

WINDOW AND EXTERIOR DOOR REPLACEMENT AT BUILDINGS #4 & #12

AT

CAMDEN COUNTY TECHNICAL SCHOOLS, GLOUCESTER CAMPUS

343 BERLIN - CROSS KEYS ROAD
SICKLERVILLE, NEW JERSEY 08081

FOR THE

CAMDEN COUNTY TECHNICAL SCHOOLS BOARD OF EDUCATION

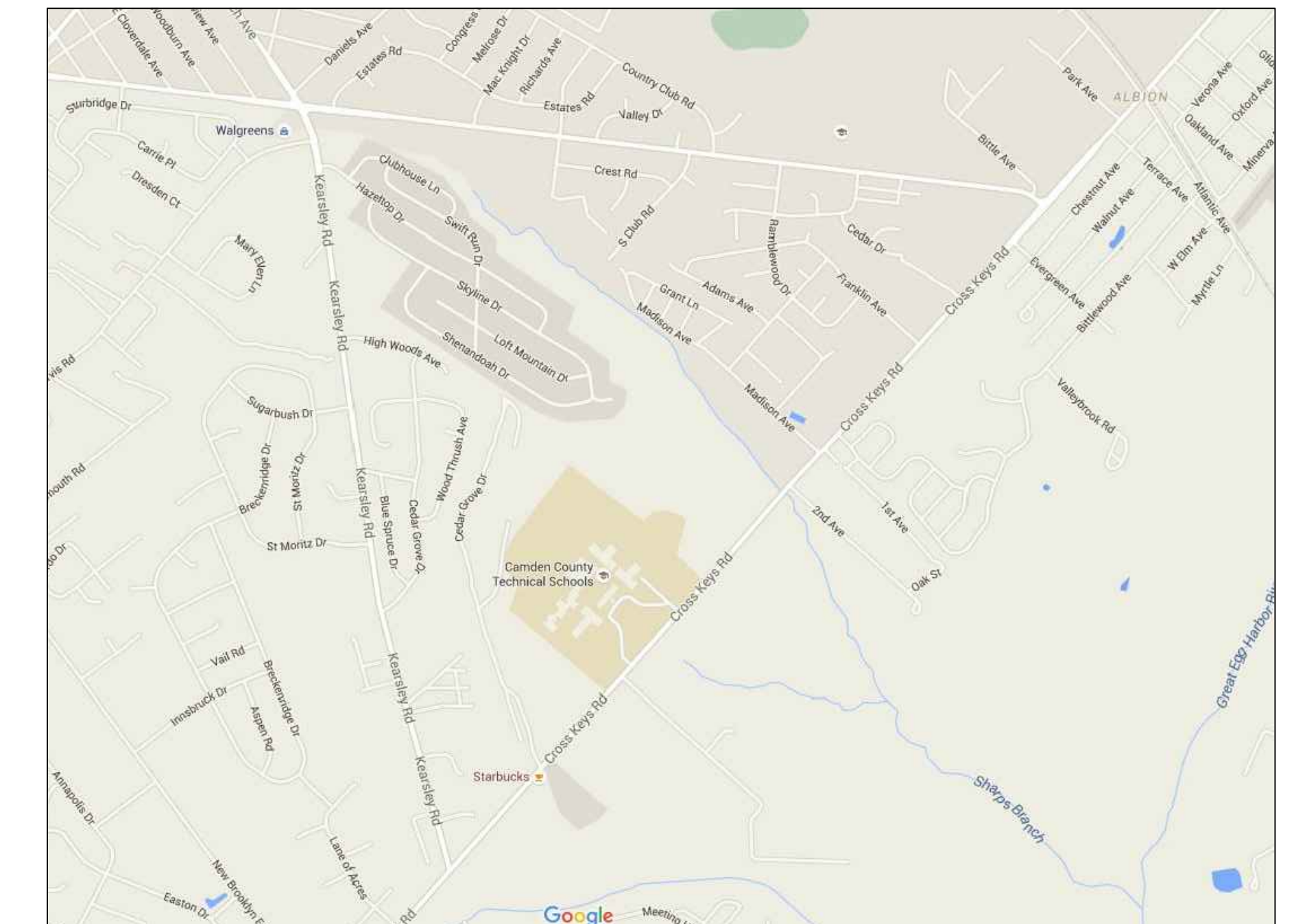
343 BERLIN - CROSS KEYS ROAD
SICKLERVILLE, NEW JERSEY 08081

PROJECT NUMBER: 20-37
CCTS BID NUMBER: 20-07
TYPE OF CONSTRUCTION: 2B
USE GROUP: E

No.	INDEX OF DRAWINGS
ARCHITECTURAL	
--	COVER SHEET
A-0	CAMPUS SITE PLAN
A-1	FLOOR PLAN & WINDOW TYPES - BUILDING 4 (BASE BID)
A-2	WINDOW DETAILS - BUILDING 4 (BASE BID)
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A-4	DOOR AND FRAME SCHEDULE & DETAILS - BUILDING 12 (ALT. #1)
A-5	WINDOW TYPES AND DETAILS - BUILDING 12 (ALT. #2)



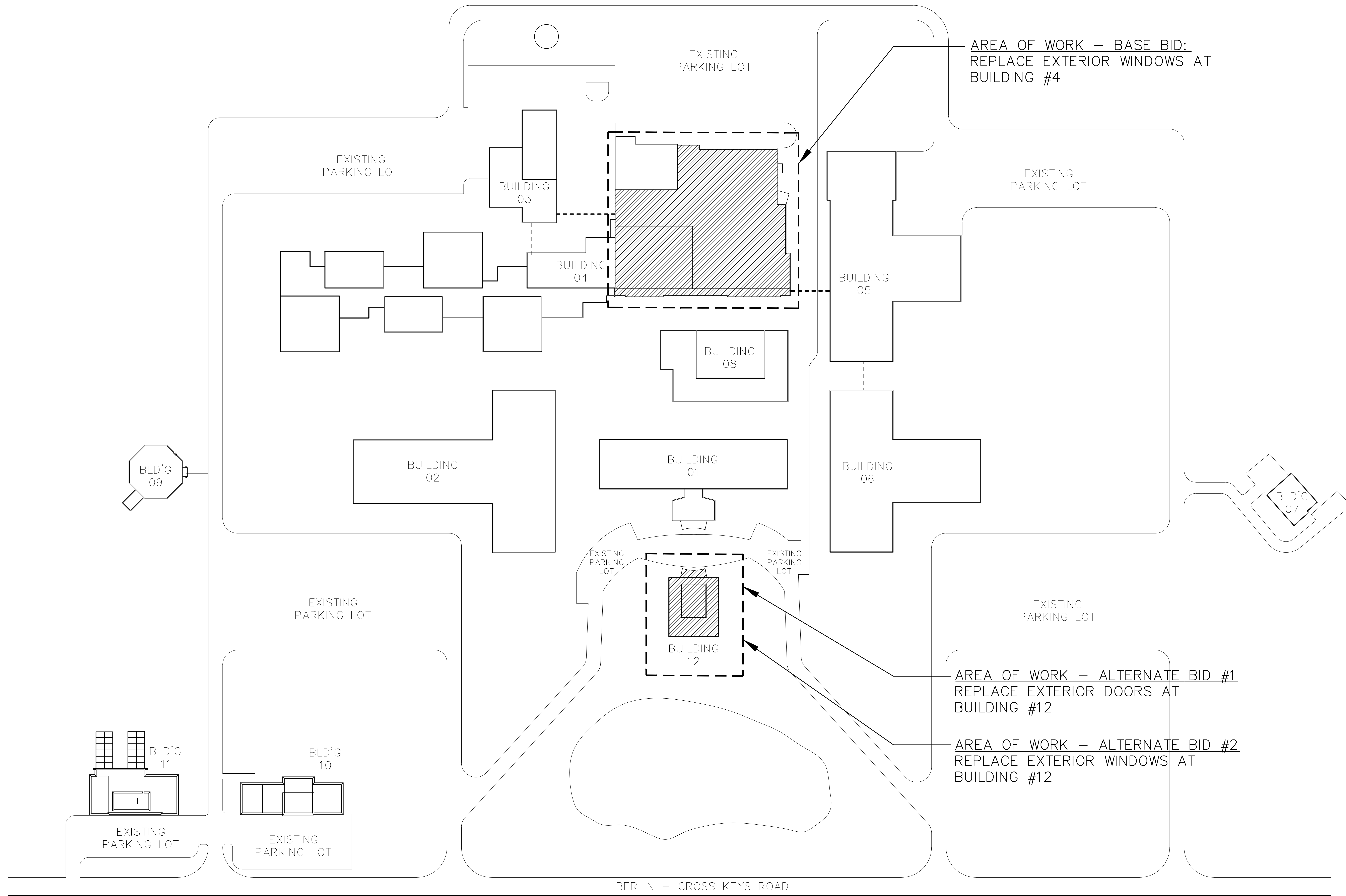
AERIAL MAP



LOCATION MAP

DESIGN CODES:

INTERNATIONAL BUILDING CODE/2018 / NJ EDITION
INTERNATIONAL MECHANICAL CODE/2018
INTERNATIONAL FUEL GAS CODE/2018
NATIONAL STANDARD PLUMBING CODE/2018
ASHRAE 2013-90.1 ENERGY STANDARD
NATIONAL ELECTRICAL CODE(NFPA 70)/2017
INTERNATIONAL FIRE CODE/2018
ELEVATOR SUBCODE: AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)
BARRIER FREE SUBCODE: ICC/ANSI A117.1-2009
N.J. REHAB CODE 5: 23-6



1 CAMPUS SITE PLAN
A-0 SCALE: NTS

GARIBOLDI ARCHITECTS
 A Professional Corporation of Architects and Planners
 715 GREEN ROAD, BELLMAIR, NEW JERSEY 08031 (609) 396-0200

WINDOW AND EXTERIOR DOOR REPLACEMENT AT BUILDINGS #4 & #12 AT CAMDEN COUNTY TECHNICAL SCHOOLS, GLOUCESTER CAMPUS FOR THE CAMDEN COUNTY TECHNICAL SCHOOL BOARD OF EDUCATION
 343 BERLIN - CROSS KEYS ROAD
 SICKLERVILLE, NEW JERSEY 08081

THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, AND ARE NOT TO BE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF GARIBOLDI ARCHITECTS AND PLANNERS. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

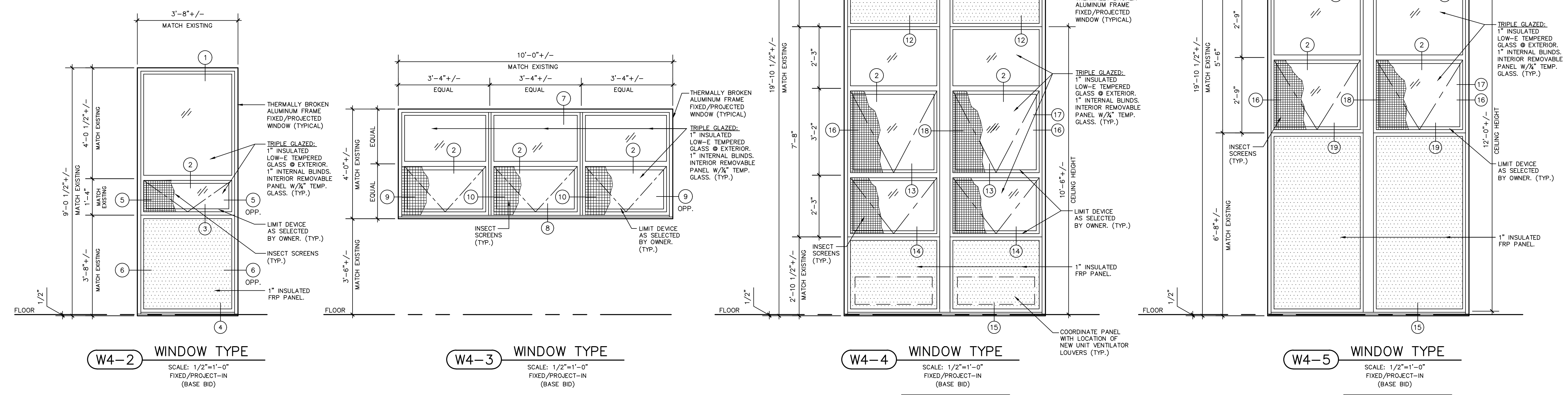
REVISIONS
a.
b.
c.

Project No. 20-37
 Date: 01-15-21
 Scale: AS NOTED

CAMPUS SITE PLAN
A-0

EXTERIOR WINDOW TYPES:

SCALE: 1/2"=1'-0"



- ### GENERAL SCOPE OF WORK:
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING WINDOWS, GLAZING, ASSOCIATED HARDWARE, TRIM, WINDOW TREATMENTS AND ACCESSORIES COMPLETELY.
 - INSTALL WINDOWS AND ACCESSORIES AS SPECIFIED AND INDICATED ON CONTRACT DOCUMENTS.
 - A. PROVIDE AND INSTALL ADDITIONAL PRESSURE TREATED WOOD BLOCKING/FRAMING AS REQUIRED TO PROPERLY ANCHOR NEW WINDOW SYSTEM. WHEN ALUMINUM SYSTEMS ARE IN DIRECT CONTACT WITH PRESSURE TREATED WOOD:
 - USE NON-CORROSIVE SHIMS BETWEEN THE ALUMINUM SYSTEM & THE TREATED WOOD.
 - USE ONLY STAINLESS STEEL FASTENERS, SEE SPECS.
 - DO NOT USE CA OR ACO TREATED LUMBER FOR WOOD BLOCKING.
 - PROVIDE AND INSTALL ADDITIONAL TRIM/CLOSURES AS NEEDED TO COVER SIGNS OF RADIATION.
 - MODIFY OR REFURBISH ADJACENT SURFACES DAMAGED OR DISTURBED DURING RENOVATION.
 - EXISTING THROUGH WINDOW MECHANICAL LOUVERS, FANS, DUCTWORK, A.C. UNITS, ETC. SHALL BE DISCONNECTED BY CONTRACTOR AND SALVAGED FOR INSTALLATION THROUGH NEW PANELS. (UNLESS INDICATED OTHERWISE). CONTRACTOR SHALL RE-USE EXISTING A.C. SUPPORT ANGLES (REPAINT). IF SUPPORT ANGLES ARE DAMAGED OR MISSING, CONTRACTOR SHALL PROVIDE NEW ALUM. 1/4" THICK SUPPORT ANGLES. CONTRACTOR MUST VERIFY EXISTING A.C. LOCATIONS & SIZES AND INDICATE ON SHOP DRAWINGS. TYPICAL. ANY EXISTING A.C. UNIT THAT IS NOT USED SHALL BE TURNED OVER TO OWNER.
 - WORK SEQUENCE: WINDOW REPLACEMENT MUST OCCUR ON AN "OPENING BY OPENING" BASIS. WINDOWS AT EACH OPENING MUST BE COMPLETE, INCLUDING TRIM AND SEALANT PRIOR TO REMOVING EXISTING WINDOWS AT THE NEXT OPENING. THE SEQUENCE OF WORK MUST BE INCLUDED IN THE PROJECT SCHEDULE PROPOSED BY THE CONTRACTOR & SUBMITTED TO OWNER & ARCHITECT FOR APPROVAL.
 - ALL CAULKING SHOULD BE SILICONE SEALANT. (SEE SPECIFICATIONS)
 - PROVIDE A LIMIT DEVICE FOR ALL OPERABLE WINDOWS. (COORDINATE WITH OWNER)
 - PROVIDE POLE-RING HARDWARE & POLES AT HIGH WINDOWS.
 - NEW PROJECT IN VENTS MUST OPEN TO FULLEST EXTENT. CONTRACTOR SHALL FIELD VERIFY ANY OBSTRUCTION THAT MAY CAUSE VENTS NOT TO FULLY OPEN & COMPENSATE FOR THE OBSTRUCTION WITH JAMB EXTENDERS. (TYPICAL)
 - IF NEW INTERIOR STOOLS ARE PROVIDED, CONTRACTOR MUST PROVIDE NEW WOOD BLOCKING FOR STOOLS TO BE SET UPON FOR PROPER ANCHORING & INSTALLATION.
 - EXISTING SLATE STOOLS THAT ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DUE TO REMOVAL OF EXISTING WINDOWS OR INSTALLATION OF NEW WINDOWS. ANY DAMAGED SLATE STOOLS SHALL BE REPLACED BY THE CONTRACTOR.
 - EXISTING SPLIT SYSTEM INDOOR AND OUTDOOR UNITS TO REMAIN. EXISTING WINDOW PANEL TO BE REMOVED AND REPLACED WITH NEW. EXISTING REFRIGERANT PIPE TO BE REMOVED AND REPLACED WITH NEW PIPE TO MATCH EXISTING PIPE SIZE AND INSULATION. PROVIDE NEW PIPE SLEEVE THRU PANEL TO BE SEALED WEATHER PROOF. DISCONNECT ELECTRIC POWER FOR SPLIT SYSTEM DURING CONSTRUCTION AND RE-CONNECT WHEN COMPLETE. BASE BID SHALL INCLUDE TWO (2) SPLIT SYSTEMS ON BUILDING 1 AND ONE (1) SPLIT SYSTEM ON BUILDING 5 TO BE REMOVED AND REINSTALLED.
 - ALL EXISTING EXPOSED STEEL LINTELS, BEAMS, COLUMNS, ETC. SHALL BE SCRAPED, PRIMED & PAINTED PER SPECIFICATIONS AT BOTH INTERIOR & EXTERIOR OF WINDOW OPENING. IF STEEL LINTELS ARE RUSTED OR DAMAGED BEYOND REPAIR THEN THEY MUST BE REPLACED, TYP.

- ### GENERAL NOTES:
- WINDOWS SHALL BE DESIGNED TO MEET IBC 2018 CODE REQUIREMENTS FOR WIND LOADS. SEE SPECIFICATIONS. CONTRACTOR TO SUBMIT SIGNED & SEALED, BY N.J. P.E., SHOP DRAWINGS, CALCULATIONS & FASTENING PATTERNS TYP.
 - CONTRACTOR SHALL VISIT THE SITE AND BUILDING TO DETERMINE ACTUAL CONDITIONS AND QUANTITIES OF MATERIALS AND EXISTING ITEMS. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO DETERMINE ACTUAL FIELD CONDITIONS.
 - CONTRACTOR SHALL VERIFY THE CONDITION OF ALL ITEMS WITHIN WORK AREA, AND NOTIFY OWNER OF ANY DAMAGE OR INOPERABLE ITEMS PRIOR TO COMMENCEMENT OR DEMOLITION AND/OR ALTERATION WORK.
 - ALL NOTES ON DETAILS REFER TO NEW MATERIALS UNLESS NOTED AS EXISTING.
 - CONTRACTOR SHALL REFURBISH OR REPLACE ANY DAMAGED OR DISTURBED ADJACENT SURFACES AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH OWNER.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS CREATED BY HIS WORK FROM THE SITE AT CONTRACTOR'S EXPENSE.
 - DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (±) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS & QUANTITIES.
 - ALL TOILET ROOMS, LOCKER ROOMS OR PRIVATE AREAS SHALL HAVE OBSCURED GLAZING IN WINDOWS THAT FACE THE EXTERIOR. TYPICAL.
 - PROVIDE NINE (9) INCH HIGH AND (0.5) INCH STROKE WIDTH WHITE REFLECTIVE VINYL WINDOW SIGNAGE ON EVERY WINDOW INDICATING THE ROOM NUMBER. PLACE SIGNAGE AT THE TOP RIGHT SIDE OF EVERY WINDOW TYPE.

BASE BID:
REPLACE WINDOWS AT BUILDING #4.
SEE CAMPUS PLAN FOR BUILDING LOCATION.

1 PARTIAL FLOOR PLAN (BUILDING #4)
A-1 SCALE: 1/16"=1'-0"

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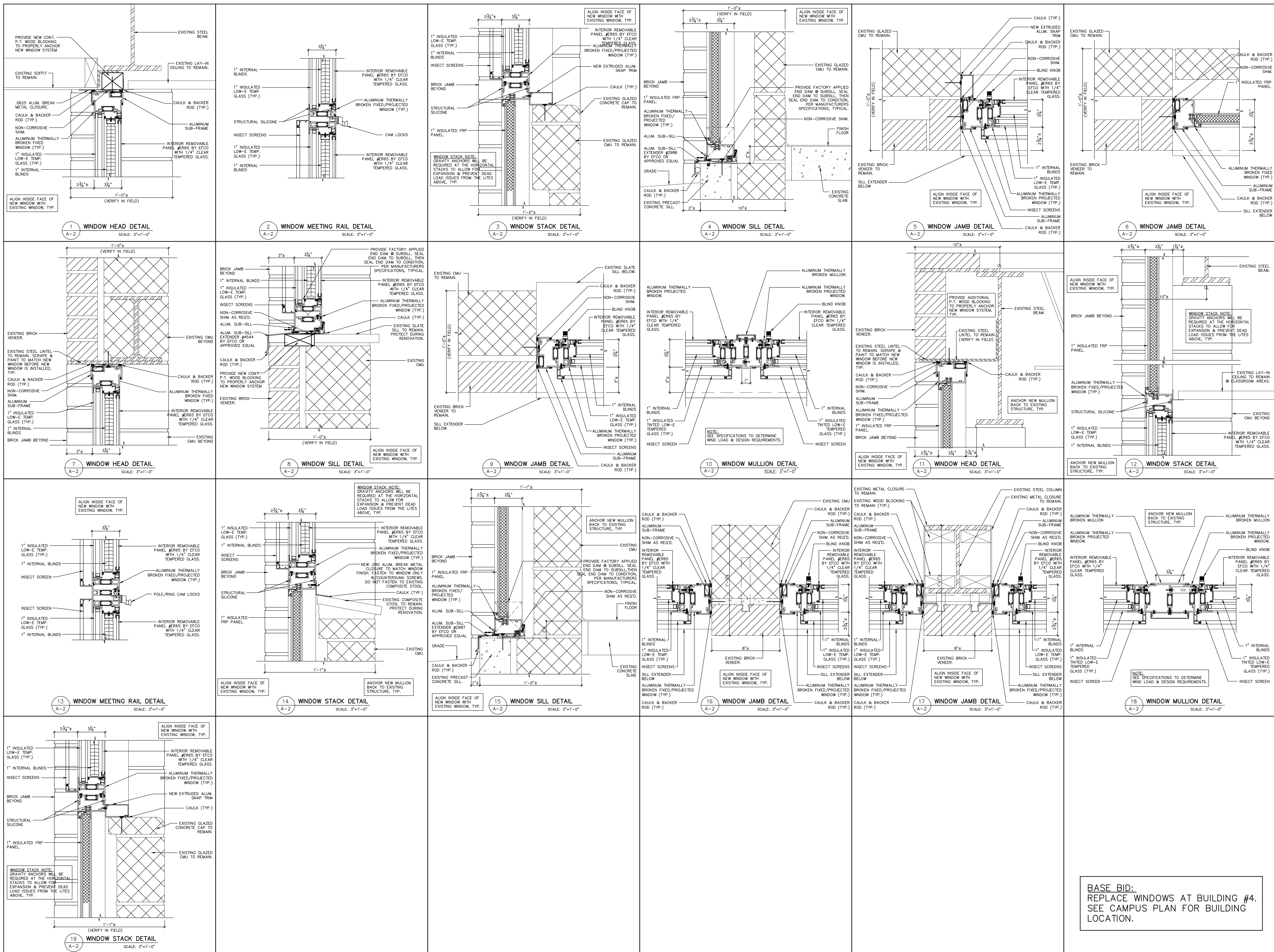
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 343 BERKELIN - CROSS KEYS ROAD
 SICKLERVILLE, NEW JERSEY 08081

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Project No. 20-37
 Date: 01-15-21
 Scale: AS NOTED

WINDOW TYPES BUILDING-4 BASE BID A-1

ISSUED FOR BID: 03-09-2021



BASE BID:
 REPLACE WINDOWS AT BUILDING #4.
 SEE CAMPUS PLAN FOR BUILDING
 LOCATION.

**WINDOW AND EXTERIOR DOOR REPLACEMENT AT BUILDINGS #4 & #12
 AT CAMDEN COUNTY TECHNICAL SCHOOLS, GLOUCESTER CAMPUS
 FOR THE CAMDEN COUNTY TECHNICAL SCHOOL BOARD OF EDUCATION**

343 BICKERLYN - CROSS KEYS ROAD
 SICKERVILLE, NEW JERSEY 08081

REVISIONS

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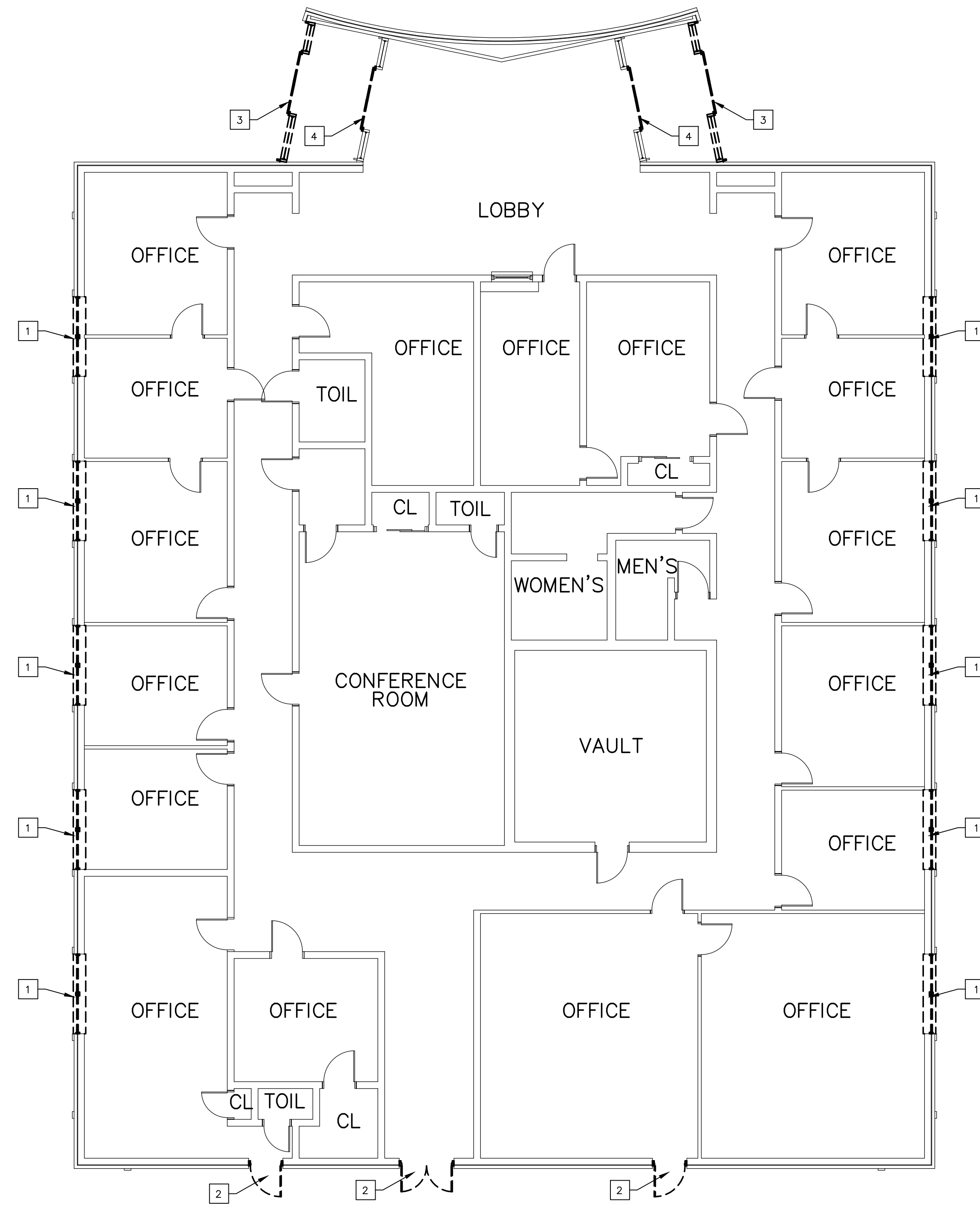
Project No. 20-37
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WINDOW DETAILS
 BUILDING-4
 BASE BID

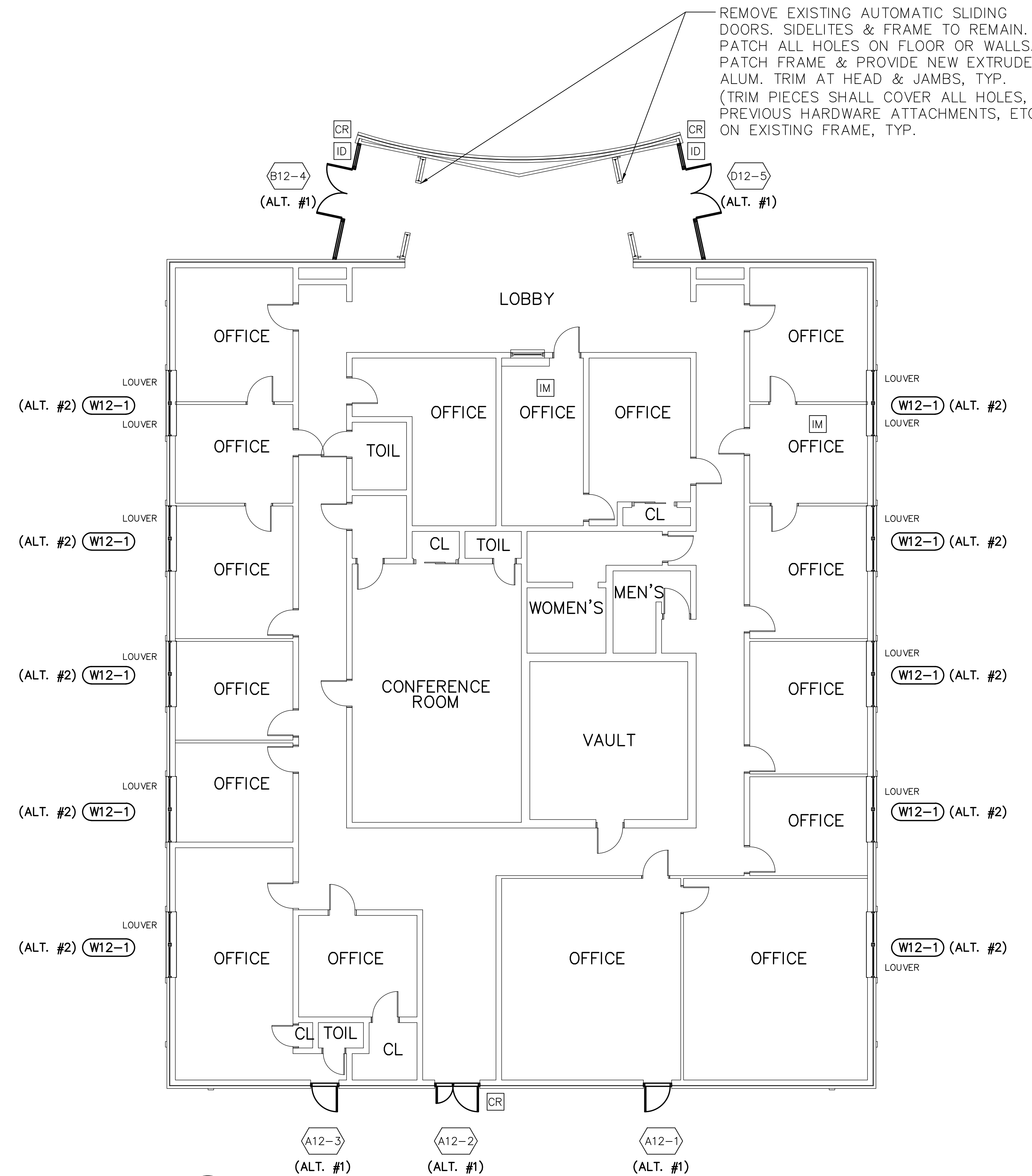
A-2

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



1 DEMOLITION FLOOR PLAN (BUILDING # 12)
SCALE: 1/8"=1'-0"



2 FLOOR PLAN (BUILDING # 12)
SCALE: 1/8"=1'-0"

REMOVE EXISTING AUTOMATIC SLIDING DOORS. SIDELITES & FRAME TO REMAIN. PATCH ALL HOLES ON FLOOR OR WALLS. PATCH FRAME & PROVIDE NEW EXTRUDED ALUM. TRIM AT HEAD & JAMBS, TYP. (TRIM PIECES SHALL COVER ALL HOLES, PREVIOUS HARDWARE ATTACHMENTS, ETC. ON EXISTING FRAME, TYP.)

GENERAL NOTES:

- ALL DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (+/-) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND OPENINGS.
- THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE EXISTING ACTUAL CONDITIONS THAT THE CONTRACTOR MAY ENCOUNTER DURING THE COURSE OF THE WORK.
- PATCH HOLES IN MASONRY WITH MATERIALS TO MATCH ADJACENT SURFACES.
- DURING CONSTRUCTION, CLEAN AND PROTECT WORK IN PROGRESS. PROMPTLY REMOVE ANY DEBRIS FROM THE SITE. NO TRASH ACCUMULATION IS PERMITTED. TRANSPORT AND LEGALLY DISPOSE OF MATERIAL OFF SITE.
- COORDINATE WITH OWNER PRIOR TO CONSTRUCTION FOR ALL MATERIALS THAT THE OWNER INTENDS TO SALVAGE. ALL MATERIALS THAT WILL BE SALVAGE CONTRACTOR TO REMOVE AND TURN OVER TO OWNER.
- EXISTING FLOOR FINISH, WALLS, CEILING & LIGHTING TO REMAIN. PROTECT DURING RENOVATIONS / CONSTRUCTION.
- WHERE WORK IS TO BE DONE ABOVE EXISTING LAY-IN CEILING SYSTEM, IT IS THE SOLE RESPONSIBILITY OF THAT DESIGNATED CONTRACTOR TO REMOVE AND/OR CUT NECESSARY CEILING TILES AND GRID REQUIRED FOR INSTALLATION. THEN PATCH GRID AND REINSTALL CEILING TILES AFTER INSTALLATION. RESTORE ROOM TO PREVIOUS CONDITION PRIOR TO RENOVATION.

KEYED NOTES:

- REMOVE EXISTING WINDOW SYSTEM IN ITS ENTIRETY AND PREPARE FOR NEW WINDOW SYSTEM.
- REMOVE EXISTING DOOR(S), FRAME AND HARDWARE AND PREPARE SURFACES FOR NEW DOOR, FRAME AND HARDWARE.
- REMOVE EXISTING DOORS, STOREFRONT AND HARDWARE AND PREPARE SURFACES FOR NEW DOOR, STOREFRONT AND HARDWARE.
- REMOVE EXISTING DOORS, AND PATCH FRAME. SEE NOTES ON DRAWING 2 SHEET A-1.

VIDEO INTERCOM SYSTEM (BUILDING #12): [ID] [IM]

PROVIDE SURFACE MOUNTED VIDEO INTERCOM ENTRANCE DOOR STATION (ID), WITH INTEGRAL CAMERA, SPEAKER, AND MICROPHONE MODULES, WITH CALL PUSHBUTTON(S) SUITABLE FOR OUTDOOR INSTALLATION. SYSTEM SHALL BE CAPABLE OF SUPPORTING ONE (1) VIDEO INTERCOM DOOR STATION (ID) AND A MINIMUM OF THREE (3) INDOOR MASTER CONTROL STATIONS (IM). ALL INTERIOR CONTROL STATIONS SHALL HAVE PROVISIONS FOR HANDS-FREE AUDIO AND REMOTE DOOR OPENING.

BASIS OF DESIGN:

- AIPHONE JP SERIES SYSTEM
- JP-4MED MASTER STATION
- JP-8Z DISTRIBUTION ADAPTOR
- JP-4HD SUBSTATIONS (2)
- RY-3DL DOOR RELEASE
- JA-DV VIDEO DOOR STATION

MANUFACTURERS: AIPHONE, SIEDLE, OR APPROVED EQUAL.

INTERCOM POWER SUPPLY UNIT AND "HEAD END" CONTROL EQUIPMENT AS REQUIRED (EXACT TYPE TO MATCH INTERCOM EQUIPMENT) AND LOCATE ABOVE CEILING OR IN SUITABLE OWNER APPROVED UTILITY SPACE NEAR CONTROLLED DOOR.

PROVIDE DOOR RELEASE THAT WILL WORK WITH DOOR RELEASE HARDWARE AT DOOR.

COORDINATE LOCATIONS OF ALL COMPONENTS WITH OWNER.

FINISH AS SELECTED BY OWNER.

INCLUDE ALL CUTTING AND PATCHING AS REQUIRED FOR A COMPLETE SYSTEM.

[CR] PROVIDE NEW KEY PAD/CARD READER SYSTEM. SEE HARDWARE SCHEDULE

BUILDING #12:
-ALTERNATE BID #1: REPLACE EXTERIOR DOORS
-ALTERNATE BID #2: REPLACE EXTERIOR WINDOWS

SCRAPE & PAINT ALL EXPOSED STEEL LINTELS @ WINDOWS & DOORS. SCRAPE & PAINT ALL EXPOSED STEEL CHANNELS, ANGLES & BOLLARDS @ OVERHEAD DOORS, TYPICAL.

LEGEND

- [#] FOR EXTERIOR DOOR TYPES & DETAILS SEE DWGS. A-4 (ALT. #1)
- [W] FOR EXTERIOR WINDOW TYPES & DETAILS SEE DWGS. A-5 (ALT. #2)

LOUVER PROVIDE NEW UNIT VENTILATOR LOUVERS TO REPLACE EXISTING. FIELD VERIFY SIZE & QUANTITIES. INSTALL INTO NEW WINDOW SYSTEM & CAULK PERIMETER, TYP. (ALL EXISTING THROUGH WINDOW EXHAUST FANS, PIPES, CONDUIT, ETC. SHALL REMAIN. REMOVE THEN REINSTALL INTO NEW WINDOW SYSTEM.)

ISSUED FOR BID: 03-09-2021

WINDOW AND EXTERIOR DOOR REPLACEMENT AT BUILDINGS #4 & #12 AT CAMDEN COUNTY TECHNICAL SCHOOLS, GLOUCESTER CAMPUS FOR THE CAMDEN COUNTY TECHNICAL SCHOOL BOARD OF EDUCATION
343 BERLIN - CROSS KEYS ROAD
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REVISIONS

- a.
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- c.

Project No. 20-37
Date: 01-15-21
Scale: AS NOTED

**FLOOR PLANS
BUILDING-12**

A-3

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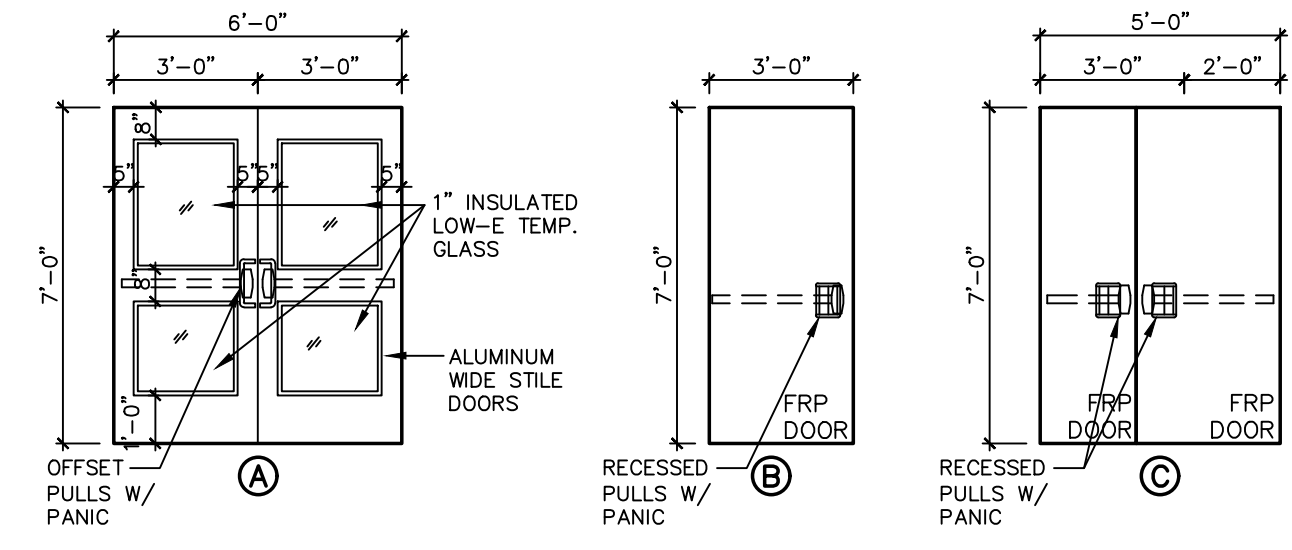
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DOOR AND FRAME SCHEDULE												REMARKS											
BUILDING NO.	DOOR NO.	FROM ROOM NO.	TO ROOM NO.	ROOM NAME	1 3/4" THICK DOOR U.N.O.							HARDWARE SET NO.	FRAME				FIRE RATING (LABEL)	NEW FRP DOORS (SEE GENERAL NOTE #1)	NEW ALUMINUM FRAMES (SEE GENERAL NOTE #2)	NEW ALUMINUM WIDE STILE DOORS (SEE GENERAL NOTE #3)	NEW ALUMINUM DOORS (SEE GENERAL NOTE #4)	NEW MET. PAD/GARD. READER (SEE GENERAL NOTE #5)	INTERCOM. VIDEO BUZZER (SEE FLOOR PLAN)
					SIZE	MATERIAL	GAGE	TYPE	TYPE	THICKNESS	SIZE		THRESHOLD	MATERIAL	GAGE	DEPTH							
BASE BID																							
(ALT. #1)	12	A12-1	OFFICE	EXTERIOR	OFFICE	3'-0"	7'-0"	FRP	B														
(ALT. #1)	12	A12-2	CORRIDOR	EXTERIOR	CORRIDOR	4'-0 1/2"	7'-0"	FRP	B														
(ALT. #1)	12	A12-3	OFFICE	EXTERIOR	OFFICE	3'-0"	7'-0"	FRP	B														
(ALT. #1)	12	B12-4	VESTIBULE	EXTERIOR	ENTRANCE	(2) 3'-0"	7'-0"	ALUM	A	TEMP	1"	FULL	ALUM	003	ALUM	4 1/2"	3	4	5/6	7			
(ALT. #1)	12	D12-5	VESTIBULE	EXTERIOR	ENTRANCE	(2) 3'-0"	7'-0"	ALUM	A	TEMP	1"	FULL	ALUM	003	ALUM	4 1/2"	3A	4	5/6	7			

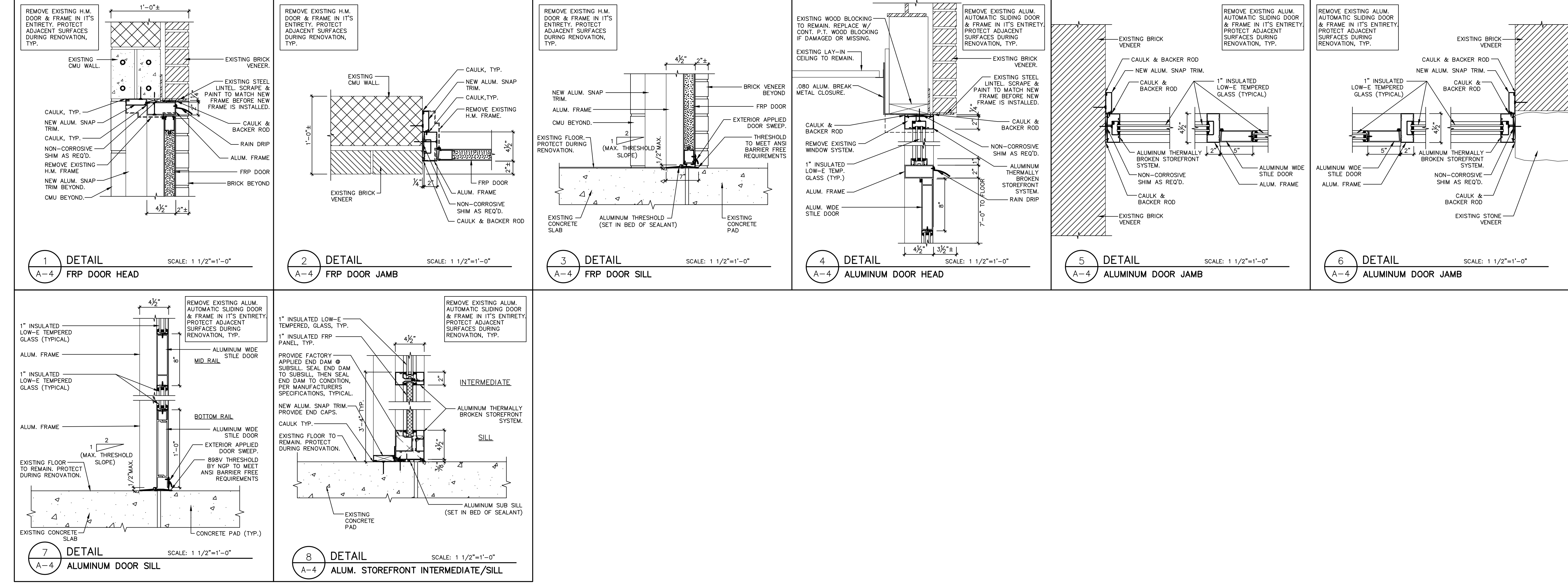
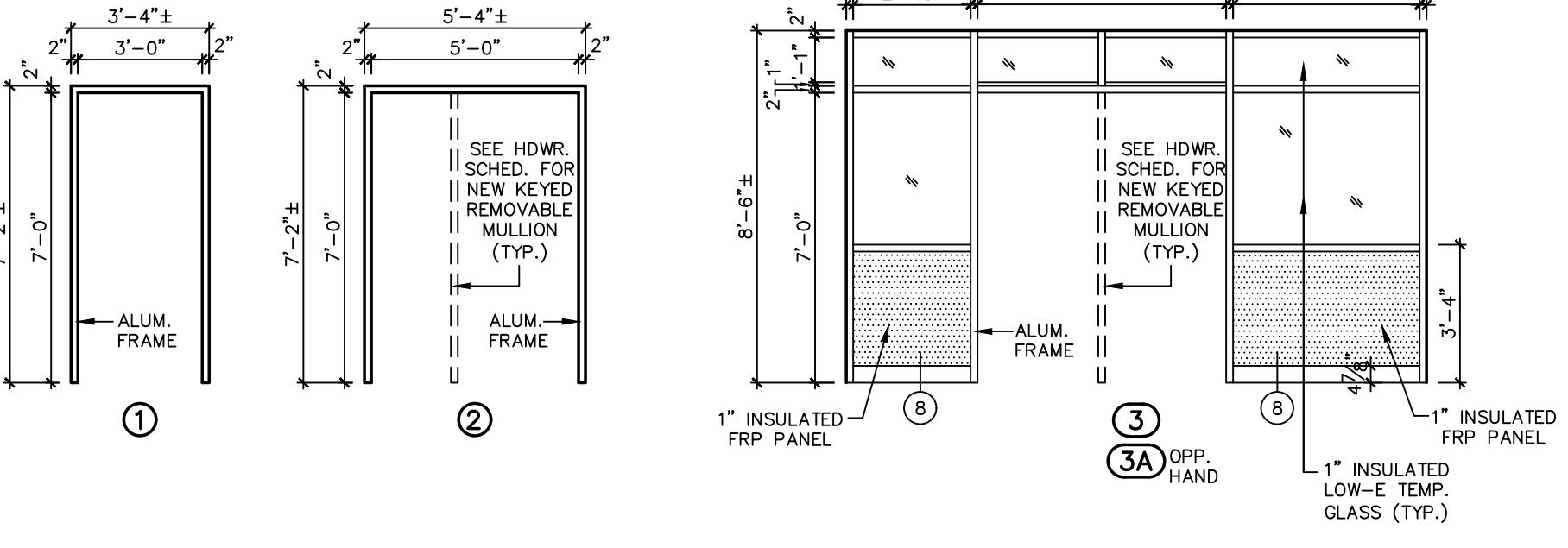
GENERAL NOTES:

- NEW FRP (FIBERGLASS REINFORCED POLYESTER) DOORS, COLOR TO BE SELECTED BY OWNER. (INTERIOR & EXTERIOR FACES ARE SPERATE COLORS.)
- NEW ALUMINUM STOREFRONT FRAMES, COLOR SELECTED BY OWNER.
- ALL DOOR HARDWARE TO BE A.D.A. COMPLIANT WITH UCC BARRIER FREE CODE IN CONJUNCTION WITH ICC/ANSI A117.1-2009.
- NEW ALUMINUM WIDE STILE DOORS, COLOR SELECTED BY OWNER.
- ALL DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (+) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS.
- EXISTING DOOR CONTACTS SHALL BE DISCONNECTED AND THEN REATTACHED TO NEW DOORS.
- MODIFY OR REFURBISH ADJACENT SURFACES DAMAGED OR DISTURBED DURING RENOVATION.
- EXISTING CARD READERS & CALL SYSTEMS SHALL BE RE-USED IN NEW DOORS. PROVIDE NEW WIRING AS REQUIRED. SEE HARDWARE SCHEDULE FOR NEW ELECTRIC STRIKES, ETC.
- WHEN ALUMINUM SYSTEMS ARE IN DIRECT CONTACT WITH PRESSURE TREATED WOOD:
 - USE NON-CORROSSIVE SHIMS BETWEEN THE ALUMINUM SYSTEM & THE TREATED WOOD.
 - USE ONLY STAINLESS STEEL FASTENERS, SEE SPECS.
 - DO NOT USE CA OR ACO TREATED LUMBER FOR WOOD BLOCKING.
- WHEN ALUMINUM SYSTEMS ARE IN DIRECT CONTACT WITH STEEL, USE NON-CORROSSIVE SHIMS BETWEEN THE ALUMINUM SYSTEM & THE STEEL, TYP.
- EXISTING SLIDING DOORS THAT ARE TO BE REMOVED SHALL BE REMOVED & TURNED OVER TO OWNER.

DOOR TYPES:
SCALE 1/4"=1'-0"



FRAME TYPES:
SCALE 1/4"=1'-0"



ALTERNATE BID #1:
REPLACE EXTERIOR DOORS AT BUILDING #12.
SEE CAMPUS PLAN FOR BUILDING LOCATION.

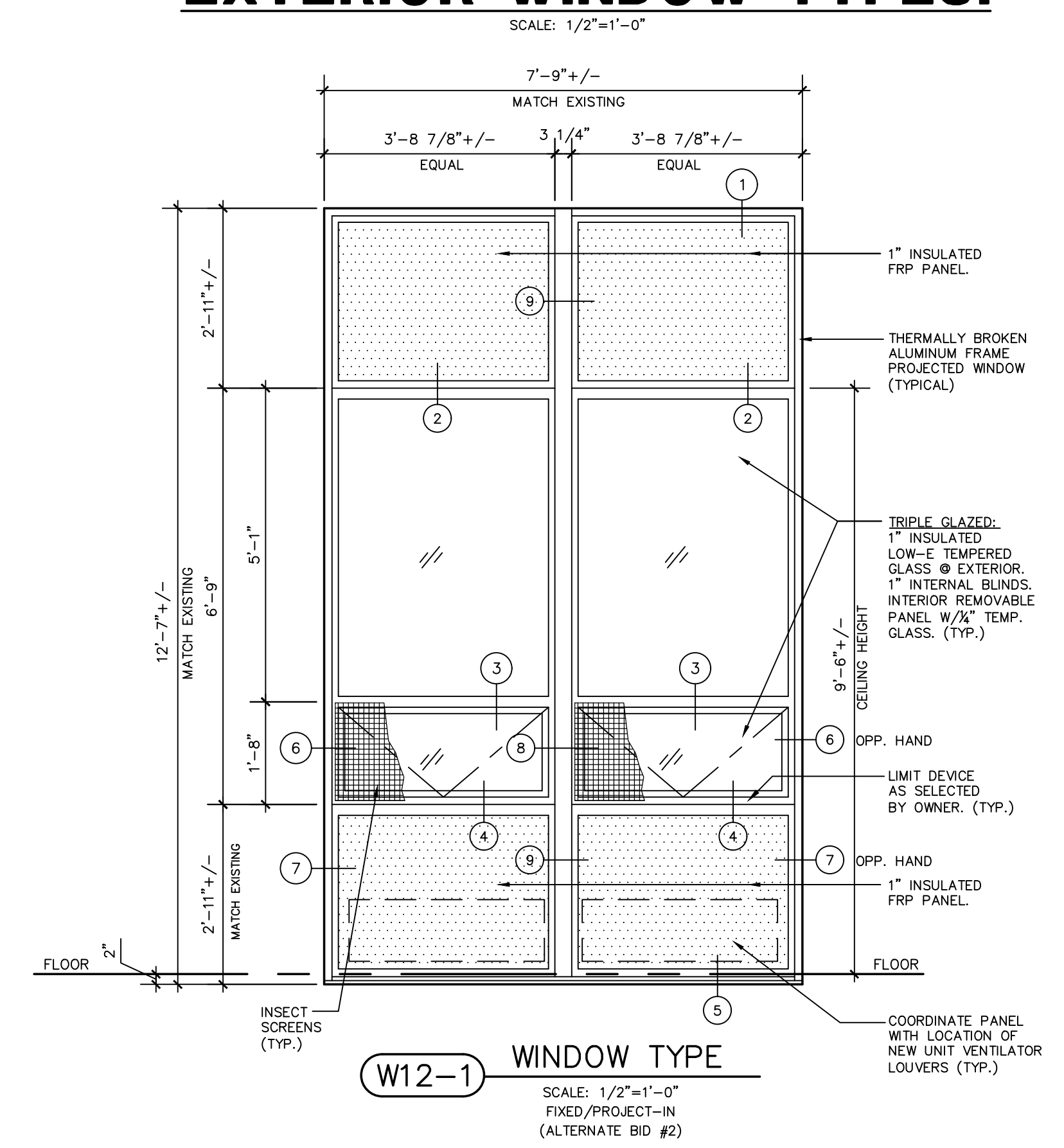
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REVISIONS
 a. _____
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 Project No. 20-37
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 Scale: AS NOTED
DOOR SCHEDULE AND DETAILS
 BLDG. 12 ALT. #1
A-4

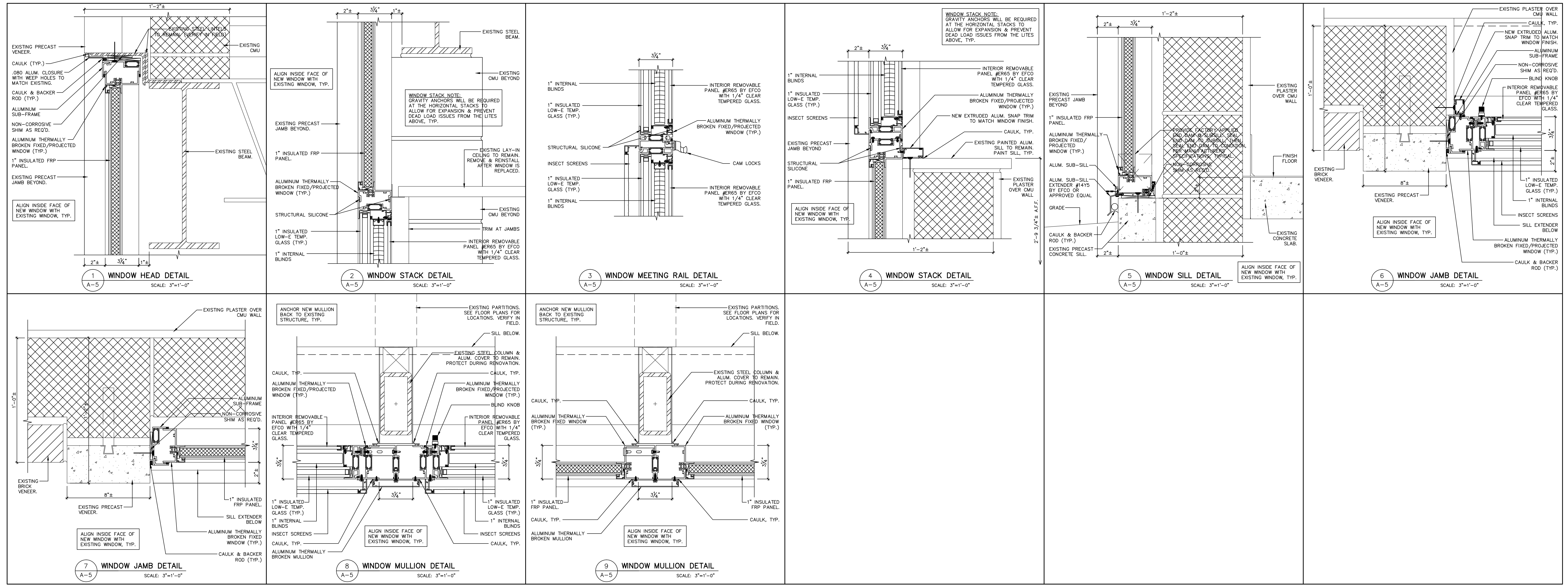
EXTERIOR WINDOW TYPES:

- ### GENERAL SCOPE OF WORK:
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 - INSTALL WINDOWS AND ACCESSORIES AS SPECIFIED AND INDICATED ON CONTRACT DOCUMENTS.
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- WINDOWS SHALL BE DESIGNED TO MEET IBC 2018 CODE REQUIREMENTS FOR WIND LOADS, SEE SPECIFICATIONS, CONTRACTOR TO SUBMIT SIGNED & SEALED, BY N.J. P.E., SHOP DRAWINGS, CALCULATIONS & FASTENING PATTERNS TYP.
 - CONTRACTOR SHALL VISIT THE SITE AND BUILDING TO DETERMINE ACTUAL CONDITIONS AND QUANTITIES OF MATERIALS AND EXISTING ITEMS. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO DETERMINE ACTUAL FIELD CONDITIONS.
 - CONTRACTOR SHALL VERIFY THE CONDITION OF ALL ITEMS WITHIN WORK AREA, AND NOTIFY OWNER OF ANY DAMAGE OR INOPERABLE ITEMS PRIOR TO COMMENCEMENT OR DEMOLITION AND/OR ALTERATION WORK.
 - ALL NOTES ON DETAILS REFER TO NEW MATERIALS UNLESS NOTED AS EXISTING.
 - CONTRACTOR SHALL REFURBISH OR REPLACE ANY DAMAGED OR DISTURBED ADJACENT SURFACES AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH OWNER.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS CREATED BY HIS WORK FROM THE SITE AT CONTRACTOR'S EXPENSE.
 - DIMENSIONS OR SCALES SHOWN AS PLUS OR MINUS (+/-) ARE FOR INFORMATIONAL PURPOSES AND SHALL NOT BE TAKEN AS EXACT. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS & QUANTITIES.
 - ALL TOILET ROOMS, LOCKER ROOMS OR PRIVATE AREAS SHALL HAVE OBTURATED GLAZING IN WINDOWS THAT FACE THE EXTERIOR, TYPICAL.
 - PROVIDE NINE (9) INCH HIGH AND (0.5) INCH STROKE WIDTH WHITE REFLECTIVE VINYL WINDOW SIGNAGE ON EVERY WINDOW INDICATING THE ROOM NUMBER. PLACE SIGNAGE AT THE TOP RIGHT SIDE OF EVERY WINDOW TYPE.
 - ALL CAULKING SHOULD BE SILICONE SEALANT. (SEE SPECIFICATIONS)
 - PROVIDE A LIMIT DEVICE FOR ALL OPERABLE WINDOWS. (COORDINATE WITH OWNER)
 - PROVIDE POLE-RING HARDWARE & POLES AT HIGH WINDOWS.
 - NEW PROJECT IN VENTS MUST OPEN TO FULLEST EXTENT. CONTRACTOR SHALL FIELD VERIFY ANY OBSTRUCTION THAT MAY CAUSE VENTS NOT TO FULLY OPEN & COMPENSATE FOR THE OBSTRUCTION WITH JAMB EXTENDERS. (TYPICAL)
 - IF NEW INTERIOR STOOLS ARE PROVIDED, CONTRACTOR MUST PROVIDE NEW WOOD BLOCKING FOR STOOLS TO BE SET UPON FOR PROPER ANCHORING & INSTALLATION.
 - EXISTING SLATE STOOLS THAT ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DUE TO REMOVAL OF EXISTING WINDOWS OR INSTALLATION OF NEW WINDOWS. ANY DAMAGED SLATE STOOLS SHALL BE REPLACED BY THE CONTRACTOR.
 - EXISTING SPLIT SYSTEM INDOOR AND OUTDOOR UNITS TO REMAIN. EXISTING WINDOW PANEL TO BE REMOVED AND REPLACED WITH NEW. EXISTING REFRIGERANT PIPE TO BE REMOVED AND REPLACED WITH NEW PIPE TO MATCH EXISTING PIPE SIZE AND INSULATION. PROVIDE NEW PIPE SLEEVE THRU PANEL TO BE SEALED WEATHER PROOF. DISCONNECT ELECTRIC POWER FOR SPLIT SYSTEM DURING CONSTRUCTION AND RE-CONNECT WHEN COMPLETE. BASE BID SHALL INCLUDE TWO (2) SPLIT SYSTEMS ON BUILDING 1 AND ONE (1) SPLIT SYSTEM ON BUILDING 5 TO BE REMOVED AND REINSTALLED.
 - ALL EXISTING EXPOSED STEEL LINTELS, BEAMS, COLUMNS, ETC. SHALL BE SCRAPPED, PRIME & PAINTED PER SPECIFICATIONS WITH BOTH INTERIOR & EXTERIOR OF WINDOW OPENING. IF STEEL LINTELS ARE RUSTED OR DAMAGED BEYOND REPAIR THEN THEY MUST BE REPLACED, TYP.



ALTERNATE BID #2:
REPLACE EXTERIOR WINDOWS AT BUILDING #12.
SEE CAMPUS PLAN FOR BUILDING LOCATION.



WINDOW AND EXTERIOR DOOR REPLACEMENT AT BUILDINGS #4 & #12 AT CAMDEN COUNTY TECHNICAL SCHOOLS, GLOUCESTER CAMPUS FOR THE CAMDEN COUNTY TECHNICAL SCHOOL BOARD OF EDUCATION
 343 BERLIN - CROSS KEYS ROAD
 SICKLERVILLE, NEW JERSEY 08081

REVISIONS	
a.	
b.	
c.	

Project No. 20-37
Date: 01-15-21
Scale: AS NOTED

WINDOW TYPES & DETAILS
BLDG. 12 ALT. #2

A-5

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.