

# RENOVATIONS of A-Wing Music Rooms and Offices at WINSLOW HIGH SCHOOL

10 Cooper Folly Road, Winslow Twp. Camden County, NJ 08004  
FOR THE Winslow Board of Education  
40 Cooper Folly Road, Atco, NJ 08004

SET ISSUE: 06/11/2021 Issued for Bid

## General Notes

- ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE-2018 NEW JERSEY EDITION AND ALL OTHER APPLICABLE CODES, ORDINANCES, ETC. FOR NEW JERSEY STATE AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES AND JOB SITE CONDITIONS INCLUDING SAFETY. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER TO PROTECT WORKMEN, OCCUPANTS AND THE PUBLIC FROM INJURY AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE BY USE OF SCAFFOLDING, UNDERPINNING OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATIONS IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, DEBRIS FREE CONDITION. THE DUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.
- CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS, APPROVALS, ETC. PRIOR TO COMMENCING WORK AND SHALL SECURE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OFF SITE IN AN APPROVED MANNER. THE OWNER SHALL BE CONSULTED PRIOR TO DISPOSAL OF ANY SALVAGED OR EXCESS MATERIALS AT THE COMPLETION OF THE PROJECT.
- UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS FOR THE USE OF THE EXISTING FACILITY.
- CONTRACTOR SHALL FURNISH ALL EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED DURING THE COURSE OF HIS WORK AND TO ENSURE THE OWNER'S FACILITY TO BE OPERATIONAL.
- THE CONTRACTOR SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND ADDRESS ALL QUESTIONS TO ARCHITECT PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING AND CLEANING UPON COMPLETION OF WORK.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
- THE CONTRACTOR SHALL SUBMIT, WHERE REQUIRED, SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE START OF FABRICATION OF THOSE ITEMS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT WITH CERTIFICATES OF INSURANCE PRIOR TO STARTING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING OF EXISTING STRUCTURES AS NEEDED TO COMPLETE THE NEW WORK.
- ALL MANUFACTURER'S MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE TO WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. WHERE BRAND NAMES AND MANUFACTURED PRODUCTS ARE CALLED FOR, APPROVED EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE SUBSTITUTED WITH WRITTEN PERMISSION OF THE ARCHITECT AND THE OWNER. WHENEVER BRAND NAMES OR SPECIFIC PRODUCT SYSTEMS ARE INDICATED IT SHALL BE CLEARLY UNDERSTOOD THAT SUCH IDENTIFICATION IS FOR THE PURPOSE OF ILLUSTRATING THE TYPE OF PRODUCT AND DEGREE OF QUALITY DESIRED. SUCH IDENTIFICATION IN NO WAY PRECLUDES THE CONTRACTOR FROM USING PRODUCTS OF OTHER MANUFACTURERS WHICH CAN BE SHOWN IN ADVANCE TO BE OF LIKE AND OF EQUAL QUALITY.
- ALL CHANGES SHALL BE REQUESTED IN WRITING AND MAY ONLY BE APPROVED IN WRITING BY THE ARCHITECT AND THE OWNER PRIOR TO ANY CHANGES BEING MADE.
- THE ARCHITECT HAS THE RIGHT TO REJECT ANY PORTION OF WORK THAT IS POORLY INSTALLED, DOES NOT MEET INDUSTRY STANDARD, UNAUTHORIZED, OR WORK DONE CONTRARY TO THE THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED, REPAIRED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD ONE YEAR AFTER RECEIVING FINAL ACCEPTANCE AND DO ALL REPAIR WORK AND REPLACEMENT AS NECESSARY DURING THAT PERIOD AT THE CONTRACTOR'S EXPENSE.
- IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SAFE AND SANITARY CONDITIONS WHERE DEMOLITION AND WRECKING OPERATIONS ARE BEING CARRIED ON. WORK SHALL BE EXECUTED IN SUCH A MANNER THAT HAZARD FROM FIRE, POSSIBILITY OF INJURY, DANGER TO HEALTH AND CONDITIONS WHICH MAY CONSTITUTE A PUBLIC NUISANCE SHALL BE MINIMIZED.
- MANUFACTURER SPECIFIC PRODUCTS IDENTIFIED WITHIN THE DOCUMENTS IDENTIFY THE BASIS OF DESIGN PRODUCT. ALL NAMED PRODUCTS ARE TO BE "BASIS OF DESIGN OR APPROVED EQUAL."

## Code Analysis

- Applicable Codes:**
  - International Building Code/2018 New Jersey Edition
  - ASHRAE 90.1-2016
  - International Mechanical Code/2018
  - National Electric Code/2017
  - National Standard Plumbing Code/2018
  - NJ DOE/Educational Facilities N.J.A.C. 6A-26
  - N.J.A.C. 5:23-6 Rehabilitation Sub Code
  - N.J.A.C. 5:23-7 Barrier Free Subcode and ICC-ANSI A117.1-2009
- Use Group/Occupancy:** IBC/2018 New Jersey Edition, Section 305.1: E-Educational
- Construction Classification:** IBC/2018 New Jersey Edition, Section 602
  - Existing School Building: Type IIB, Non-Combustible, 2 Story

## Area Map



## Location Map



## Abbreviations

A.F.F. ALUM.	ABOVE FINISHED FLOOR ALUMINUM
BLDG.	BUILDING
CLG. C. COL. CONC. CONT'D	CEILING CENTER LINE COLUMN CONCRETE CONTINUED
E.S. EQ. (E)	ELEMENTARY SCHOOL EQUAL EXISTING
F.E.C. F.R.P.	FIRE EXTINGUISHER CABINET FIBER REINFORCED PANEL
G.C. GYP.	GENERAL CONTRACTOR GYPSUM BOARD
HT. HM H.V.A.C.	HEIGHT HOLLOW METAL HEATING VENTILATING AIR CONDITIONING
MAX. M.O. MTL.	MAXIMUM MASONRY OPENING METAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
Q.C.	QUALITY CONTROL
PTD.	PAINTED
R.O.	ROUGH OPENING
S.F. S.S. S.T.	SQUARE FOOT (FEET) STAINLESS STEEL STEEL
TYP.	TYPICAL
U.O.N. U.N.O.	UNLESS OTHERWISE NOTED UNLESS NOTED OTHERWISE
V.C.B. VCT. V.I.F.	VINYL COVE BASE VINYL COMPOSITION TILE VERIFY IN FIELD
WD W/	WOOD WITH

## Symbol Legend

	EXISTING DOOR TO REMAIN
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED IN THEIR ENTIRETY
	NEW DOOR, REFER TO DOOR SCHEDULE FOR MORE INFORMATION
	ITEM TO BE REMOVED IN ITS ENTIRETY
	WALL, PORTION OF WALL OR ITEM TO REMAIN
	WALL OR PORTION OF WALL TO BE REMOVED IN ITS ENTIRETY
	DEMOLITION KEYNOTE
	CONSTRUCTION KEYNOTE
	FIRE EXTINGUISHER CABINET
	BREAK LINE
	ELEVATION CALLOUT
	SECTION CALLOUT
	REVISION CLOUD

## Drawing Index

SHT. NO.	DESCRIPTION
T0.01	COVER SHEET
A1.01	DEMOLITION PLAN
A2.01	PROPOSED PLAN
A2.02	INTERIOR ELEVATIONS

Certificates of Authorization	
Eng'y. Nos.	245427937500
Arch. Nos.	21AC00012400
Date	6/11/21
Checked	
Drawn	

RONALD W. SCHWENKE III, R.A.  
The REGISTERED ARCHITECT  
License No. 21A02051300

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2021-06-11  
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LAN ASSOCIATES

COVER SHEET  
RENOVATIONS of  
A-WING MUSIC ROOMS & OFFICES at  
WINSLOW TOWNSHIP HIGH SCHOOL  
10 COOPER FOLLY RD, ATCO, CAMDEN COUNTY, NJ

Job No. 2.20348.05

File No. ---

T0.01



Drawing: dwp, Model: 3/4/2016 3:44:37 PM, Taylor/Thomas

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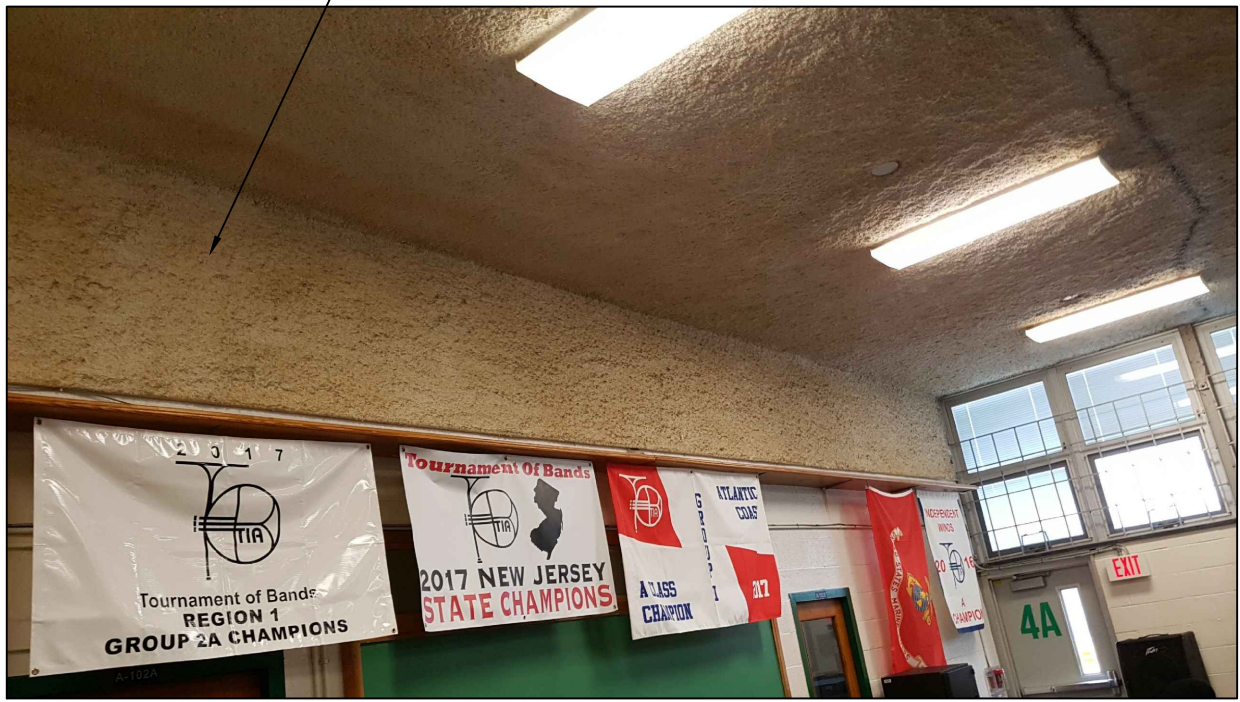
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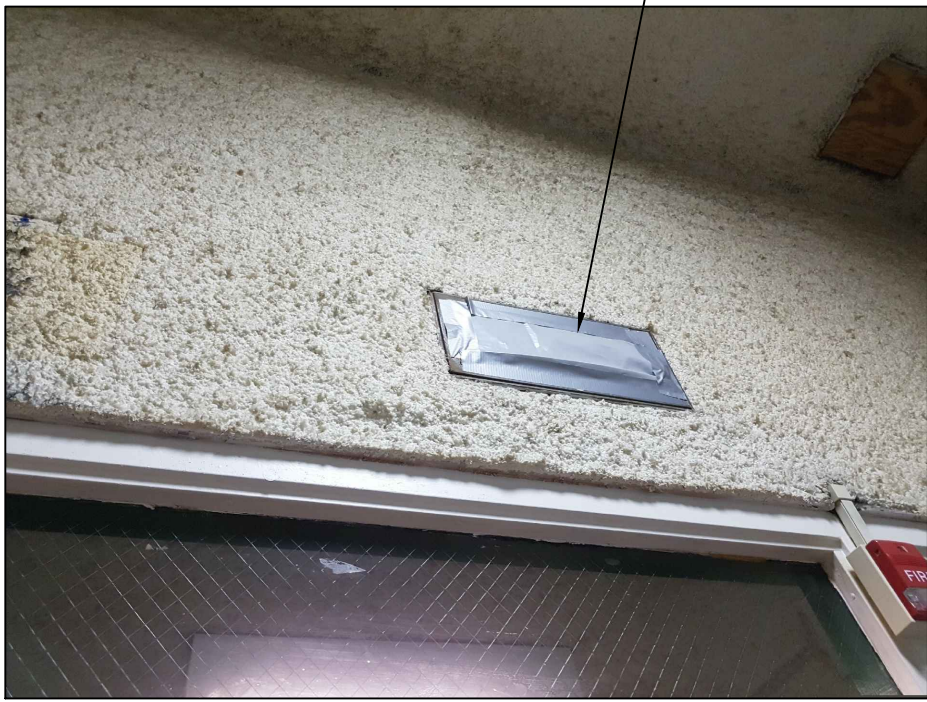
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MUSIC ROOM A-102



OFFICE A-102E



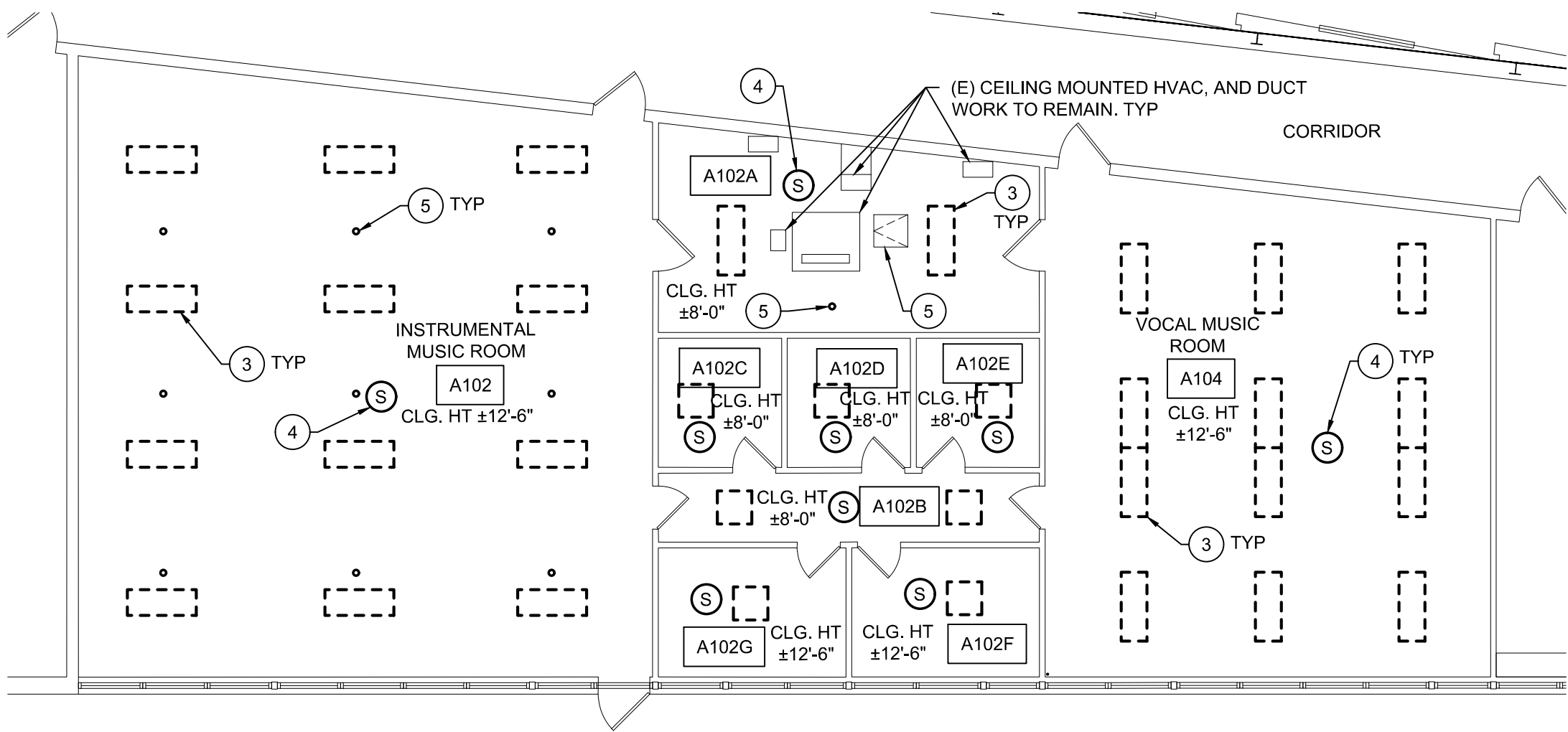
OFFICE A-102F



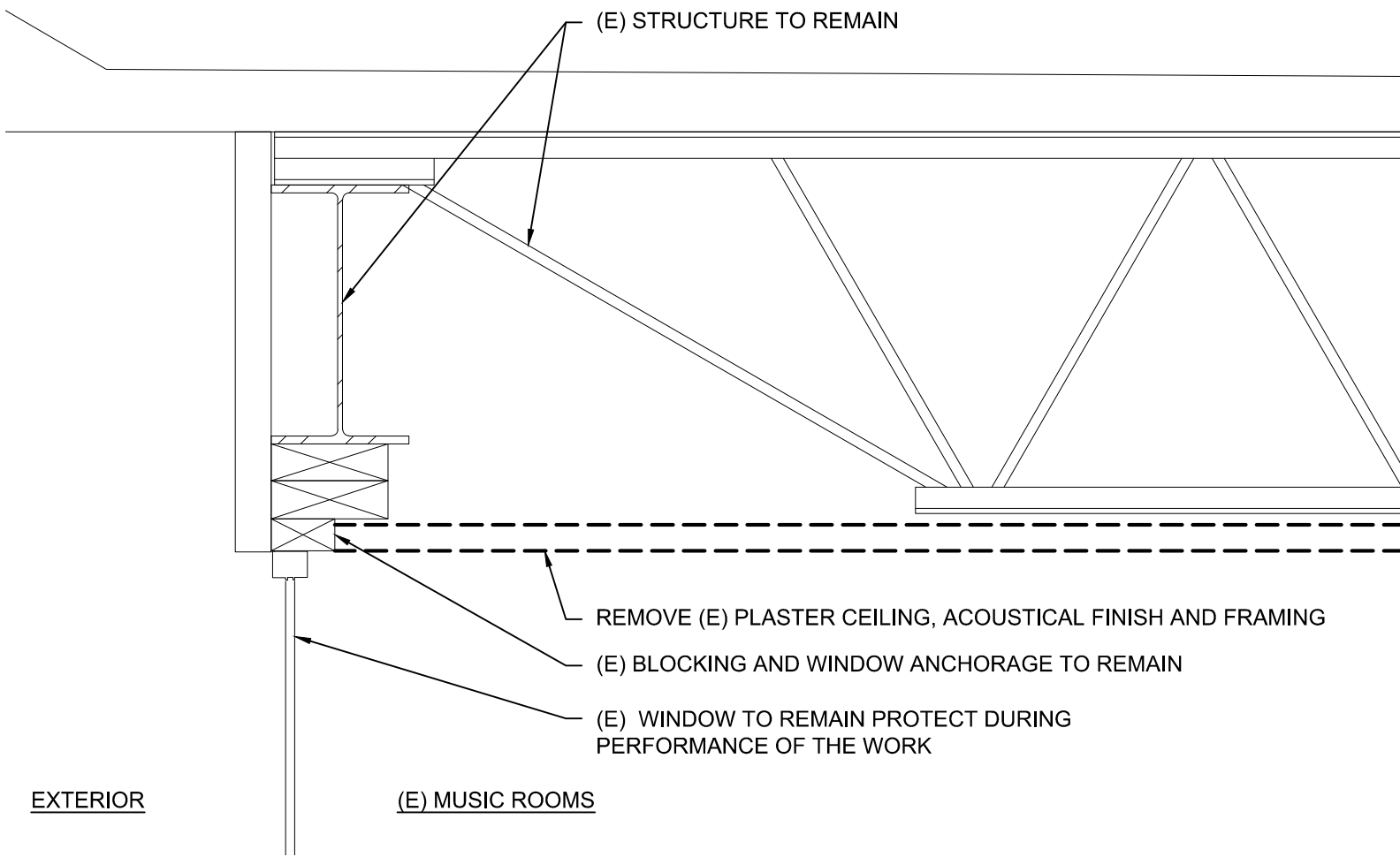
MUSIC ROOM A-102

## TYPICAL ROOM CONDITIONS

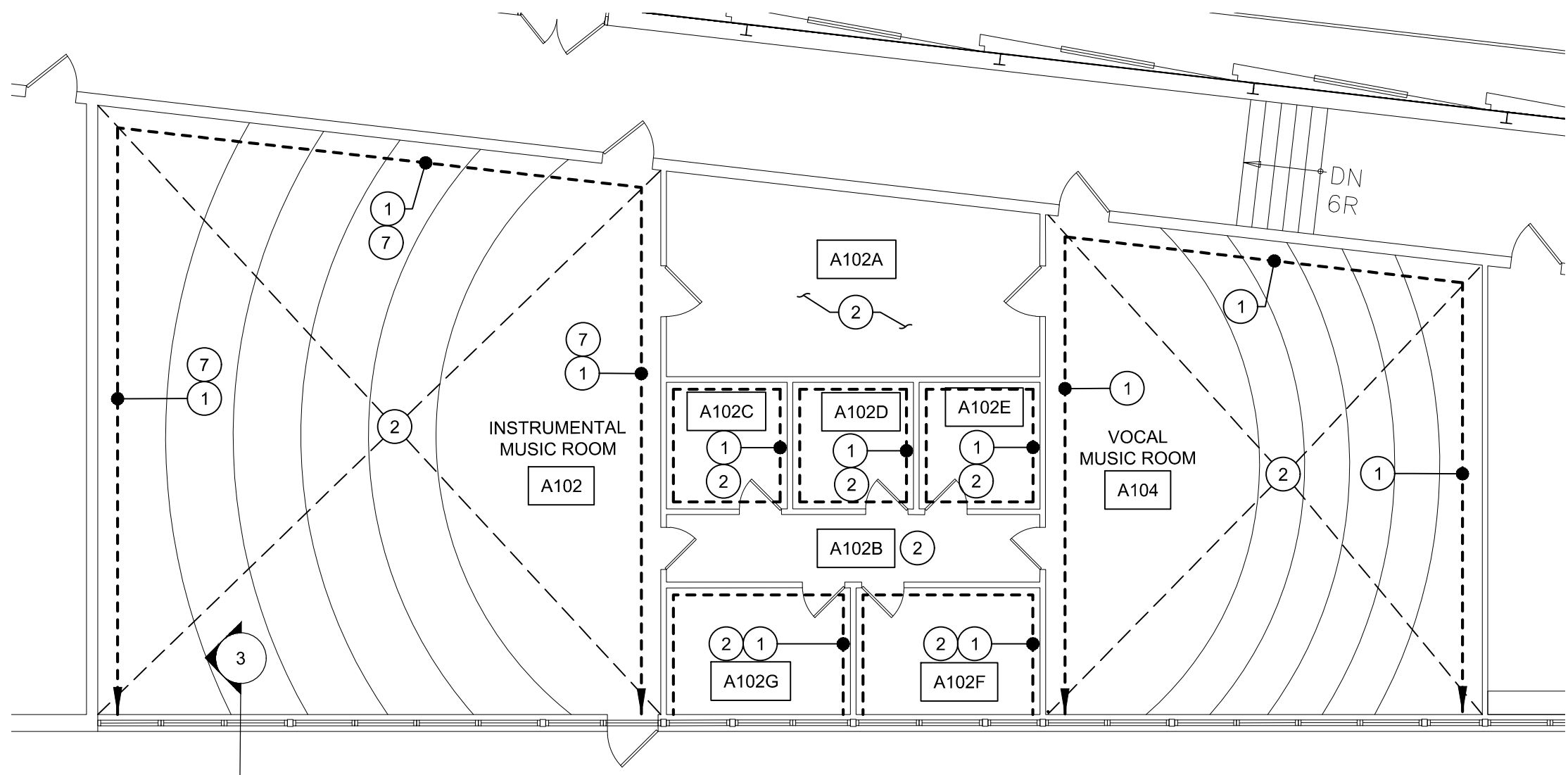
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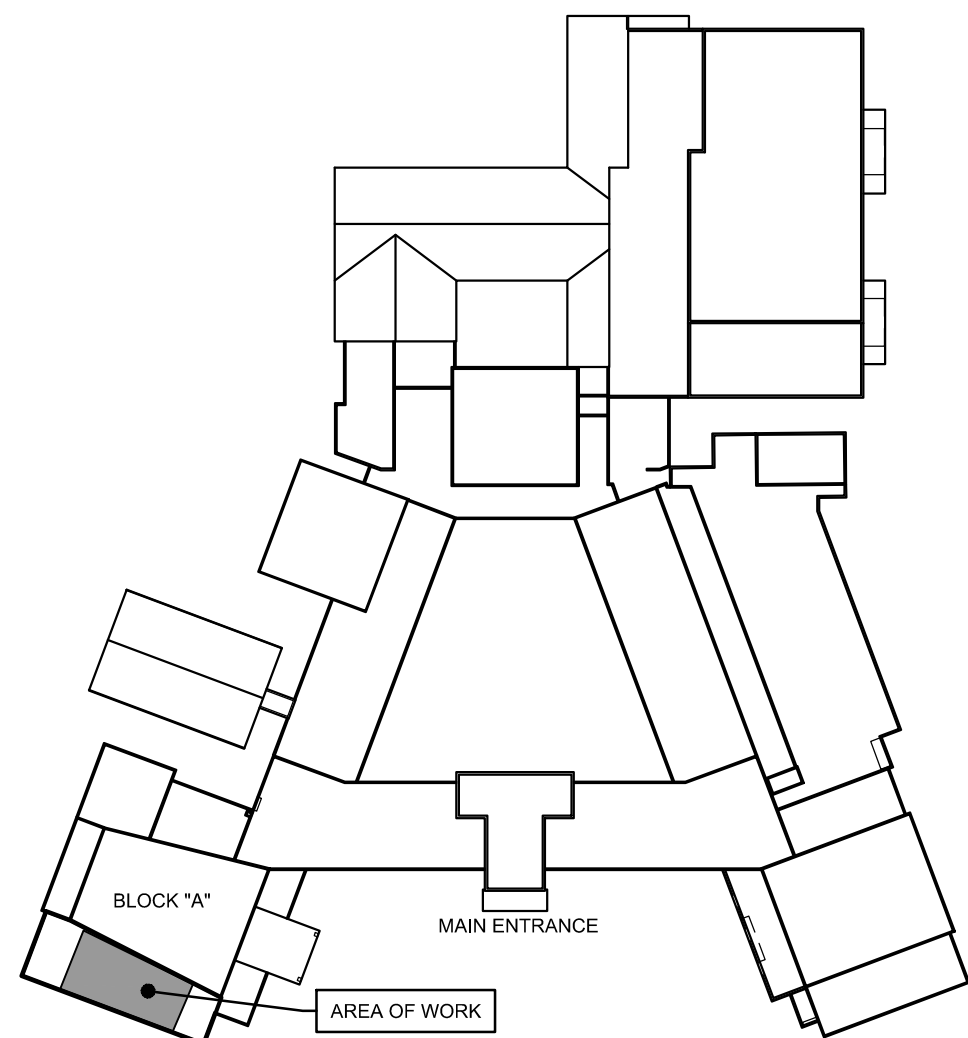
2 EXISTING REFLECTED CEILING PLAN  
1/8"=1'-0"



3 DETAIL AT WINDOWS  
1-1/2"=1'-0"



1 PARTIAL A-WING FLOOR PLAN  
1/8"=1'-0"



## KEY PLAN

N.T.S.

- DEMOLITION ANNOTATIONS: (X)
- REMOVE SOUND PROOFING FROM MASONRY WALLS, CLEAN AND PREP WALL SURFACE TO ACCEPT NEW PAINTED FINISH.
  - REMOVE EXISTING PLASTER CEILING, ACOUSTICAL FINISH AND BLACK IRON SUPPORT FRAMING.
  - REMOVE EXISTING LIGHT FIXTURES. SAFE OFF CIRCUITS OF EXISTING LIGHT FIXTURES. RETURN LIGHT FIXTURES TO OWNER FOR SALVAGE OR DISPOSE OF LEGALLY, PER OWNERS DIRECTION.
  - REMOVE AND SAFELY STORE ALL SMOKE DETECTORS, THEY ARE TO BE REINSTALLED ON NEW CEILING.
  - CONTRACTOR TO FIELD VERIFY (E) JUNCTION BOXES AND NOTIFY ARCHITECT UPON DETERMINATION.
  - REMOVE ACCESS DOOR
  - REMOVE WOOD SHELVING AND RETURN TO OWNER

- GENERAL NOTES:
- EXISTING FLOORING AND BASE TO REMAIN. CONTRACTOR TP PROVIDE TEMPORARY PROTECTION OF ALL FINISHES, FURNITURE AND EQUIPMENT DURING PERFORMANCE OF WORK
  - AFTER REMOVING SOUND PROOFING ON WALLS, PATCH WITH COLD FORMED METAL AND 5/8" GWB. SET GWB FLUSH WITH CMU FACE, ANY VOIDS IN WALL. PREP TO RECEIVE NEW PAINTED FINISH.

Certificates of Authorization	
Eng'r. No.	240247937500
Arch. No.	21A020012400
Date	6/11/21
Checked	RWS
Drawn	DB

RONALD W. SCHWENKE III, R.A.

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LAN ASSOCIATES

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1018 LAUREL OAK ROAD, SUITE 11, VORDHEES, N.J. 08043 (856) 375-2701

DEMOLITION PLAN

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A-WING MUSIC ROOMS & OFFICES at  
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File No. 2034805A2.01

A1.01



Drawing: dep. Model: 3/4/2016 3:44:37 PM: Taylor, Thomas

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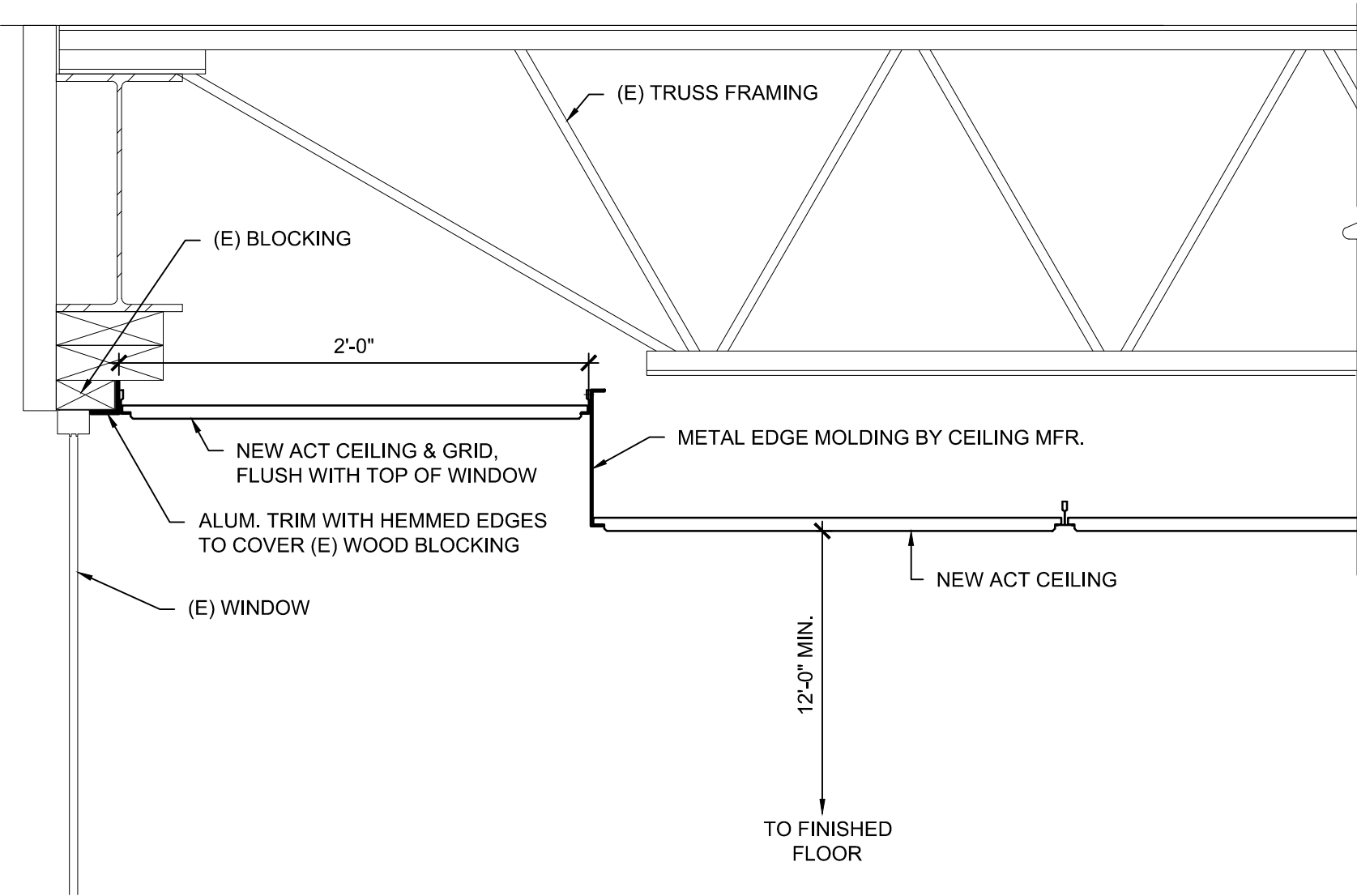
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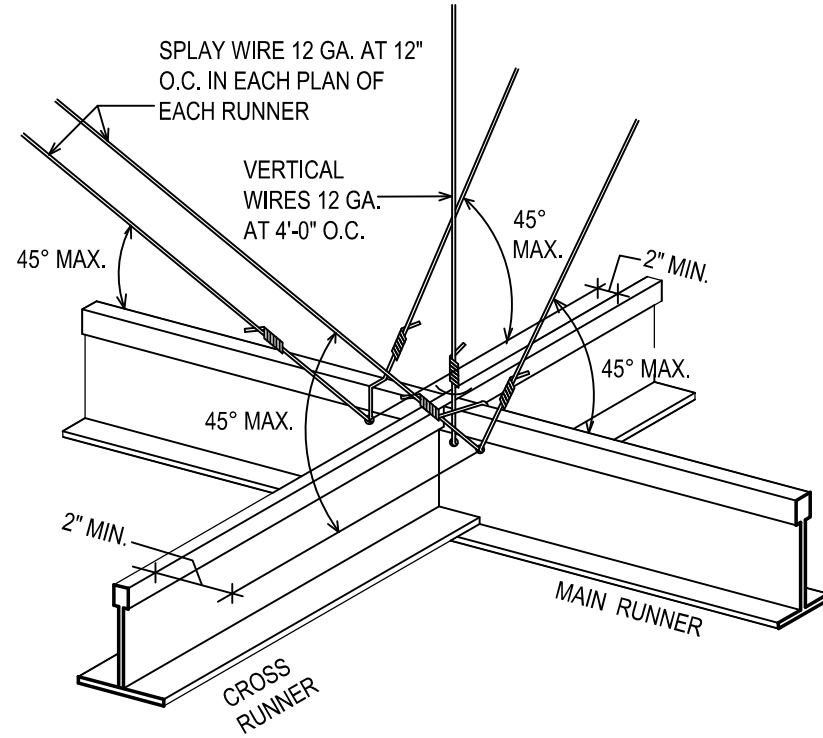
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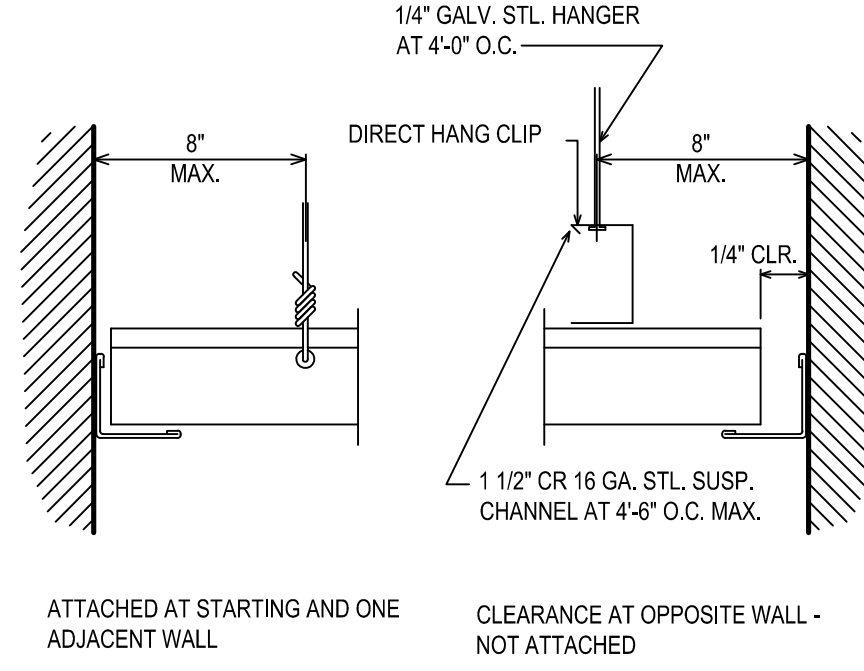
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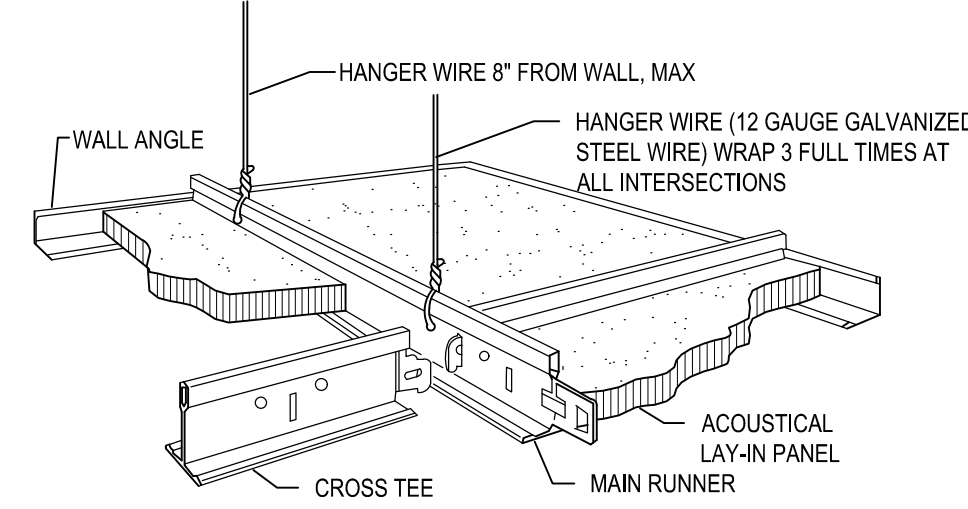
3 SECTION AT WINDOW WALL  
1-1/2"=1'-0"



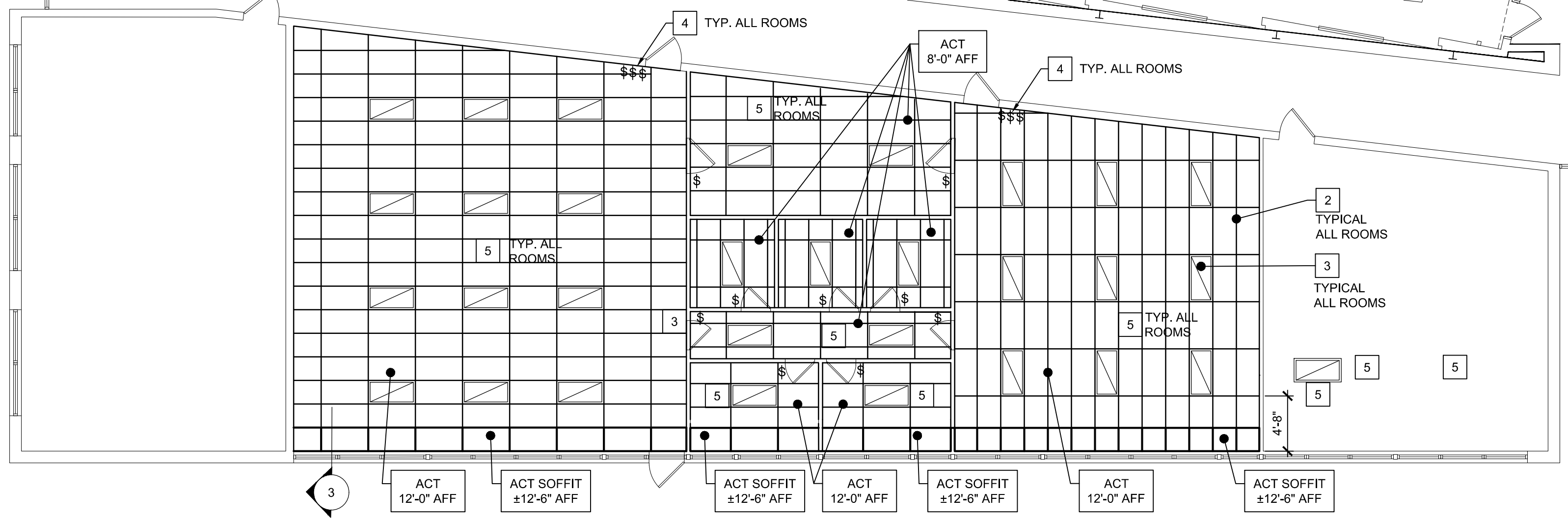
TYPICAL SUSP. CEILING DETAIL



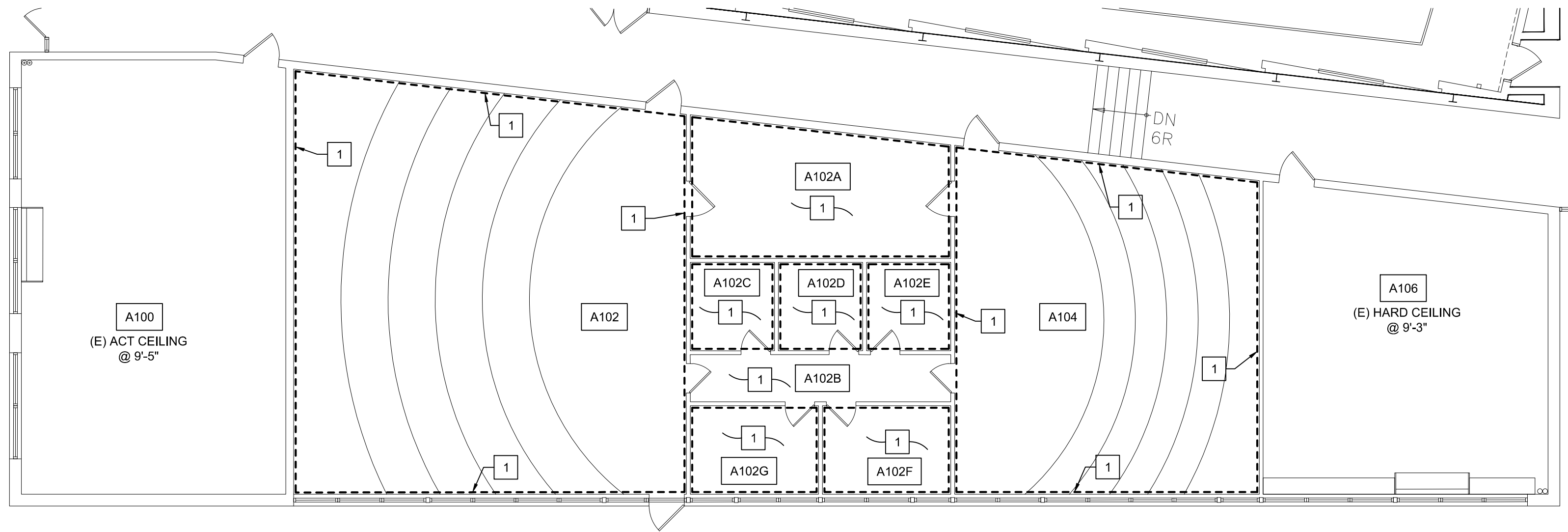
TYPICAL CEILING MOULDING DETAIL



TYPICAL SUSP. CEILING DETAIL



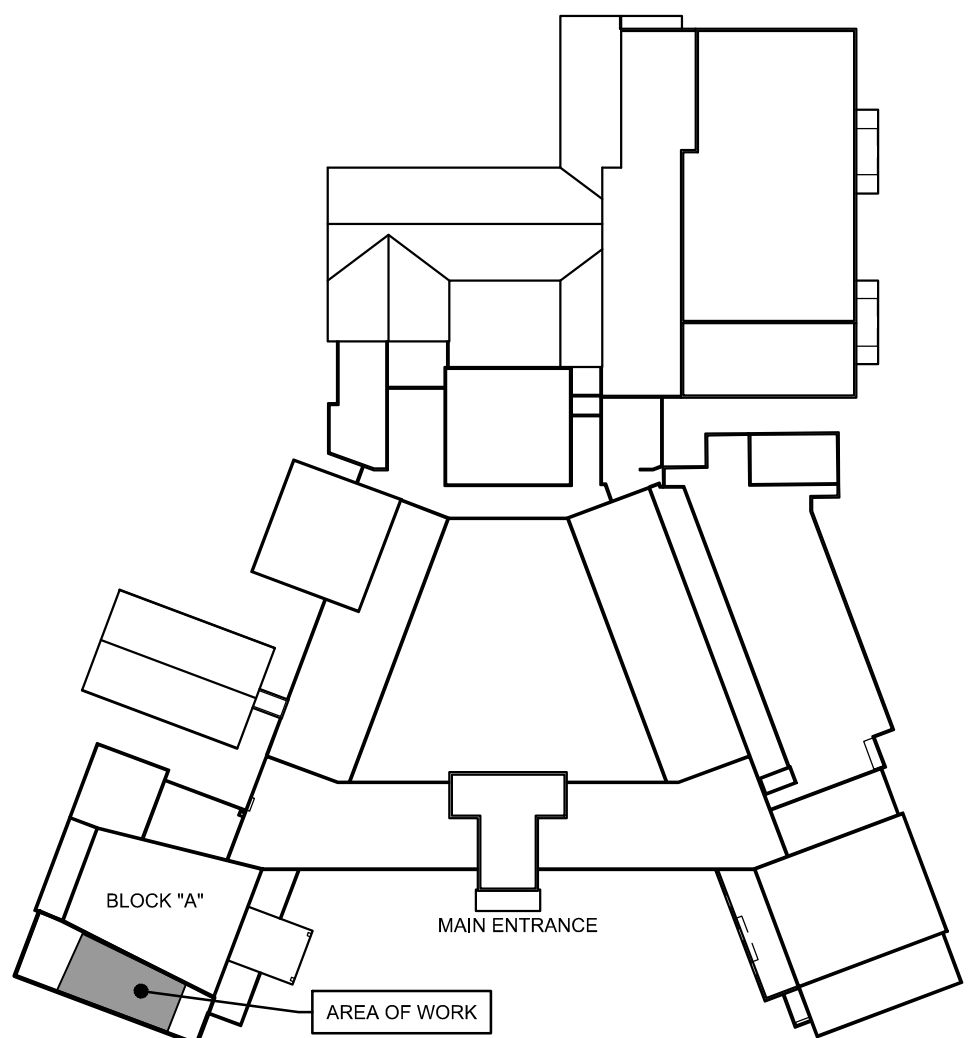
2 PARTIAL A-WING REFLECTED CEILING PLAN  
1/8"=1'-0"



1 PARTIAL A-WING FLOOR PLAN  
1/8"=1'-0"

- NEW WORK ANNOTATIONS: X
- PREP AND PAINT WALL WITH AN EPOXY PAINT AND PRIMER. PROVIDE: 2 COATS PAINT. PAINT WALL FULL HEIGHT TO 6" ABOVE ACT CEILING AND FULL WIDTH. PAINT ALL CONDUITS ANCHORED TO WALL. DO NOT PAINT FACE PLATES, SWITCH COVERS, HVAC COVERS AND UNIT VENTS.
  - PROVIDE NEW ACOUSTICAL 2' x 4' CEILING WITH COMMERCIAL / UNIVERSAL HOLD DOWN CLIPS.
  - PROVE 2x 4' LED DROP IN LIGHT FIXTURES, CONNECT TO EXISTING CIRCUITS AND SWITCHES. BASIS OF DESIGN: LITHONIA CPZ LED PANEL OR APPROVED EQUAL.
  - PROVIDE NEW LIGHT SWITCHES TO REPLACE EXISTING. VERIFY LOCATION ON SITE.
  - REINSTALL (E) SURFACE MOUNTED DEVICES. TEST ALL AFFECTED AND RELOCATED DEVICES FOR SYSTEM OPERATIONS AND INTEGRITY

- PROJECT SCOPE NOTES:
- FRAME CEILING AROUND ALL EXISTING DUCTWORK AND UNITS TO REMAIN.
  - PREP ALL WALL SURFACES TO RECEIVE NEW PAINTED FINISHES.
  - NEW LIGHT FIXTURES TO BE CONNECTED TO EXISTING LIGHTING WIRES / CIRCUITING WHICH CURRENTLY SERVES EACH ROOM SERVING THE ROOM.



KEY PLAN  
N.T.S.

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A2.01

Drawing: dwp, Model: 3/4/2016, 3:44:37 PM, Doyle/Thomas

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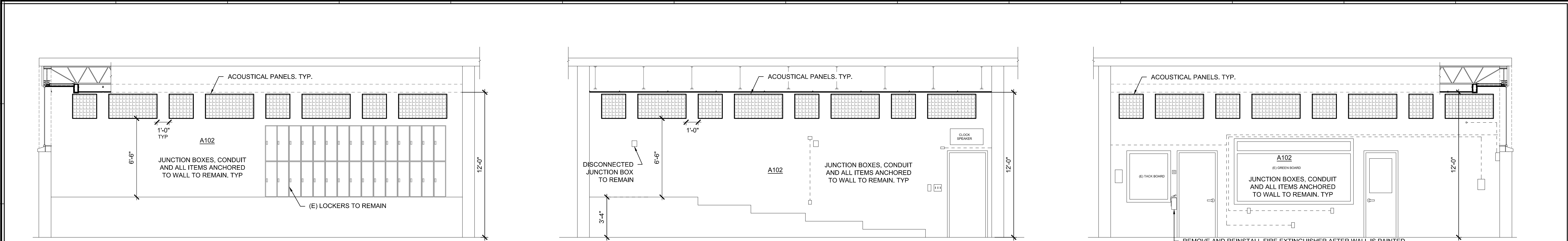
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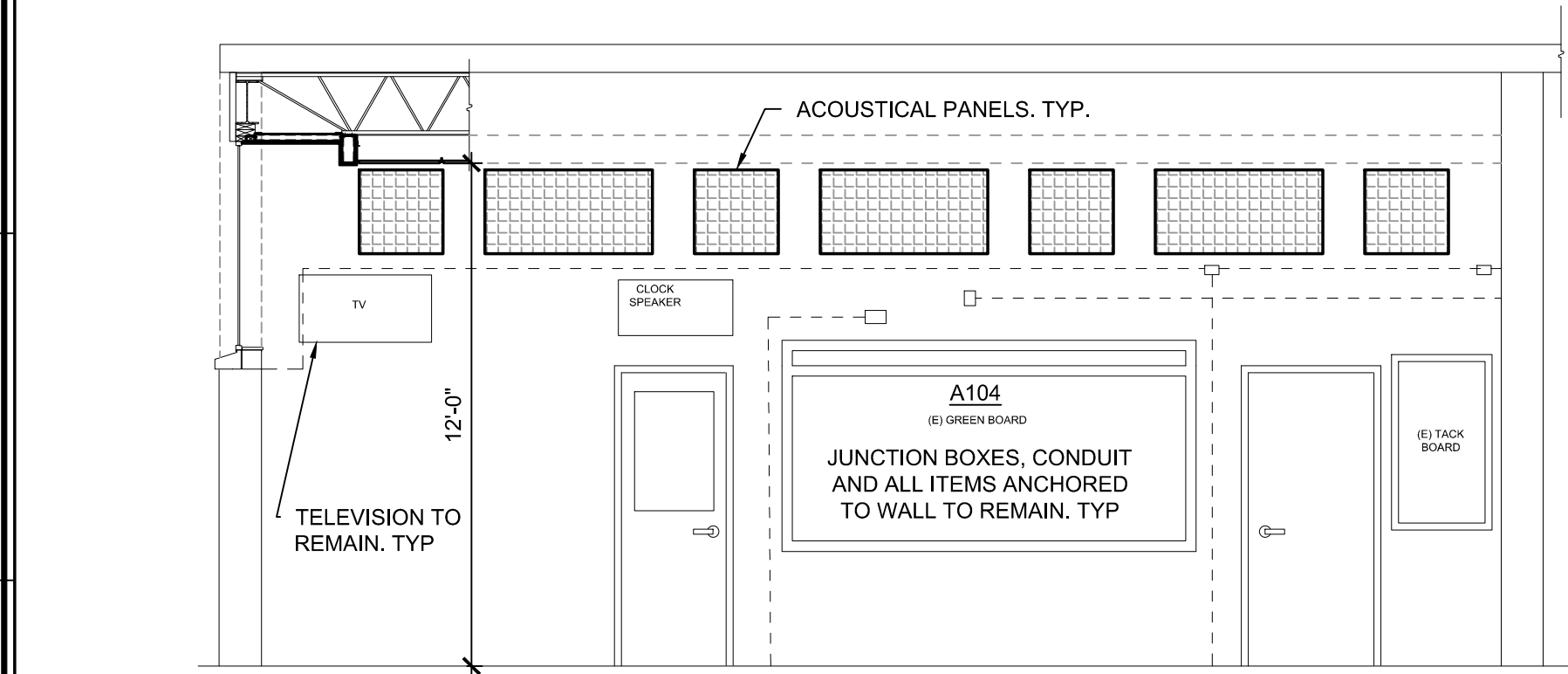
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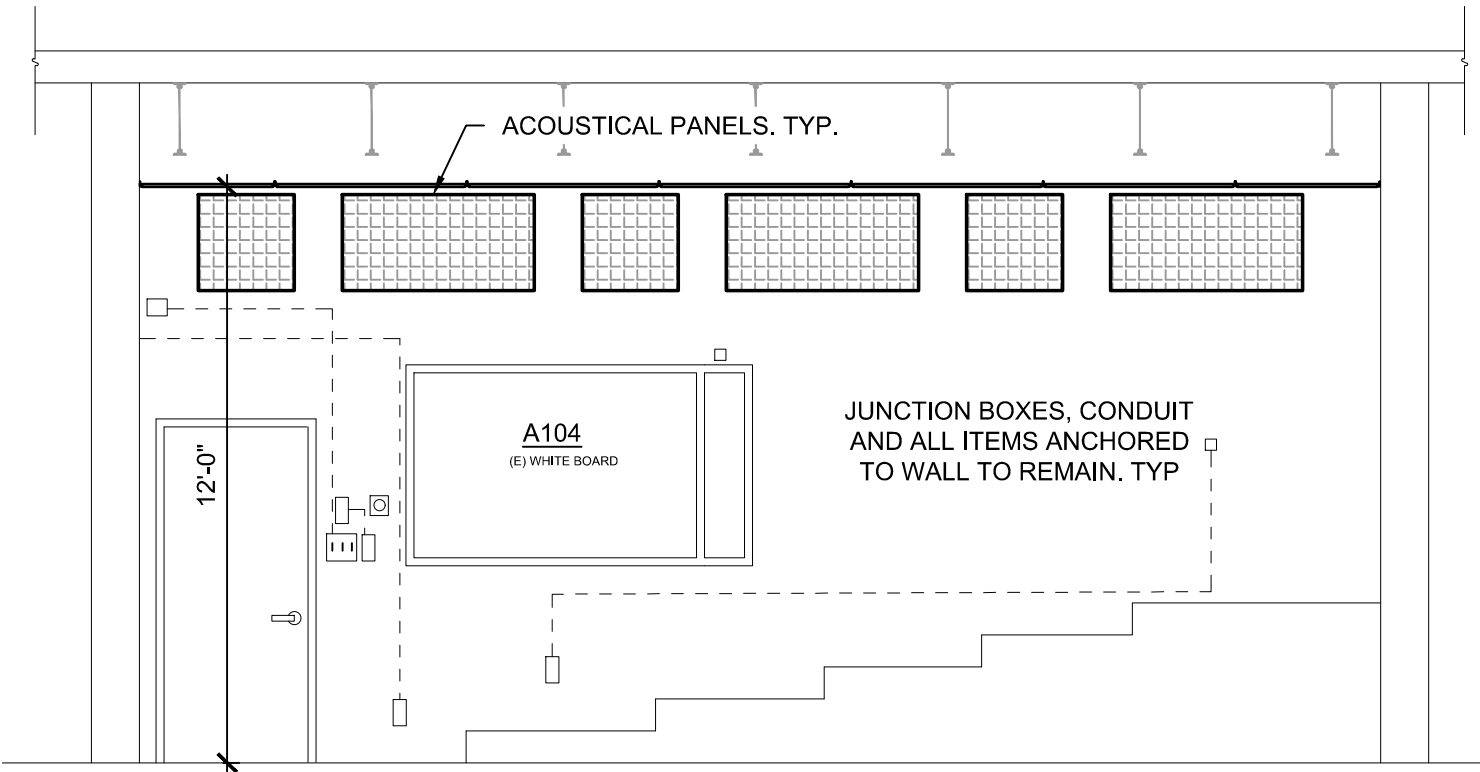
1 INTERIOR ELEVATION- ROOM A102  
1/4"=1'-0"

2 INTERIOR ELEVATION- ROOM A102  
1/4"=1'-0"

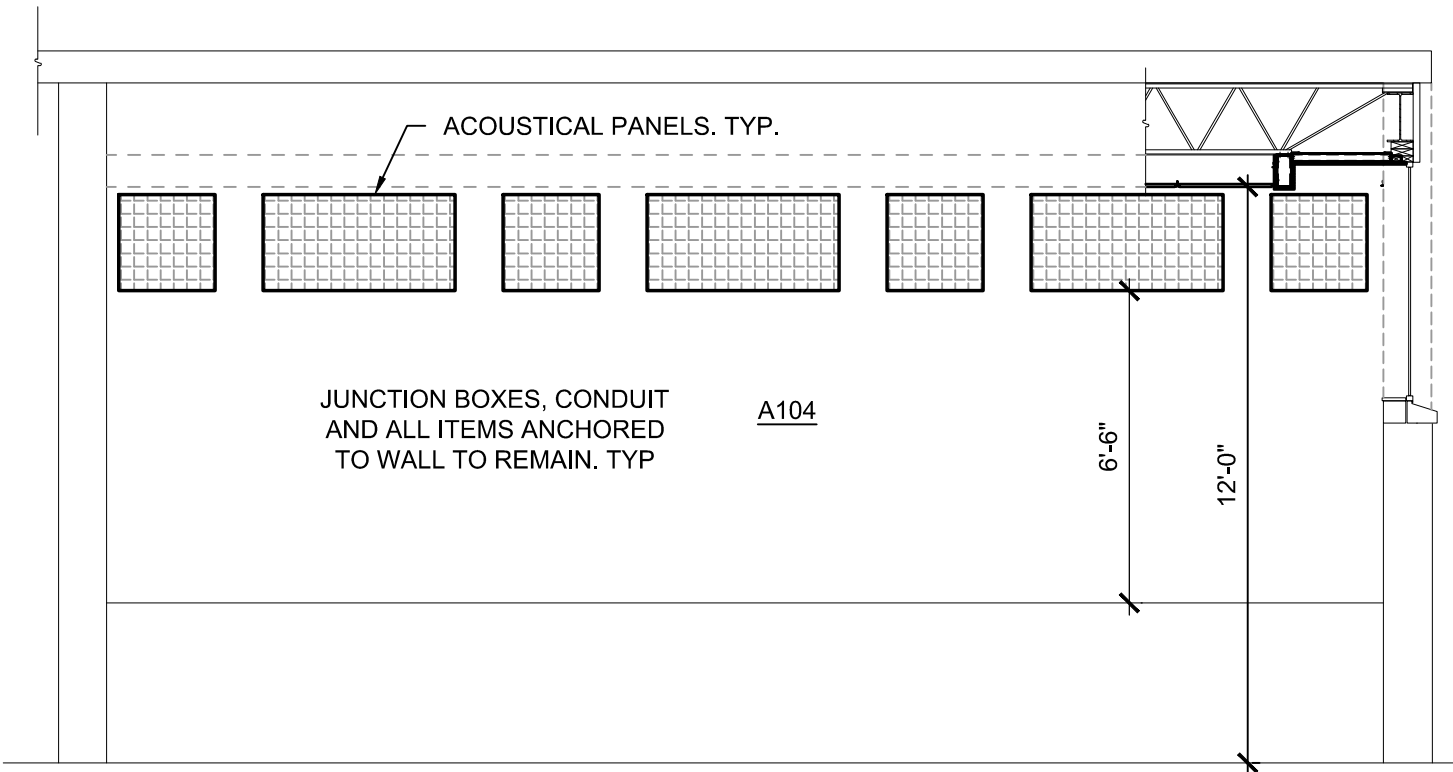
3 INTERIOR ELEVATION- ROOM A102  
1/4"=1'-0"



4 INTERIOR ELEVATION- ROOM A104  
1/4"=1'-0"



5 INTERIOR ELEVATION- ROOM A104  
1/4"=1'-0"



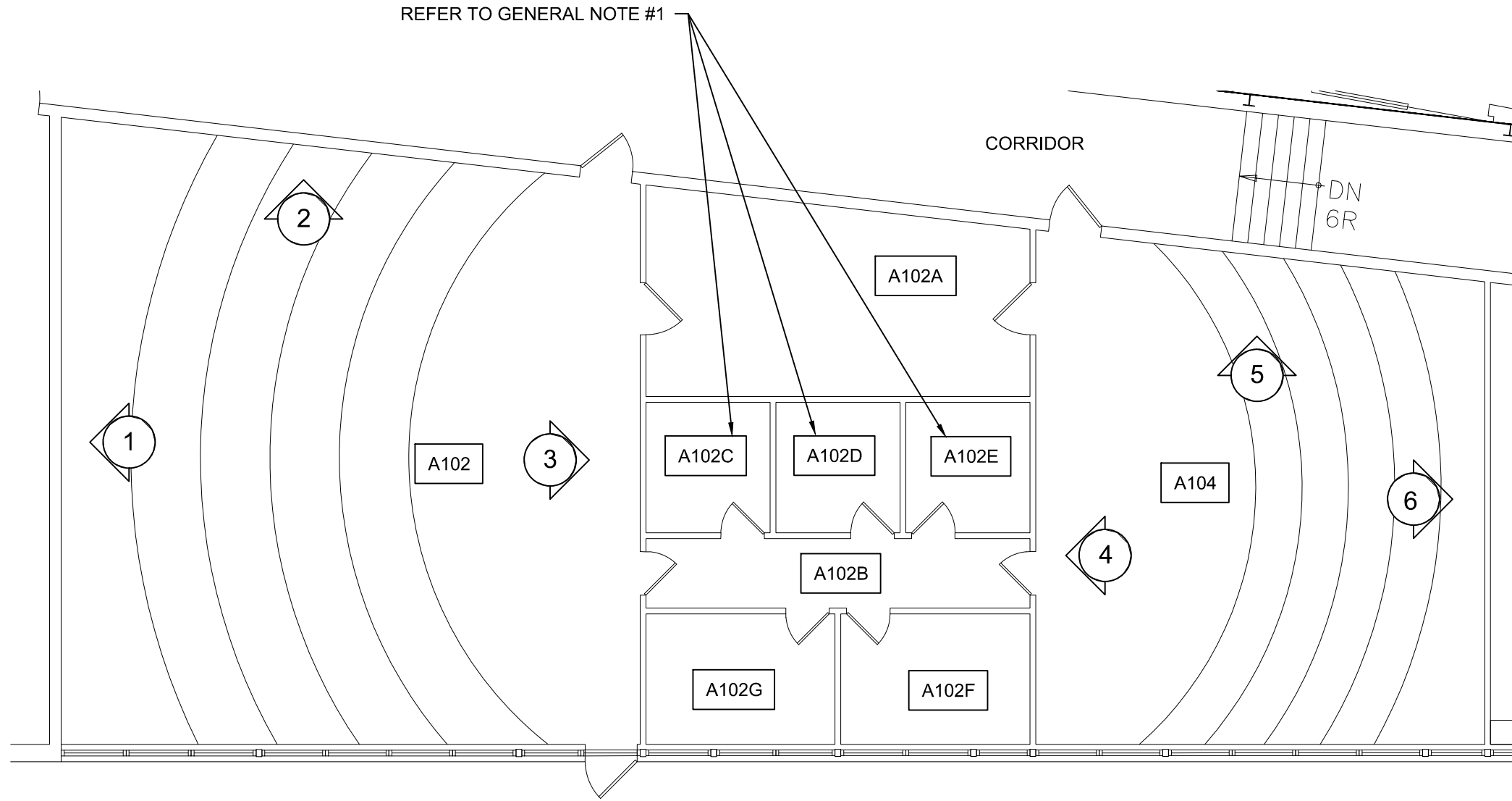
6 INTERIOR ELEVATION- ROOM A104  
1/4"=1'-0"

GENERAL NOTES:

- FOR PRACTICE ROOMS A102C, 102D & 102E: PROVIDE 9 EA 2' x 2' ACOUSTICAL WALL PANELS FOR EACH ROOM
- CONDUITS AND WALL MOUNTED ITEMS ARE INFORMATIONAL ONLY, MAY NOT INCLUDE ALL ITEMS FOUND ON WALLS.

ACOUSTICAL SOUND PANEL LEGEND:

- = 2' x 2', COLOR #1
- = 2' x 4', COLOR #2



KEY PLAN

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