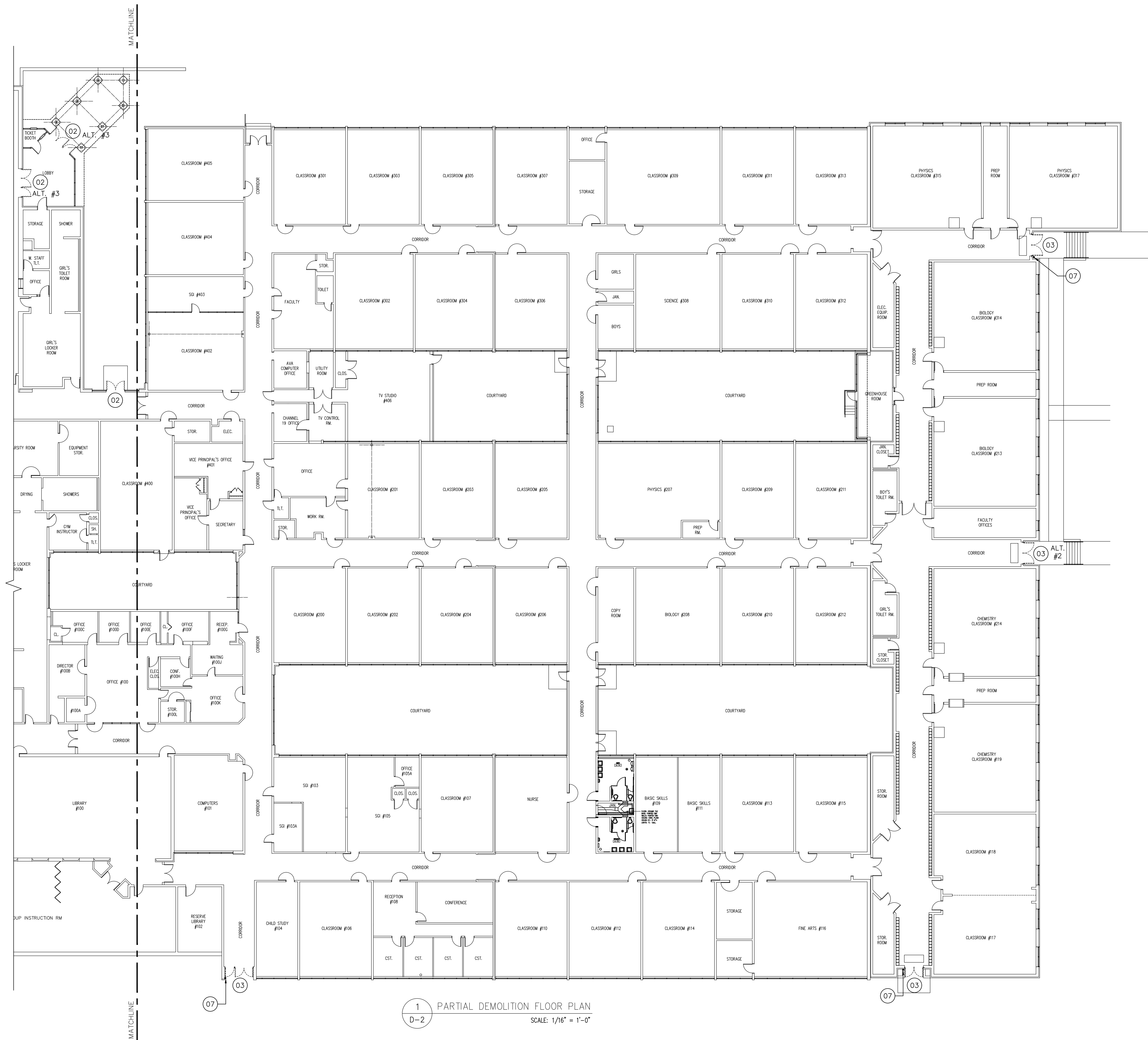
a.	e.
b.	f.
c.	g.

Project No. 18-01
Date: 5/02/19
Scale: 1/16" = 1'-0"

**PARTIAL
DEMOLITION
FLOOR PLAN**

D-1

Garrison Architects
A Professional Corporation of Architects and Planners
715 CREEK ROAD, BELLMAR, NEW JERSEY 08031 (856) 396-5200

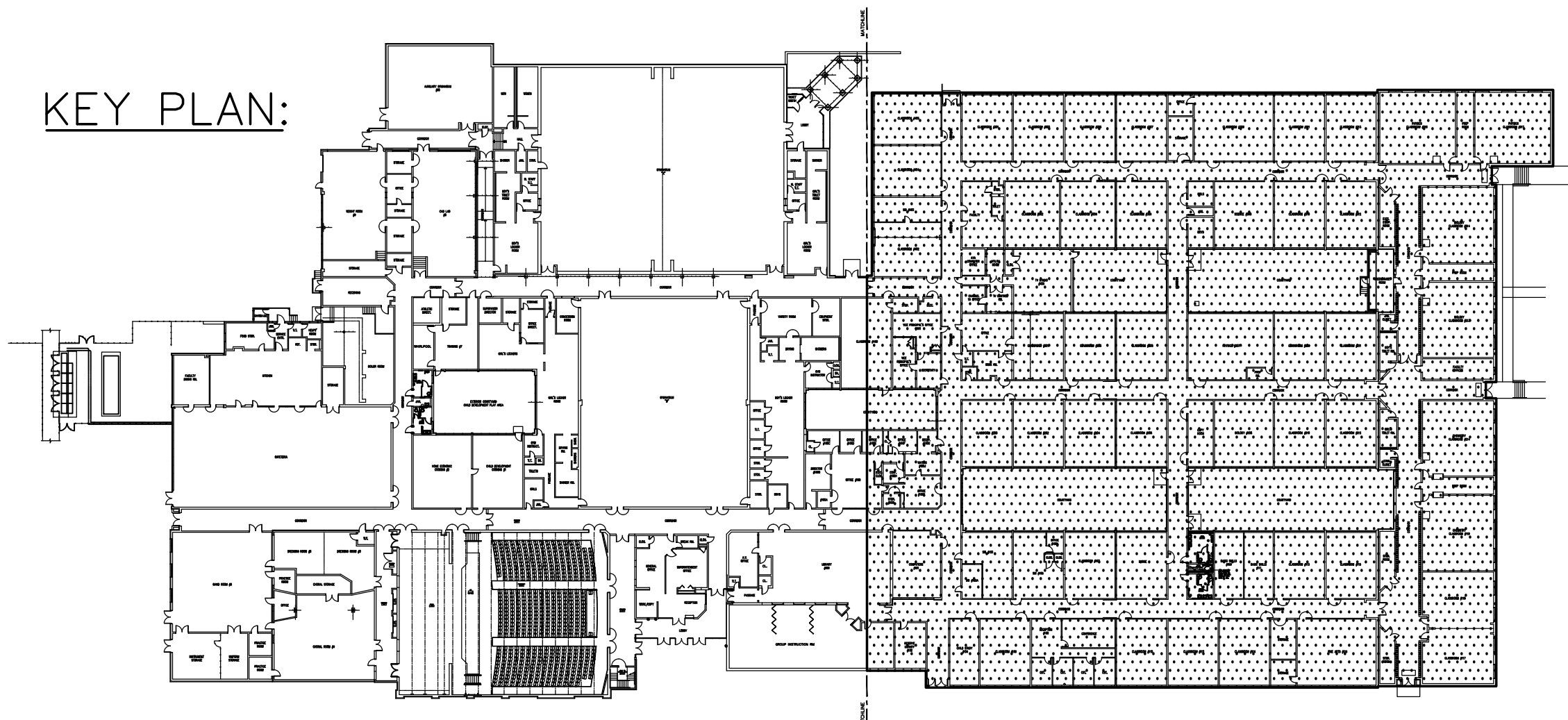


1 PARTIAL DEMOLITION FLOOR PLAN
D-2 SCALE: 1/16" = 1'-0"

- DEMOLITION KEYNOTES:**
- (D1) REMOVE EXISTING ALUMINUM DOORS. SEE HARDWARE SCHEDULE FOR EXISTING AUTOMATIC DOOR OPENER THAT SHALL REMAIN OR BE RELOCATED. EXISTING STOREFRONT SYSTEM TO REMAIN. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
 - (D2) REMOVE EXISTING ALUMINUM DOORS. EXISTING STOREFRONT SYSTEM TO REMAIN. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
 - (D3) REMOVE EXISTING ALUMINUM DOORS & FRAME IN ITS' ENTIRETY. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
 - (D4) NOT USED
 - (D4A) NOT USED
 - (D5) REMOVE EXISTING HOLLOW METAL DOORS & FRAME IN ITS' ENTIRETY. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
 - (D6) REMOVE EXISTING HOLLOW METAL DOORS & HARDWARE. EXISTING HOLLOW METAL FRAME TO REMAIN. PATCH ALL HOLES & DAMAGED AREAS & PAINT ENTIRE FRAME, TYP. TURN OVER ALL HARDWARE TO OWNER, TYP. SEE DOOR SCHEDULE.
 - (D7) EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO REMAIN. RECONNECT EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO NEW DOORS/FRAMES. SEE HARDWARE SCHEDULE & SPECS. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL REVIEW & CONFIRM EXISTING DOOR OPERATION WITH THE OWNER. AFTER INSTALLATION OF THE NEW DOORS, HARDWARE, & FRAME, THE DOOR ACCESS OPERATIONS SHALL FUNCTION THE SAME AS THE PRE-CONSTRUCTION OPERATION.

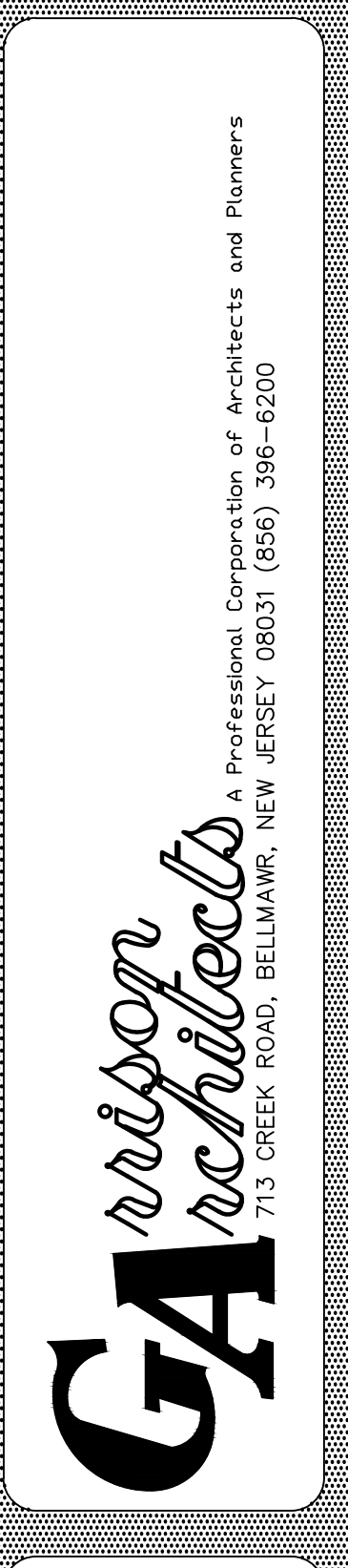
NOTE: RECONNECT ALL EXISTING DOOR CONTACTS, CARD READERS, MOTION ACTIVATED MAG LOCKS, MOTION DETECTORS, AUTOMATIC DOOR OPENERS, ETC. AFTER NEW DOORS ARE INSTALLED, TYP.

KEY PLAN:



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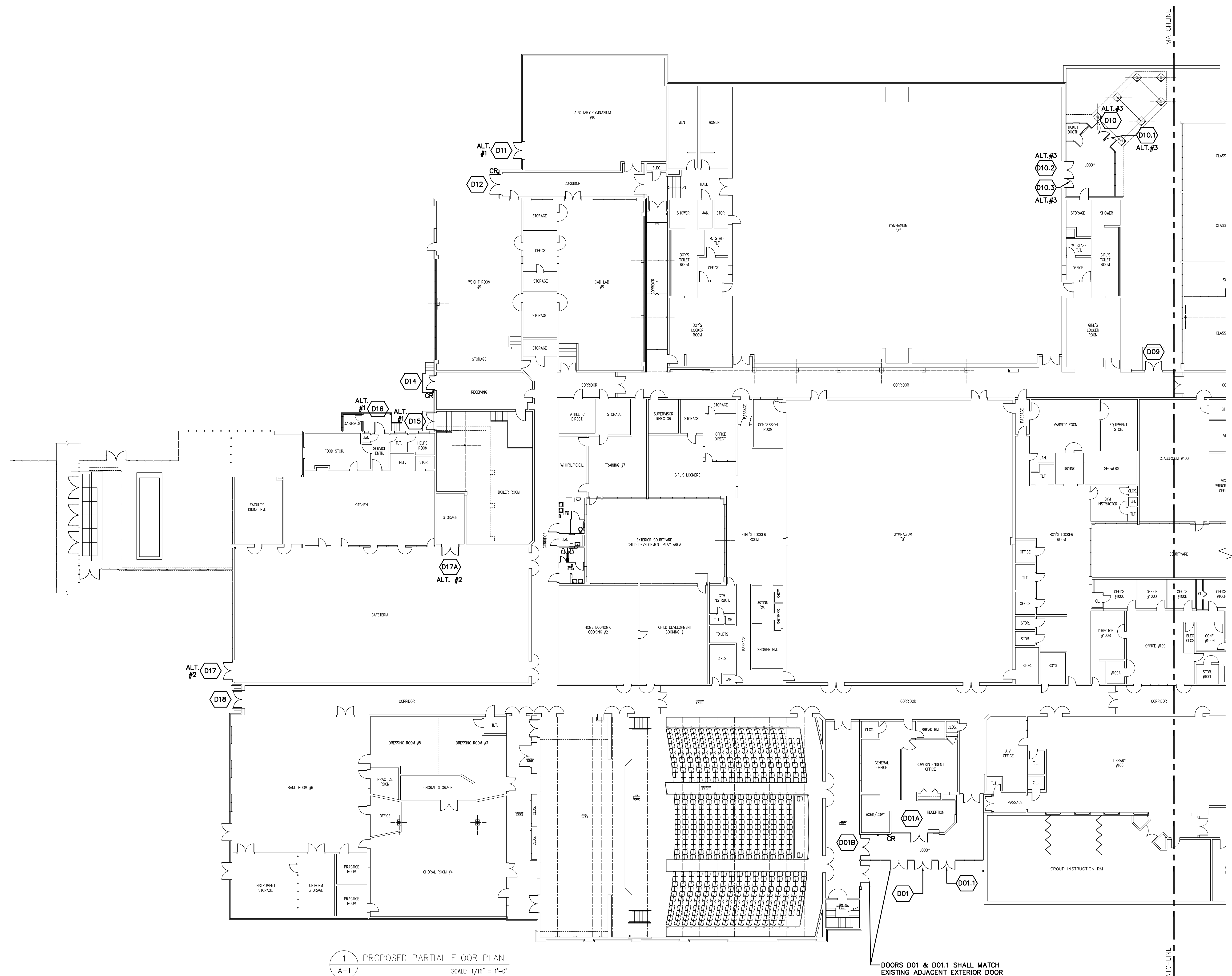
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**PARTIAL
DEMOLITION
FLOOR PLAN**

D-2



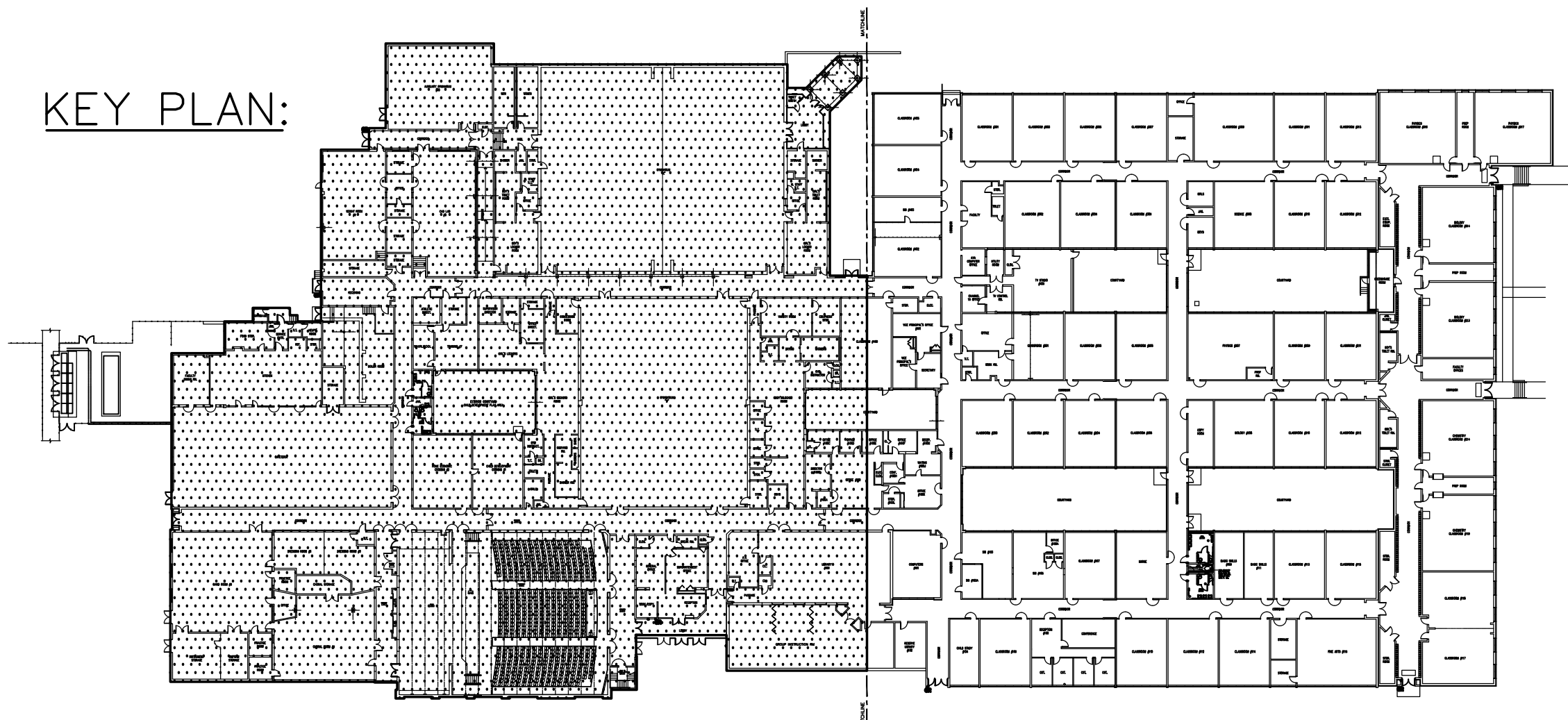
1 PROPOSED PARTIAL FLOOR PLAN
A-1 SCALE: 1/16" = 1'-0"

LEGEND

(#) FOR DOOR TYPES & DETAILS SEE DWGS. A-3, A-4, & A-5.

CR EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO REMAIN. RECONNECT EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO NEW DOORS/FRAMES. SEE HARDWARE SCHEDULE & SPECS. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL REVIEW & CONFIRM EXISTING DOOR OPERATION WITH THE OWNER. AFTER INSTALLATION OF THE NEW DOORS, HARDWARE, & FRAME, THE DOOR ACCESS OPERATIONS SHALL FUNCTION THE SAME AS THE PRE-CONSTRUCTION OPERATION.

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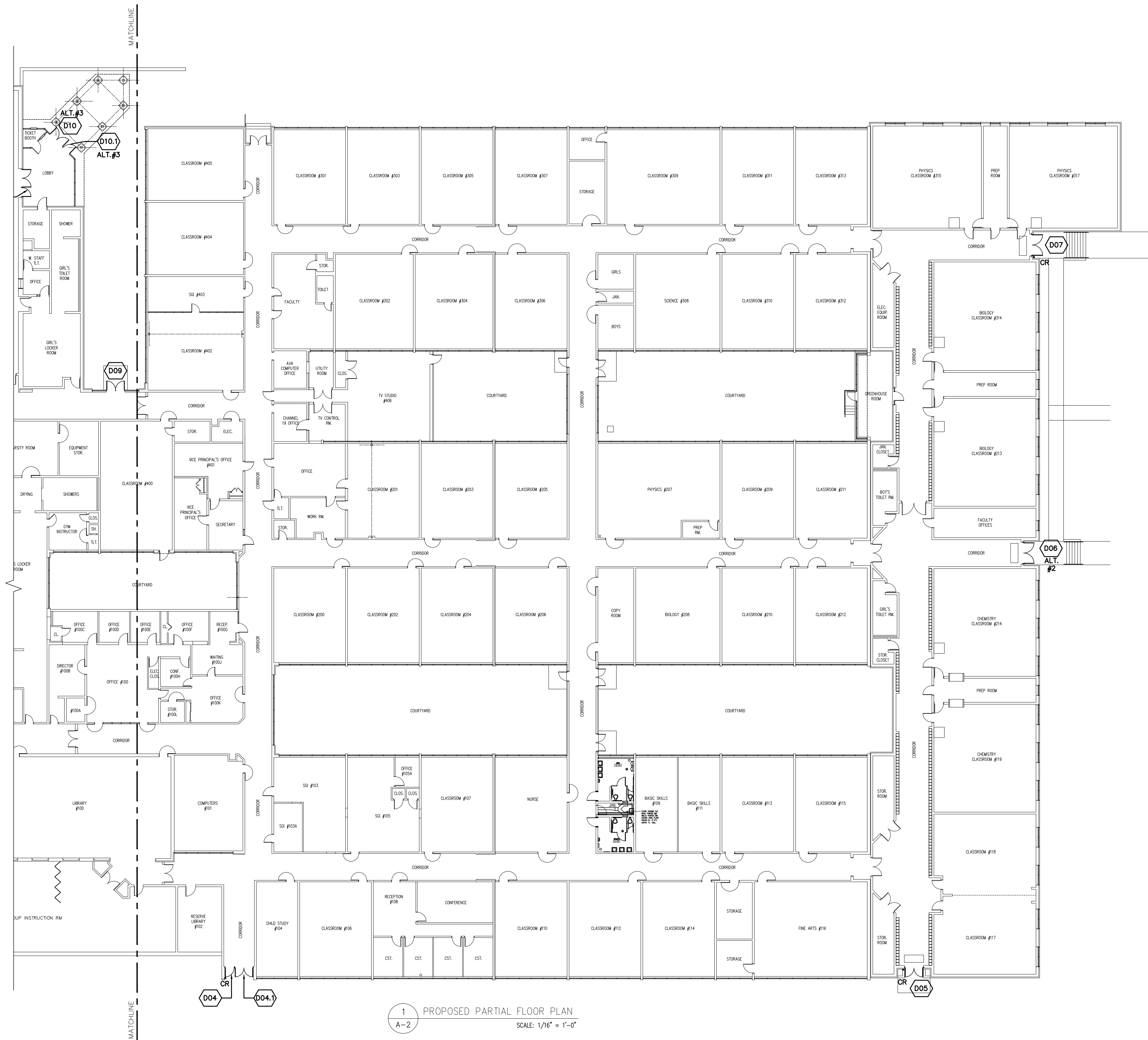
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PARTIAL FLOOR PLAN

A-1

ISSUED FOR RE-BID: 05-02-19



1 PROPOSED PARTIAL FLOOR PLAN
A-2 SCALE: 1/16" = 1'-0"

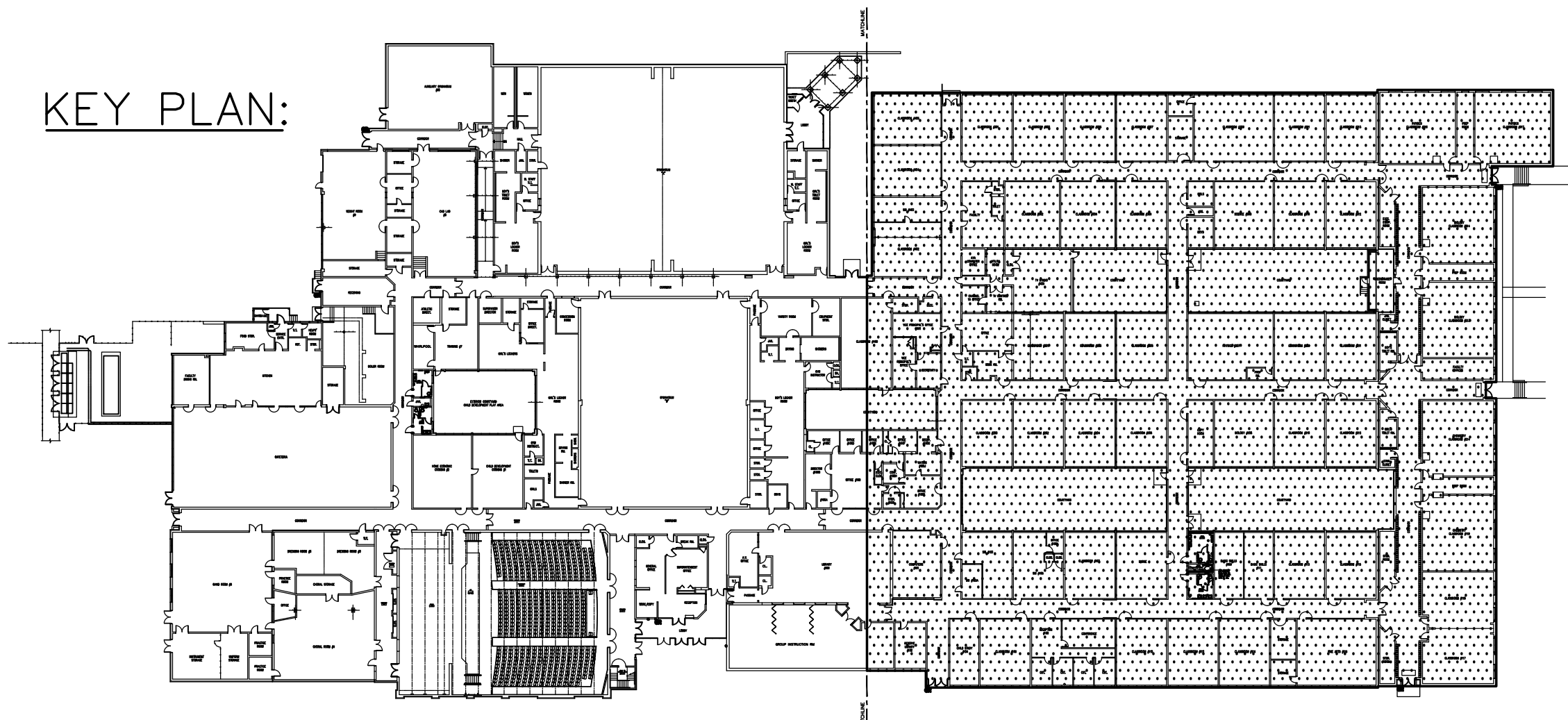
LEGEND

⊕ FOR DOOR TYPES & DETAILS SEE DWGS. A-3, A-4, & A-5.

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KEY PLAN:



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PARTIAL FLOOR PLAN

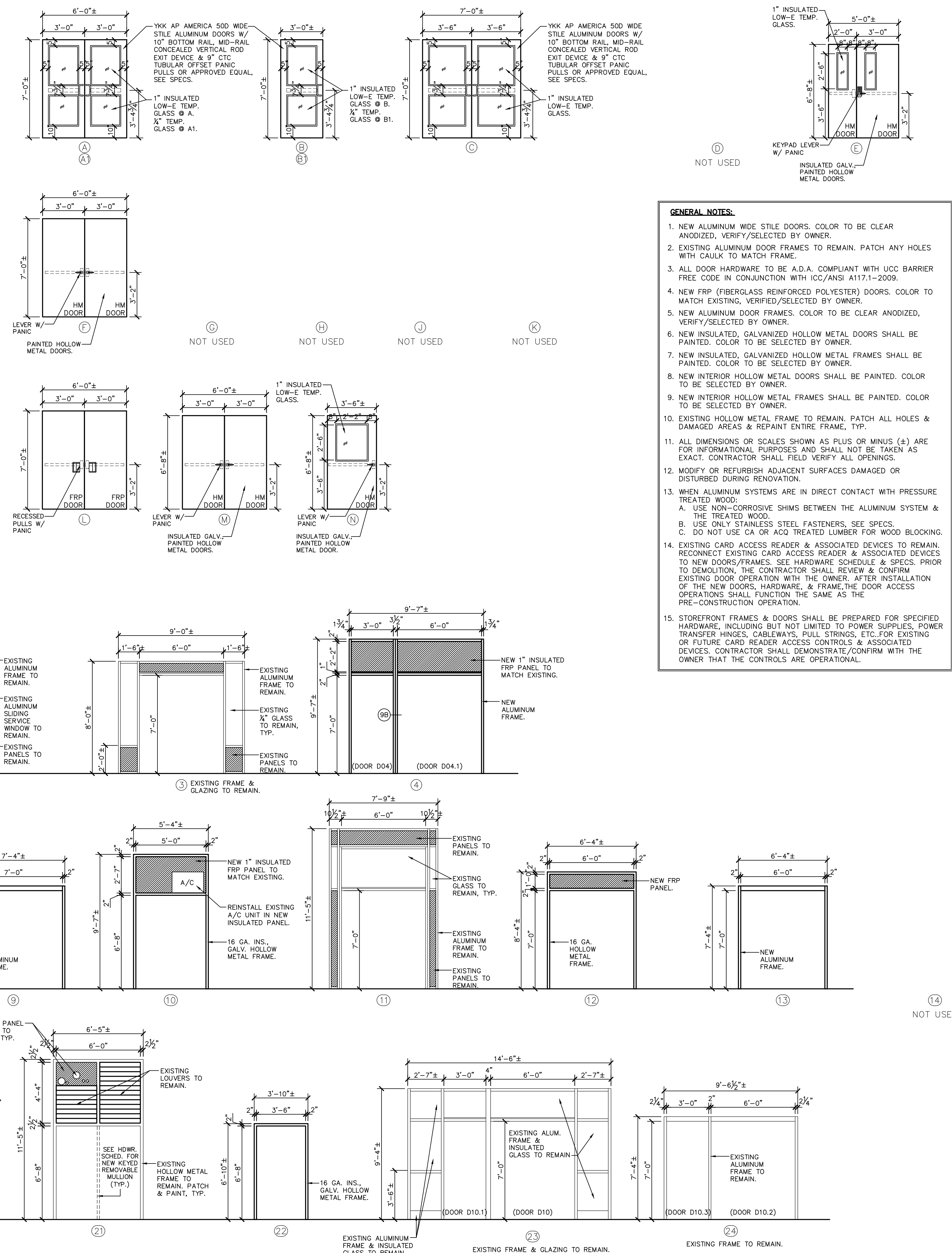
A-2

DOOR AND FRAME SCHEDULE

DR. NO.	FROM ROOM NO.	TO ROOM NO.	TYPE OF ROOM	DOOR								HARDWARE SET NO.	FRAME						REMARKS												
				1 3/4" THICK DOOR U.N.O.		DOOR				GLASS				DETAILS																	
		SIZE		MATERIAL		GAGE		TYPE		GLASS		THRESHOLD		HARDWARE SET NO.		MATERIAL		GAGE		DEPTH		TYPE		HEAD		JAMB		SILL			
BASE BID																															
	D01	LOBBY	EXT. LOBBY	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	010	ALUM	-	-	1	1	2	3	-	-	-	-	-	-	-	-	-	-	
	D01.1	LOBBY	EXT. LOBBY	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	002	ALUM	-	-	1	1	2	3	-	-	-	-	-	-	-	-	-	-	
	D01A	RECEPT	LOBBY RECEPTION	(2)3'-0"	7'-0"	ALUM.	-	A1	TEMP	1/4"	FULL	ALUM	003	ALUM	-	-	2	4	5	6	-	-	-	-	-	-	-	-	-	-	
	D01B	CORR.	LOBBY CORRIDOR	(2)3'-0"	7'-0"	ALUM.	-	A1	TEMP	1/4"	FULL	-	007	ALUM	-	-	3	4	5	7	-	-	-	-	-	-	-	-	-	-	
	D04	CORR.	EXT. CORRIDOR	3'-0"	7'-0"	ALUM.	-	B	TEMP	1"	FULL	ALUM	009	ALUM	-	-	4	1/2"	4	8	9	10	-	-	-	-	-	-	-	-	
	D04.1	CORR.	EXT. CORRIDOR	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	001	ALUM	-	-	4	1/2"	4	8	9	10	-	-	-	-	-	-	-	-	
	D05	CORR.	EXT. CORRIDOR	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	012	ALUM	-	-	5	11	12	13	-	-	-	-	-	-	-	-	-	-	
	D07	CORR.	EXT. CORRIDOR	(2)3'-6"	7'-0"	ALUM.	-	C	TEMP	1"	FULL	ALUM	012	ALUM	-	-	4	1/2"	6	11	12	13	-	-	-	-	-	-	-	-	
	D08		NOT USED																												
	D09	CORR.	EXT. CORRIDOR	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	011	ALUM	-	-	8	17	18	19	-	-	-	-	-	-	-	-	-	-	
	D12	CORR.	EXT. CORRIDOR	(2)3'-6"	7'-0"	ALUM.	-	C	TEMP	1"	FULL	ALUM	012	ALUM	-	-	4	1/2"	9	20	21	22	-	-	-	-	-	-	-	-	
	D14	REC.	EXT. RECEIVING	3'-0"2'-0"	6'-8"	HM	16	E	TEMP	1"	6"x30"	ALUM	006	HM	16	6	3/4"	10	23	24	25	-	-	-	-	-	-	-	-	-	
	D18	CORR.	EXT. CORRIDOR	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	012	ALUM	-	-	4	1/2"	13	29	30	31	-	-	-	-	-	-	-	-	-
	D11	AUX. GYM	EXT. AUXILIARY GYM	(2)3'-0"	7'-0"	FRP	L	-	-	-	-	-	014	ALUM	-	-	4	1/2"	20	42	43	44	-	-	-	-	-	-	-	-	
	D15	B.R.	EXT. BOILER ROOM	(2)3'-0"	6'-8"	HM	16	M	-	-	-	-	015	HM	-	-	21	45	46	47	-	-	-	-	-	-	-	-	-	-	
	D16	KITCHEN	EXT. KITCHEN	3'-6"	6'-8"	HM	16	N	TEMP	1"	26"x30"	ALUM	020	HM	16	6	3/4"	22	48	49	50	-	-	-	-	-	-	-	-	-	-
	D06	CORR.	EXT. CORRIDOR	(2)3'-6"	7'-0"	ALUM.	-	C	TEMP	1"	FULL	ALUM	011	ALUM	-	-	4	1/2"	6	11	12	13	-	-	-	-	-	-	-	-	
	D17	CAF.	EXT. CAFETERIA	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	010	ALUM	-	-	11	17	18	19	-	-	-	-	-	-	-	-	-	-	
	D17A	STOR.	CAF. STORAGE	(2)3'-0"	7'-0"	HM	16	F	-	-	-	-	008	HM	16	14"	12	26	27	28	-	-	-	-	-	-	-	-	-	-	
	D10	LOBBY	EXT. GYM LOBBY	(2)3'-0"	7'-0"	ALUM.	-	A	TEMP	1"	FULL	ALUM	010	ALUM	-	-	23	1	2	3	-	-	-	-	-	-	-	-	-	-	
	D10.1	LOBBY	EXT. GYM LOBBY	3'-0"	7'-0"	ALUM.	-	B	TEMP	1"	FULL	ALUM	017	ALUM	-	-	23	1	2	3	-	-	-	-	-	-	-	-	-	-	
	D10.2	GYM	LOBBY GYM LOBBY	(2)3'-0"	7'-0"	ALUM.	-	A1	TEMP	1/4"	FULL	-	018	ALUM	-	-	24	51	52	53	-	-	-	-	-	-	-	-	-	-	
	D10.3	GYM	LOBBY GYM LOBBY	3'-0"	7'-0"	ALUM.	-	B1	TEMP	1/4"	FULL	-	016	ALUM	-	-	24	51	52	53	-	-	-	-	-	-	-	-	-	-	

DOOR TYPES:

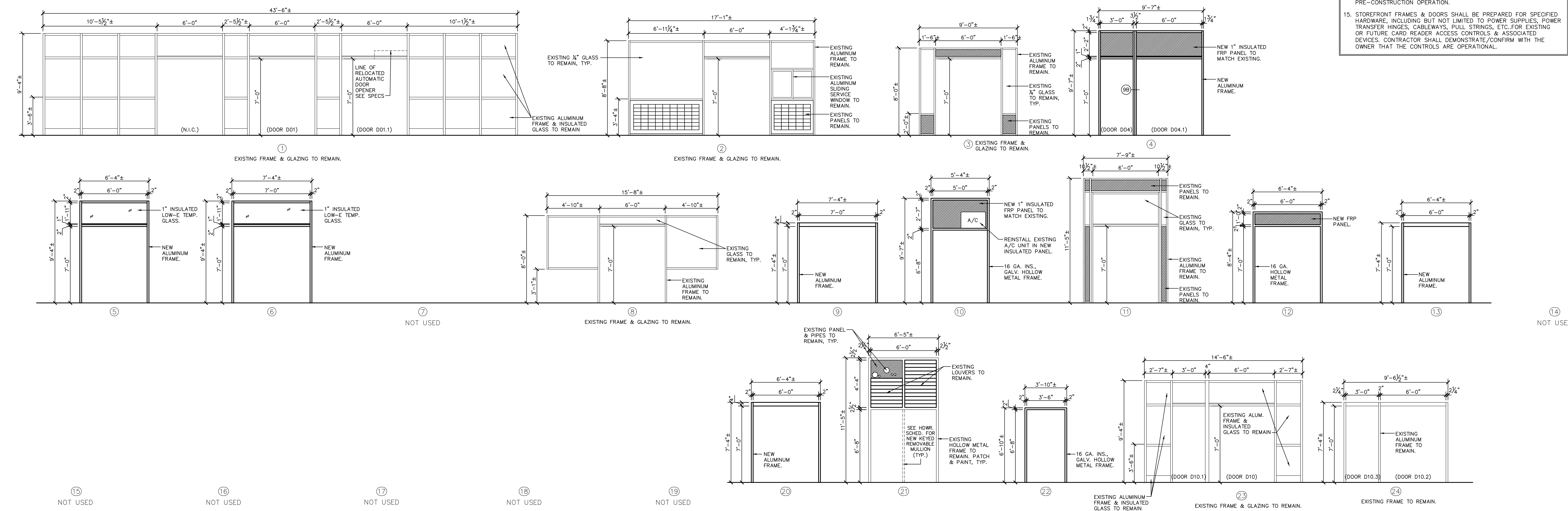
SCALE 1/4"=1'-0"



- GENERAL NOTES:**
- NEW ALUMINUM WIDE STILE DOORS. COLOR TO BE CLEAR ANODIZED. VERIFY/SELECTED BY OWNER.
 - EXISTING ALUMINUM DOOR FRAMES TO REMAIN. PATCH ANY HOLES WITH CAULK TO MATCH FRAME.
 - ALL DOOR HARDWARE TO BE A.D.A. COMPLIANT WITH UCC BARRIER FREE CODE IN CONJUNCTION WITH ICC/ANSI A117.1-2009.
 - NEW FRP (FIBERGLASS REINFORCED POLYESTER) DOORS. COLOR TO MATCH EXISTING. VERIFY/SELECTED BY OWNER.
 - NEW ALUMINUM DOOR FRAMES. COLOR TO BE CLEAR ANODIZED. VERIFY/SELECTED BY OWNER.
 - NEW INSULATED GALVANIZED HOLLOW METAL DOORS SHALL BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - NEW INSULATED GALVANIZED HOLLOW METAL FRAMES SHALL BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - NEW INTERIOR HOLLOW METAL DOORS SHALL BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - NEW INTERIOR HOLLOW METAL FRAMES SHALL BE PAINTED. COLOR TO BE SELECTED BY OWNER.
 - EXISTING HOLLOW METAL FRAME TO REMAIN. PATCH ALL HOLES & DAMAGED AREAS & REPAIR ENTIRE FRAME, TYP.
 - ALL DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (+) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS.
 - MODIFY OR REFURBISH ADJACENT SURFACES DAMAGED OR DISTURBED DURING RENOVATION.
 - WHEN ALUMINUM SYSTEMS ARE IN DIRECT CONTACT WITH PRESSURE TREATED WOOD:
 - USE NON-CORROSIVE SHIMS BETWEEN THE ALUMINUM SYSTEM & THE TREATED WOOD.
 - USE ONLY STAINLESS STEEL FASTENERS. SEE SPECS.
 - DO NOT USE CA OR ACO TREATED LUMBER FOR WOOD BLOCKING.
 - EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO REMAIN. RECONNECT EXISTING CARD ACCESS READER & ASSOCIATED DEVICES TO NEW DOORS/FRAMES. SEE HARDWARE SCHEDULE & SPECS. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL REVIEW & CONFIRM EXISTING DOOR OPERATION WITH THE OWNER. AFTER INSTALLATION OF THE NEW DOORS, HARDWARE, & FRAME, THE DOOR ACCESS OPERATIONS SHALL FUNCTION THE SAME AS THE PRE-CONSTRUCTION OPERATION.
 - STOREFRONT FRAMES & DOORS SHALL BE PREPARED FOR SPECIFIED HARDWARE, INCLUDING BUT NOT LIMITED TO POWER SUPPLIES, POWER TRANSFER MINES, CABLEWAYS, PULL STRINGS, ETC. FOR EXISTING OR FUTURE CARD READER ACCESS CONTROLS & ASSOCIATED DEVICES. CONTRACTOR SHALL DEMONSTRATE/CONFIRM WITH THE OWNER THAT THE CONTROLS ARE OPERATIONAL.

FRAME TYPES:

SCALE 1/4"=1'-0"

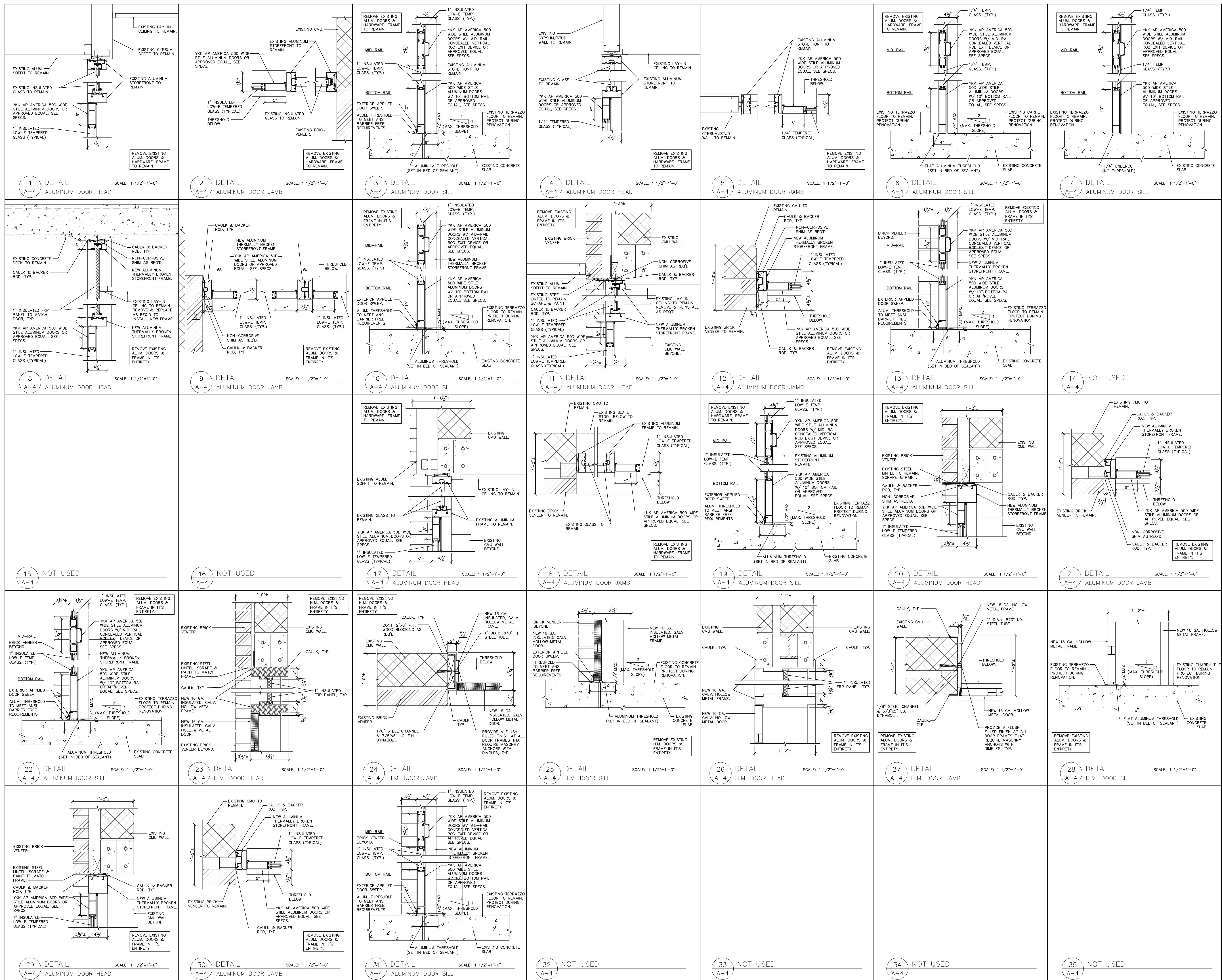


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DOOR & FRAME SCHEDULE



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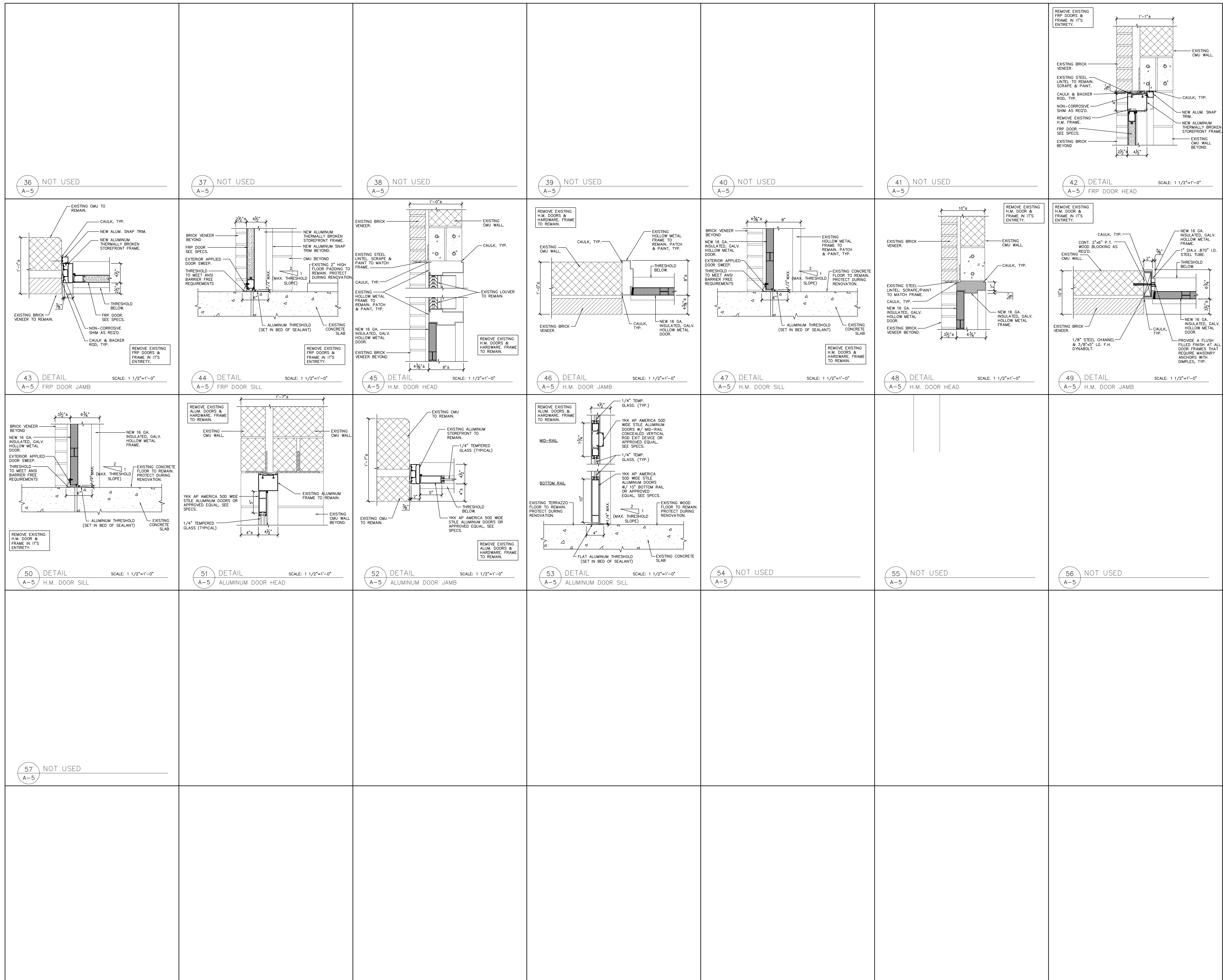
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**DOOR & FRAME
 DETAILS I**

A-4

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB, AND THIS OFFICE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB, AND THIS OFFICE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB, AND THIS OFFICE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THESE DRAWINGS.



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**DOOR & FRAME
 DETAILS II**