

BUILDING RENOVATION:

101 VERA KING FARRIS DR.
ATLANTIC COUNTY

GALLOWAY
NEW JERSEY

PLAN REVIEW DATA

APPLICABLE CODES AND STANDARDS

UNIFORM CONSTRUCTION CODE STATE OF NEW JERSEY, LATEST EDITION AND ALL OF ITS SUBCODES AND AMENDMENTS (N.J. REHAB SUB CODE, SUBCHAPTER 6)
NEW JERSEY REHABILITATION SUBCODE 5:23-6
INTERNATIONAL BUILDING CODE / 2018 (NEW JERSEY EDITION)
INTERNATIONAL RESIDENTIAL CODE / 2018 (NEW JERSEY EDITION)
INTERNATIONAL MECHANICAL CODE / 2018
INTERNATIONAL FUEL GAS CODE / 2018
ASHRAE 90.1 - 2018 (COMMERCIAL)
INTERNATIONAL ENERGY CONSERVATION CODE / 2018 (NEW JERSEY EDITION) (RESIDENTIAL)
NATIONAL STANDARD PLUMBING CODE / 2018
NATIONAL ELECTRIC CODE / 2017
ANSI A171-2009
WFCM (WOOD FRAMED CONSTRUCTION) HIGH WIND AREAS FOR ONE & TWO FAMILY DWELLINGS

OCCUPANCY CLASSIFICATION

USE GROUP B - EXISTING - NO CHANGE
OCCUPANT LOAD EXISTING - NO CHANGE

CONSTRUCTION CLASSIFICATION

PER TABLE (804.3 & 804.4) SECTION (806.2)
TYPE 2B - EXISTING - NO CHANGE
ALLOWANCE AREA 60,000 SQ. FT. - EXISTING - NO CHANGE
ALLOWANCE HEIGHT 75'-0" / 3 STORIES - EXISTING - NO CHANGE

BUILDING ELEMENT

FIRE RESISTANCE RATINGS

PER TABLE (601) SECTION (602)
• STRUCTURAL FRAME (a)
(INCLUDING COLUMNS, GIRDERS, TRUSSES) 0 HOURS
• BEARING WALLS
EXTERIOR (f)
INTERIOR 0 HOURS
• NON BEARING WALLS & PARTITIONS (TABLE 602)
EXTERIOR 0 HOURS
INTERIOR (e) 0 HOURS
• FLOOR CONSTRUCTION
(INCLUDING SUPPORTING BEAMS AND JOISTS) 0 HOURS
• ROOF CONSTRUCTION
(INCLUDING SUPPORTING BEAMS AND JOISTS) 0 HOURS
• FIRE WALLS (706.4) 3 HOURS
• FIRE BARRIERS (707.3.10) 2 HOURS
• FIRE PARTITIONS (708.3) 1 HOUR
• SHAFTS (713.4) 1 HOUR
• EXIT ACCESS CORRIDORS (1020.1) 0 HOUR

EXISTING - NO CHANGE

BUILDING CHARACTERISTICS

NUMBER OF STORIES EXISTING - NO CHANGE
HEIGHT OF STRUCTURE EXISTING - NO CHANGE
AREA OF RENOVATION +/- 1,830 SQ. FT.
BUILDING VOLUME +/- 18,300 C.F.

BUILDING DESIGN LOADS

PER CHAPTER 16
FLOORS 100 PSF LL (CORRIDORS)
50 PSF LL (OFFICES)
ROOF 20 PSF LL MIN
GROUND SNOW LOADS 30 PSF
BASIC WIND SPEED 130 MPH

EXISTING
NO CHANGE

AUTOMATIC SPRINKLER SYSTEMS

PER SECTION 903
THIS AREA OF WORK IS EQUIPPED WITH AN EXISTING AUTOMATIC SPRINKLER SYSTEM.
THE EXISTING SYSTEM IS TO BE MODIFIED AS REQUIRED TO SUIT NEW LAYOUT. (MINIMAL CHANGES)
EXISTING SYSTEM WILL REMAIN OPERATIONAL DURING CONSTRUCTION.

INTERIOR FINISH NOTES

INT. FINISHES SHALL COMPLY W/ SECTION (803.11) & SHALL HAVE A FLAME SPREAD RATING AS OUTLINED BELOW:

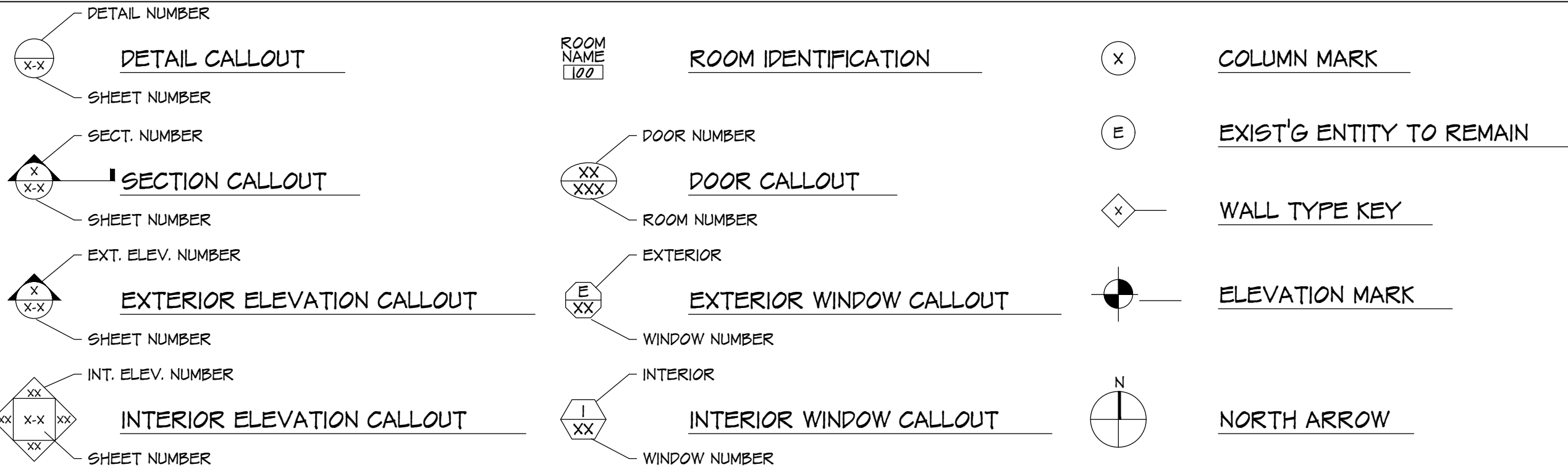
B REQ'D VERT. EXITS AND PASSAGEWAYS
EXIT ACCESS CORRIDORS
ROOMS AND ENCLOSED SPACES
ALL INTERIOR FINISHES AT BATHROOMS
SHALL BE MOISTURE RESISTANT & WASHABLE
B FLAME SPREAD 0-25
C FLAME SPREAD 26-75
C FLAME SPREAD 76-200
SMOKE DEVELOPES 0-450
SMOKE DEVELOPES 0-450
SMOKE DEVELOPES 0-450

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR ACOUSTICAL CEILING TILE AIR CONDITIONING ALTERNATE ALUMINUM APPROVED AT	A.F.F. A.C.T. A/C ALT. ALUM. APPROV. @	FIRE EXTINGUISHER FLOOR FLOOR DRAIN FLOOR SINK FLUORESCENT FOOTING FURN FURNISH FURNISH	F.E. FL./FLR. F.D. F.S. FLUOR. FTG. FURN. FURR.	MASONRY MASONRY OPENING MAXIMUM MECHANICAL MEMBRANE MINIMUM/MINUTE MISCELLANEOUS	M.S. M.O. MAX. MECH. MEMB. MIN. MISC.	SAFETY SCHEDULE SECTION SOLID CORE SHEET SIMILAR SPECIFICATIONS SQUARE SQUARE FOOT STAINLESS STEEL STEEL STORAGE STORAGE CLOSET	SFTY. SCHED. SECT. S.C. SHT. SIM. SPEC. SQ. S.F. S.S. STL. STOR. ST. CL.
BLOCK BLOCKING BOARD BUILDING	BLK. BLKG. BD. BLDG.	GAUGE GALVANIZED GENERAL GENERATOR GENERAL CONTRACTOR(OR) GLASS, GLAZING GRADE GYPSUM WALLBOARD GROUND FAULT INTERRUPTER	GA. GALV. GEN. G.G. GL. GR. G.W.B./GYF. BD. G.F.I.	NORTH NOMINAL NOT IN CONTRACT NOT TO SCALE NUMBER	N NOM. N.I.C. N.T.S. NO.	TOTAL LOAD TOP OF DECK TOP OF FOOTING TOP OF MASONRY TOP OF PIER TOP OF SLAB TOP OF STEEL TOP OF WALL TYPICAL TREAD	TL T.O.D. T.O.F. T.O.M. T.O.P. T.O.S. T.O.STL. T.O.W. TYP.
CARPET CEILING CENTERLINE CERAMIC CERAMIC TILE COATS COLD WATER COLUMN CONCRETE CONCRETE MASONRY UNIT CONTINUOUS/CONTINUE CONTRACTOR CONTROL JOINT CLEAN OUT	CPT. CLG. C CER. C.T. C.TS. C.W. COL. CONC. CONC. CONT. CONTR. CONTR. C.J. C.O.	HARDWARE HARDWOOD HEATING/VENTILATING/AIR CONDITIONING HEIGHT HIGH POINT HOLLOW CORE HOLLOW METAL HOLLOW METAL FRAME HOSE BIB HOT WATER HOUR	HDW./HDW'R. HWP. H.V.A.C. H.P. H.C. H.M. H.M.F. H.B. H.W. HR.	OFFICE ON CENTER OPENING OUTSIDE DIAMETER (DIMENSION) OVERHEAD	OFF. O.C. OPNG. O.D. O.H.	UNDERWRITERS LABORATORIES UNFINISHED UNIFORM BUILDING CODE	UL UNF. U.B.C.
DEAD LOAD DEMOLISH, DEMOLITION DIAMETER DIFFUSER DIMENSION DOWN DITTO	D.L. DEMO. DIA./ Ø DIFF. DIM. DN. do	INSULATION INTERIOR INVERT JOINT	INSUL. INT. INV. JT.	QUARRY TILE	Q.T.	VINYL COMPOSITION TILE VINYL WALL COVERING VERTICAL VESTIBULE VERIFY IN FIELD	V.C.T. V.W.G. VERT. VEST. V.I.F.
EQUAL EQUIPMENT EXISTING EXTERIOR	E.Q. EQUIP. EXIST/EXIST'G EXT.	LAMINATE(D) LAMINATED VENEER LUMBER LAVATORY LIVE LOAD LOUVER	LAM. L.V.L. LAV. LL L.V.R./LOUV.	RADIUS REFERENCE REINFORCE, REINFORCING REQUIRED RISER ROOF DRAIN ROOF SCUPPER ROUGH OPENING	RAD. REF. REINF. REQ./REQ'D. R R.D. R.S. R.O.	WATER CLOSET WATERPROOF, WEATHERPROOF WELDED WIRE FABRIC WELDED WIRE MESH WIRE GLASS WITH WITHOUT WOOD	W.C. W.P. W.W.F. W.W.M. W.G.L. W/ W/O WD.
FLOOR CLEAN OUT FEET, FOOT FINISH FINISH FLOOR	F.C.O. FT. FIN. F.F.	MAINTENANCE/MAINTAIN MANUFACTURER	MAINT. MPR./MANUF.				

NOTE: THIS LIST REPRESENTS ABBREVIATIONS THAT MAY OR MAY NOT APPEAR IN THESE DOCUMENTS. CONTACT YEZZI ASSOCIATES FOR ANY CLARIFICATIONS REGARDING THE ABBREVIATIONS

SYMBOL KEY



NOTES

- DO NOT SCALE DRAWINGS.
- FIELD CHECK ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- WHERE THERE MAY BE A CONFLICT BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECTS WHO WILL MAKE THE NECESSARY REVISIONS.
- PLANS TO CONFORM WITH THE STRUCTURE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, LATEST EDITION.
- ALL EXISTING WORK TO REMAIN MUST BE PROTECTED. ANY SUCH WORK DAMAGED IN THE COURSE OF CONSTRUCTION WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL ITEMS TO BE REMOVED AND REUSED THAT ARE DAMAGED AND NOT REUSABLE SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN THE THERMAL AND ACOUSTICAL PROPERTIES OF THE BUILDING DURING CONSTRUCTION.
- AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION RUBBLE FROM THE SITE.
- ALL ITEMS MARKED ON THE DRAWINGS TO BE REMOVED SHALL ALSO MEAN PATCH TO MATCH SURROUNDING CONDITIONS.
- ALL TRADES TO COORDINATE THEIR WORK SO THERE WILL BE NO DUPLICATION OF WORK.
- ALL TRADES TO DO THEIR OWN CUTTING AND PATCHING UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS PRIOR TO BIDDING AND STARTING CONSTRUCTION & TAKE PHOTOGRAPHS OF ALL EXISTING CONDITIONS. ANY ALTERATIONS TO EXISTING STRUCTURE REQUIRED FOR PROPER INSTALLATION OF NEW WORK SHALL BE DONE BY THE CONTRACTOR AT HIS OWN EXPENSE, BUT ONLY AS APPROVED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHOULD EXAMINE THE M.E.P. DRAWINGS TO SEE THE EXTENT OF THE ENGINEERING CHANGES TO BE MADE TO THE BUILDING. - IF REQUIRED
- THE CONTRACTOR SHALL PROTECT THE EXISTING BUILDING FROM ANY POSSIBLE WATER DAMAGE. ANY REPAIRS AS A RESULT OF DAMAGE WILL BE PAID BY THE CONTRACTOR.
- ALL EXISTING UTILITIES IN CONFLICT WITH THE WORK SHALL BE TURNED OFF BY THE CONTRACTOR / UTILITY COMPANIES PRIOR TO START OF DEMOLITION / CONSTRUCTION.

SCOPE OF WORK

- SCOPE OF WORK
- AT THE GALLOWAY CAMPUS E-WING, THE UNIVERSITY IS PROPOSING TO RENOVATE EXISTING RESTROOMS AND THE CONVERSION OF EXISTING OFFICE SPACE INTO A NEW CLASSROOM.
- CLASSROOM AND OFFICE (BASE BID)
 - REMOVING EXISTING WALLS, FINISHES, ELECTRICAL DEVICES, CEILING GRID, LIGHT FIXTURES, AND MECHANICAL DEVICES
 - PROVIDING NEW WALLS, FINISHES, CEILING GRID, ELECTRICAL DEVICES, LIGHT FIXTURES, AND DOORS.
 - RELOCATING EXISTING MECHANICAL DEVICES AS REQUIRED.
 - LOBBY (SEE ALT. NO. 1)
 - REMOVE ALL EXISTING FINISHES.
 - PROVIDE NEW FLOOR, WALL AND CEILING FINISHES. CLEAN AND PAINT EXISTING DOORS. RELOCATE LIGHTING FIXTURES.
 - DOOR 1002 TO HAVE NEW ALARM SYSTEM, TIE TO INTO EXISTING
 - CORRIDOR (SEE ALT. NO.2)
 - REMOVE EXISTING FINISHES, CEILING GRID, AND DEVICES.
 - PROVIDE NEW FLOOR, WALL, AND CEILING FINISHES. CLEAN AND PAINT EXISTING DOORS. PROVIDE NEW LIGHTING FIXTURES, RELOCATE DIFFUSERS.
 - RESTROOM (SEE ALT. NO. 3)
 - REMOVING EXISTING WALL AND FLOOR FINISHES, PLUMBING FIXTURES, PARTITIONS, CEILING GRID AND CEILING DEVICES, AND LIGHT FIXTURES.
 - PROVIDING NEW FINISHES, PLUMBING FIXTURES, PARTITIONS, CEILING GRID AND LIGHTS, AND TOILET ROOM ACCESSORIES. CLEAN AND PAINT EXISTING DOORS.
 - NEW FOLDING PARTITION (SEE ALT. NO. 4)
 - PROVIDE NEW FOLDING PARTITION AND RELATED ITEMS
 - PROVIDE POWER AND DATA FOR A SECOND PODIUM

- NOTES:
- SEE SHEET D-1 KEY PLAN FOR ALTERNATES 1, 2, & 3.
 - SEE SHEET A-4 FOR ALTERNATE 4 - FOLDING PARTITION.

2022

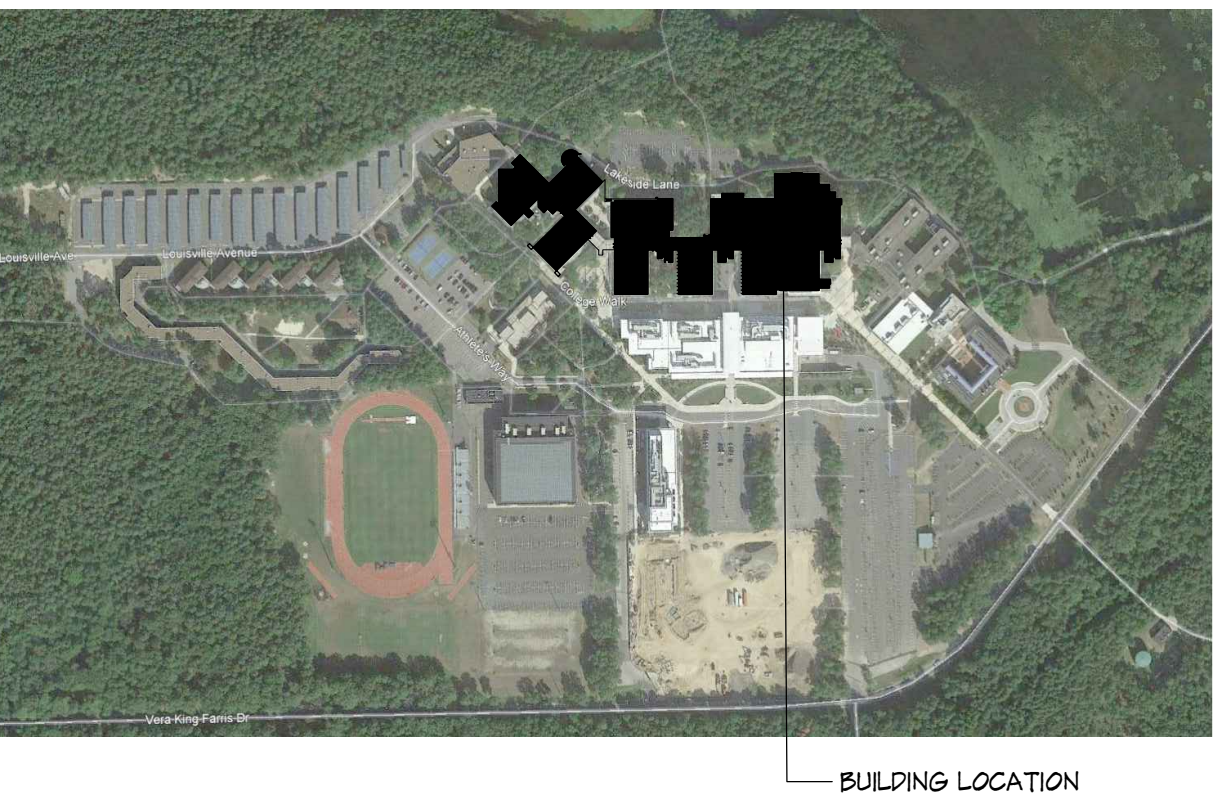


INDEX OF DRAWING'S

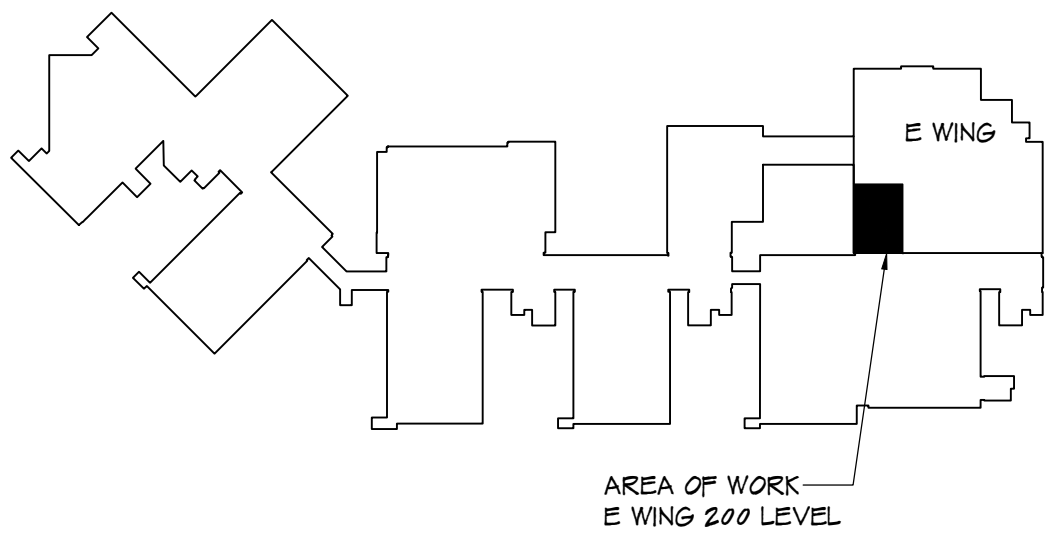
ARCHITECTURAL	PROJECT DATA, CODE RESEARCH, & SCOPE OF WORK
1 COVER/CODE	PROJECT DATA, CODE RESEARCH, & SCOPE OF WORK
2 D-1	DEMOLITION PLAN
3 D-2	DEMOLITION REFLECTED CEILING PLAN
4 D-3	EXISTING CONDITION PHOTOGRAPHS
5 A-1	FLOOR PLAN
6 A-2	REFLECTED CEILING PLAN
7 A-3	RESTROOM ELEVATIONS, DETAILS, & FINISH SCHEDULE
8 A-4	FOLDING PARTITION DETAILS ALTERNATE #4

ALTERNATES
'ALTERNATE #1 - LOBBY RENOVATIONS: STATE THE AMOUNT, ON THE BID PROPOSAL FORM, TO BE ADDED TO THE BASE BID IF ALL WORK ASSOCIATED WITH THE LOBBY RENOVATIONS, AS INDICATED ON THE DRAWINGS, ARE ADDED TO THE PROJECTS SCOPE OF WORK. 'ALTERNATE #2 - CORRIDOR RENOVATIONS: STATE THE AMOUNT, ON THE BID PROPOSAL FORM, TO BE ADDED TO THE BASE BID IF ALL WORK ASSOCIATED WITH THE CORRIDOR RENOVATIONS, AS INDICATED ON THE DRAWINGS, ARE ADDED TO THE PROJECTS SCOPE OF WORK. 'ALTERNATE #3 - RESTROOMS RENOVATIONS: STATE THE AMOUNT, ON THE BID PROPOSAL FORM, TO BE ADDED TO THE BASE BID IF ALL WORK ASSOCIATED WITH RESTROOMS RENOVATIONS, AS INDICATED ON THE DRAWINGS, IS ADDED TO THE PROJECTS SCOPE OF WORK. 'ALTERNATE #4 - MOVEABLE WALL PARTITION AND SECOND PODIUM HOOK UP: STATE THE AMOUNT, ON THE BID PROPOSAL FORM, TO BE ADDED TO THE BASE BID IF ALL WORK ASSOCIATED WITH THE MOVEABLE WALL PARTITION AND SECOND PODIUM HOOK UP, AS INDICATED ON THE DRAWINGS, ARE ADDED TO THE PROJECTS SCOPE OF WORK.
REFER TO BID PROPOSAL FOR FOR ADDITIONAL INFORMATION.

AERIAL PHOTOGRAPH



KEY PLAN



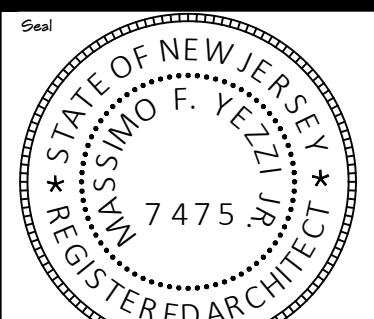
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BUILDING RENOVATION
HRC CLASSROOM
101 VERA KING FARRIS DR.
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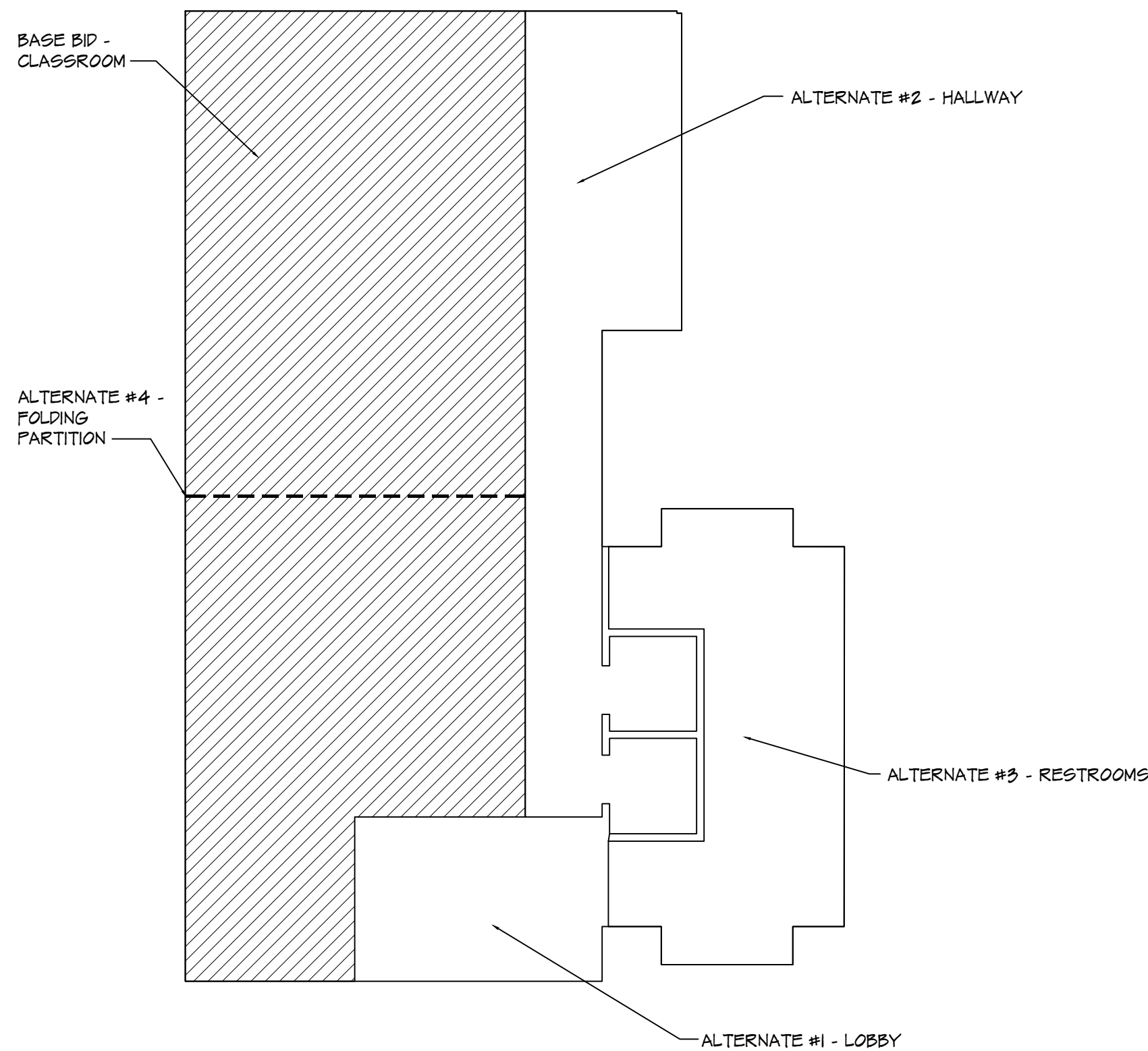
Issued For Bid 03/02/2022

Revisions By Date

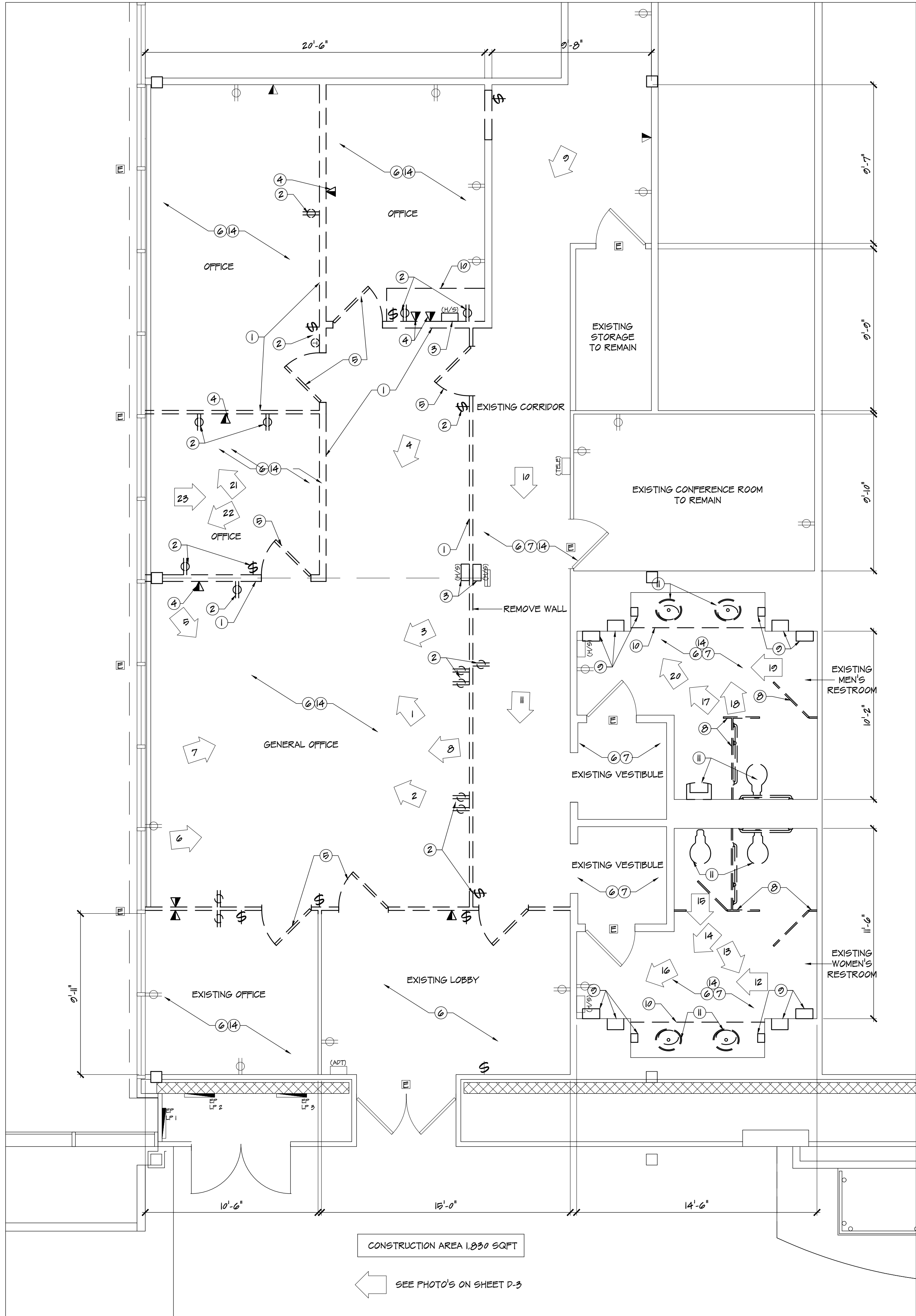
Sheet Title PROJECT DATA, CODE RESEARCH, & SCOPE OF WORK
Drawn By SR
Checked By MPY
Scale 1" = 8'

Sheet No. COVER /CODE

Project No. YC21132



2 KEY PLAN - ALTERNATES
D-1 SCALE: 1/8" = 1'-0"



1 DEMOLITION FLOOR PLAN
D-1 SCALE: 1/4" = 1'-0"

SYMBOL LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING PHOTO LOCATION & DIRECTION CALLOUT
- EXISTING DOOR & WINDOW TO REMAIN, NO CHANGE
- EXISTING POWER RECEPTACLE (TYP.)
- EXISTING DATA RECEPTACLE (TYP.)
- EXISTING HORN AND STROBE (TYP.)
- EXISTING LIGHT SWITCH (TYP.)
- EXISTING TELEPHONE (TYP.)
- EXISTING ALARM SYSTEM (TYP.)

NOTE

THE PHOTOGRAPHS AND DEMOLITION PLAN INDICATED ARE FOR REFERENCE ONLY TO INDICATE THE EXISTING BUILDING CONDITIONS AT THE TIME OF OUR FIELD INSPECTION. ALL DEMOLITION REQUIRED TO SUCCESSFULLY COMPLETE THIS PROJECT SHALL BE INCLUDED IN THE GENERAL CONTRACTORS SCOPE OF WORK.

GENERAL SELECTIVE DEMOLITION NOTES

PREPARATION

- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AT DOORWAYS WITH CODE REQUIRED SECURITY DEVICES.
- NOTIFY OWNER OF WORK WHICH MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE ALL WORK WITH OWNER.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS REQUIRED.
- ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
- PROTECT EXISTING ITEMS INDICATED TO REMAIN.

DEMOLITION REQUIREMENTS

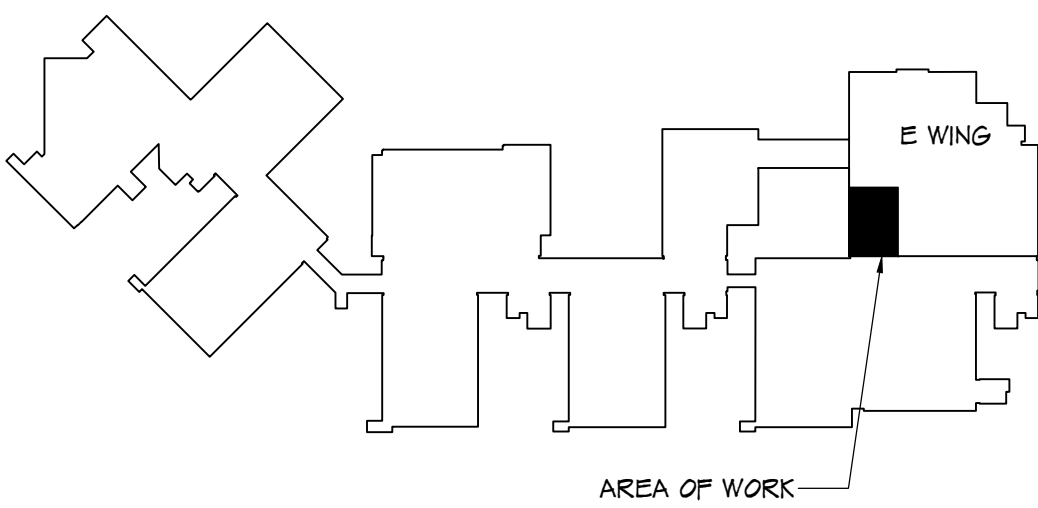
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE TO ADJACENT AREAS.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO ADJACENT ACCESSSES.
- MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURAL COMPONENTS APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION AND A/E.

SELECTIVE DEMOLITION:

- DEMOLISH AND REMOVE COMPONENTS IN ORDERLY AND CAREFUL MANNER IN SEQUENCE OUTLINED IN SUBMITTED AND APPROVED SCHEDULE.
 - PROTECT EXISTING SUPPORTING STRUCTURAL MEMBERS.
- CLEAN UP:
- REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES.
 - LEAVE AREAS OF WORK IN CLEAN CONDITION.
 - DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH ALL STATE AND MUNICIPAL REQUIREMENTS. PROVIDE LOAD TICKETS WHERE APPLICABLE.

TAGGED DEMOLITION NOTES

- EXISTING WALL TO BE REMOVED AS INDICATED ON THE DRAWINGS. PATCH TO MATCH SURROUNDING FINISHES (TYP.)
- EXISTING ELECTRICAL COMPONENTS TO BE REMOVED IN ITS ENTIRETY. (TYP.)
- EXISTING FIRE ALARM COMPONENTS TO BE REMOVED. (TYP.)
- EXISTING DATA RECEPTACLE TO BE REMOVED. (TYP.)
- EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ITEMS TO BE REMOVED & REPLACED WITH NEW. SEE I/A-1 FOR LOCATION OF NEW DOORS (TYP.)
- EXISTING FLOOR FINISHES TO BE REMOVED IN ITS ENTIRETY, FLOOR TO BE PREPARED FOR NEW FINISH (TYP.)
- EXISTING WALL FINISHES, WALL BOARD, & INSULATION TO BE REMOVED DOWN TO EXISTING STUDS & REPLACES WITH NEW AS INDICATED ON DRAWING. (TYP.)
- REMOVE ALL EXISTING TOILET PARTITIONS IN THEIR ENTIRETY INCLUDING ALL ABOVE CEILING SUPPORTING STEEL (TYP.)
- REMOVE ALL EXISTING TOILET ACCESSORIES & RELATED ITEMS (TYP.)
- REMOVE EXISTING COUNTER/CASEWORK (TYP.)
- REMOVE ALL EXISTING PLUMBING FIXTURES & TEMPORARILY CAP LINE AS REQUIRED. REPLACE WITH NEW (TYP.)
- EXISTING MECHANICAL COMPONENTS TO BE REMOVED & REPLACE WITH NEW. (TYP.)
- EXISTING LIGHTING TO BE REMOVED & REPLACED WITH NEW. (TYP.)
- EXISTING CEILING TILE AND GRID TO BE REMOVED & REPLACED WITH NEW (TYP.)
- EXISTING SPRINKLER HEAD TO REMAIN, CLEAN. (TYP.)
- MISCELLANEOUS CEILING DEVICES TO BE REMOVED & REPLACED WITH NEW. (TYP.)



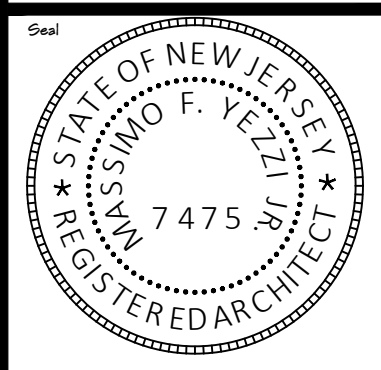
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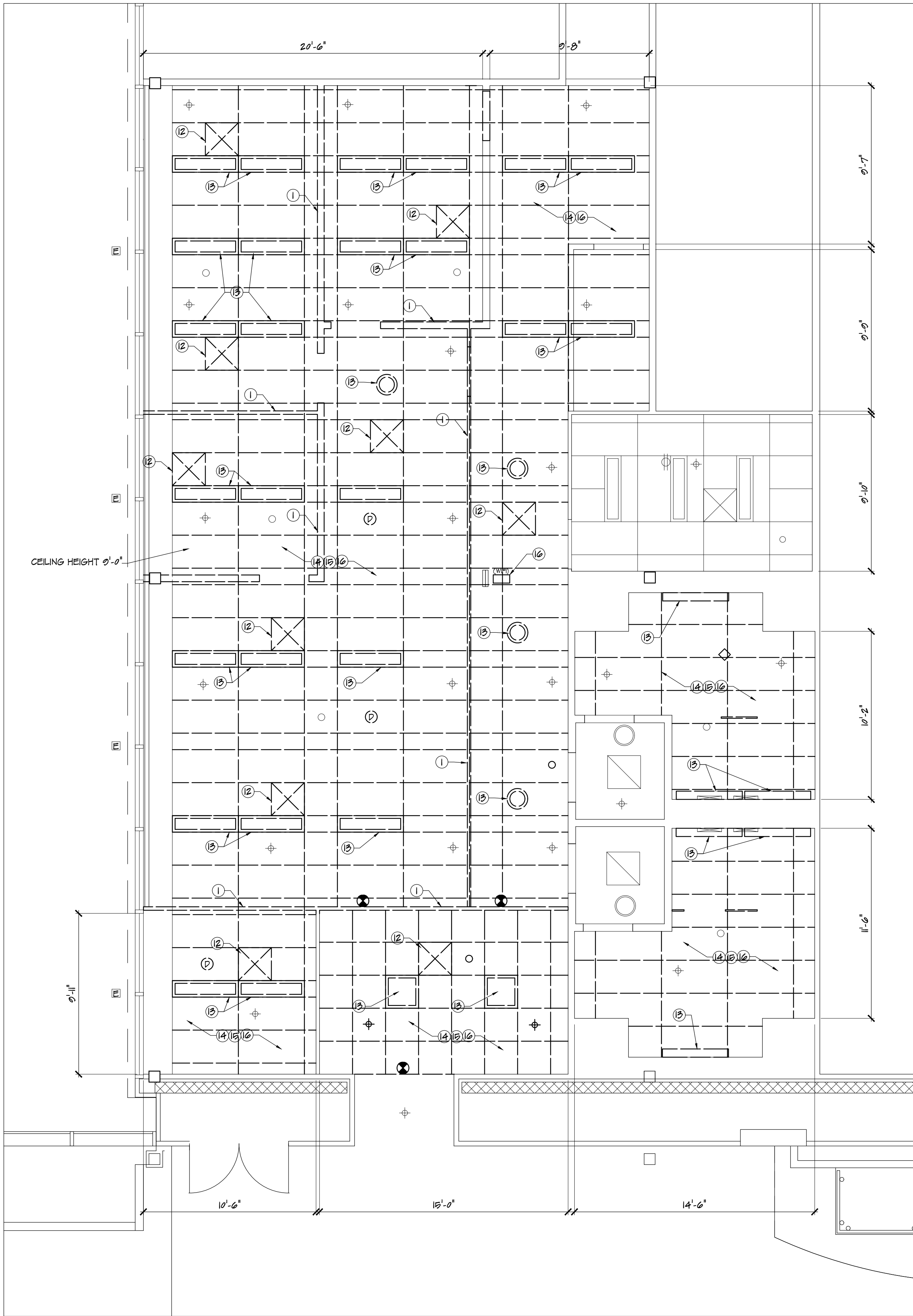
Sheet Title
DEMOLITION PLAN

Drawn By
SR

Checked By
MPY

Sheet No.
D-1

Project No.
YC21132



NOTE:
1. REMOVE EXISTING CEILING GRID, GRID, AND LIGHT FIXTURES.
2. PROVIDE NEW CEILINGS, GRIDS, LIGHTINGS, ETC.
3. RECONNECT EXISTING SPRINKLER SYSTEM, DIFFUSERS (NEW), SMOKE DETECTORS, ETC.

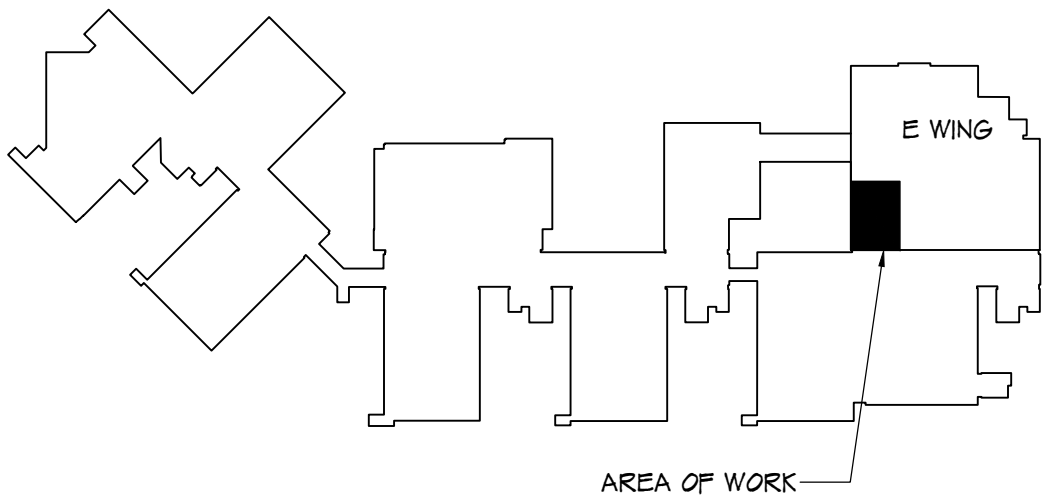
1
D-2
DEMOLITION CEILING PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING PHOTO LOCATION & DIRECTION CALLOUT
	EXISTING DOOR & WINDOW TO REMAIN, NO CHANGE
	EXISTING SPRINKLER HEAD (TYP.)
	EXISTING SMOKE DETECTOR (TYP.)
	EXISTING WIFI ROUTER (TYP.)
	EXISTING MISCELLANEOUS CEILING DEVICE (TYP.)
	EXISTING EXIT SIGN (TYP.)
	EXISTING h2 LIGHT FIXTURE (TYP.)
	EXISTING LIGHT FIXTURE (TYP.)
	EXISTING SUPPLY (TYP.)
	EXISTING RETURN (TYP.)
	EXISTING WALL SUPPLY DIFFUSER (TYP.)

NOTE
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GENERAL SELECTIVE DEMOLITION NOTES
PREPARATION
1. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AT DOORWAYS WITH CODE REQUIRED SECURITY DEVICES.
2. NOTIFY OWNER OF WORK WHICH MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE ALL WORK WITH OWNER.
3. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS REQUIRED.
4. ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
5. PROTECT EXISTING ITEMS INDICATED TO REMAIN.
DEMOLITION REQUIREMENTS:
1. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE TO ADJACENT AREAS.
2. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO ADJACENT ACCESSSES.
3. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
4. CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURAL COMPONENTS APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION AND A/E.
SELECTIVE DEMOLITION:
1. DEMOLISH AND REMOVE COMPONENTS IN ORDERLY AND CAREFUL MANNER, IN SEQUENCE OUTLINED IN SUBMITTED AND APPROVED SCHEDULE.
2. PROTECT EXISTING SUPPORTING STRUCTURAL MEMBERS.
CLEAN UP:
1. REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES.
2. LEAVE AREAS OF WORK IN CLEAN CONDITION.
3. DISPOSE OF ALL DEBRIS IN ACCORDANCE WITH ALL STATE AND MUNICIPAL REQUIREMENTS. PROVIDE LOAD TICKETS WHERE APPLICABLE.

TAGGED DEMOLITION NOTES
① EXISTING WALL TO BE REMOVED AS INDICATED ON THE DRAWINGS. PATCH TO MATCH SURROUNDING FINISHES (TYP.)
② EXISTING ELECTRICAL COMPONENTS TO BE REMOVED IN ITS ENTIRETY. (TYP.)
③ EXISTING FIRE ALARM COMPONENTS TO BE REMOVED. (TYP.)
④ EXISTING DATA RECEPTACLE TO BE REMOVED. (TYP.)
⑤ EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ITEMS TO BE REMOVED & REPLACED WITH NEW. SEE 1/A-1 FOR LOCATION OF NEW DOORS (TYP.)
⑥ EXISTING FLOOR FINISHES TO BE REMOVED IN ITS ENTIRETY. FLOOR TO BE PREPARED FOR NEW FINISH (TYP.)
⑦ EXISTING WALL FINISHES, WALL BOARD, & INSULATION TO BE REMOVED DOWN TO EXISTING STUDS & REPLACES WITH NEW AS INDICATED ON DRAWING (TYP.)
⑧ REMOVE ALL EXISTING TOILET PARTITIONS IN THEIR ENTIRETY INCLUDING ALL ABOVE CEILING SUPPORTING STEEL (TYP.)
⑨ REMOVE ALL EXISTING TOILET ACCESSORIES & RELATED ITEMS (TYP.)
⑩ REMOVE EXISTING COUNTER/CASEWORK (TYP.)
⑪ REMOVE ALL EXISTING PLUMBING FIXTURES & TEMPORARILY CAP LINE AS REQUIRED. REPLACE WITH NEW (TYP.)
⑫ EXISTING MECHANICAL COMPONENTS TO BE REMOVED & REPLACE WITH NEW. (TYP.)
⑬ EXISTING LIGHTING TO BE REMOVED & REPLACED WITH NEW. (TYP.)
⑭ EXISTING CEILING TILE AND GRID TO BE REMOVED & REPLACED WITH NEW (TYP.)
⑮ EXISTING SPRINKLER HEAD TO REMAIN, CLEAN. (TYP.)
⑯ MISCELLANEOUS CEILING DEVICES TO BE REMOVED & REPLACED WITH NEW. (TYP.)

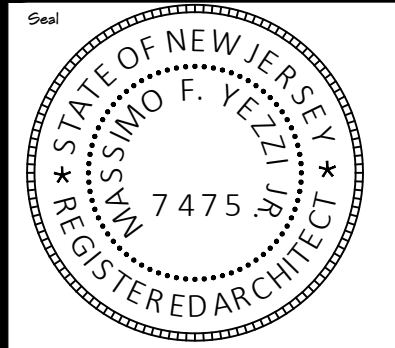


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BUILDING RENOVATION
HRC CLASSROOM
101 VERA KING FARRIS DR.
ATLANTIC COUNTY
GALLOWAY
NEW JERSEY

Project
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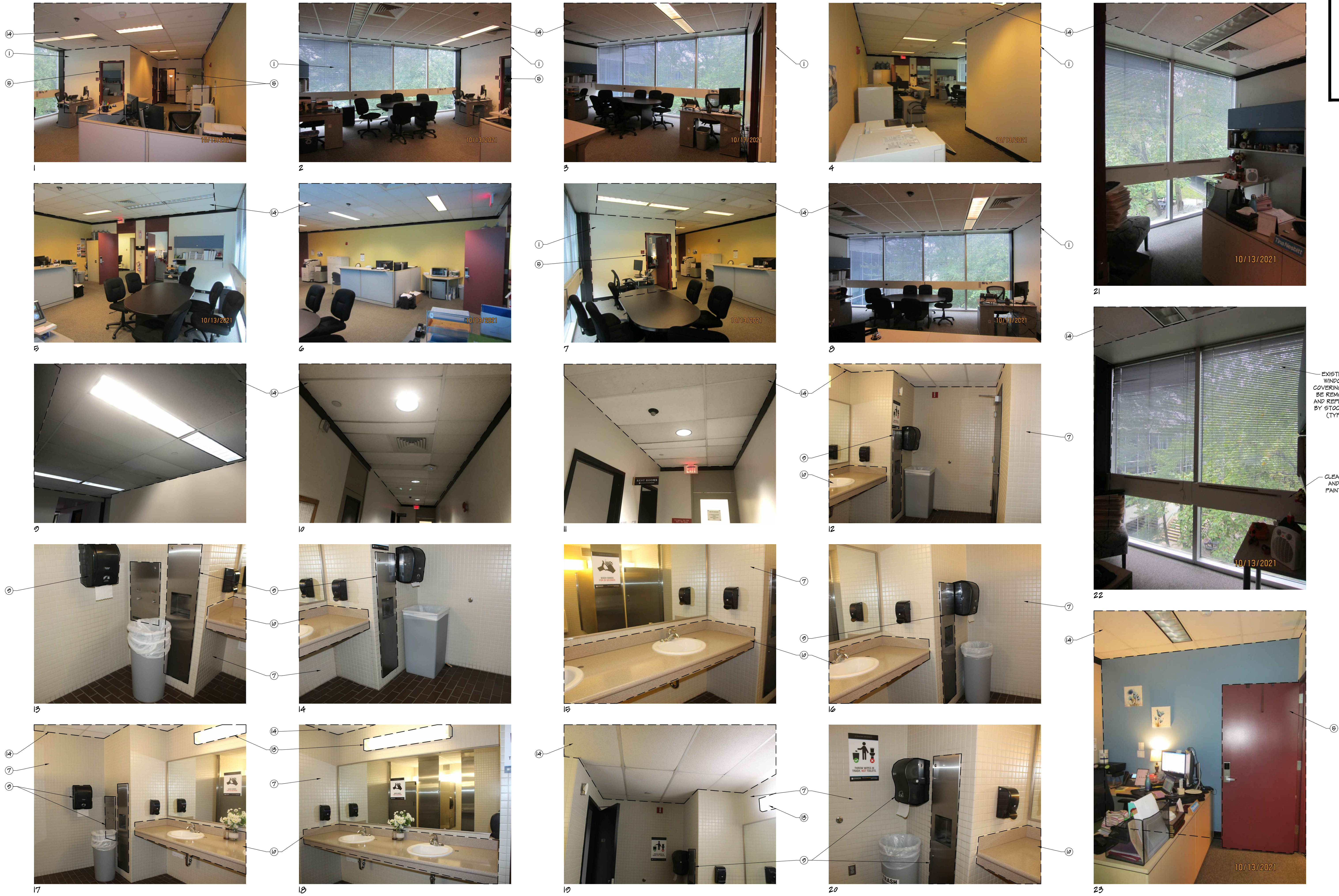
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Sheet Title
DEMOLITION
REFLECTED CEILING PLAN

Sheet No.
D-2

Project No.
YC21132



1 EXISTING CONDITION PHOTOGRAPHS
D-3 SCALE: N.T.S.

NOTE
THE PHOTOGRAPHS INDICATED ON THESE DRAWINGS ARE FOR REFERENCE ONLY TO INDICATE THE EXISTING BUILDING CONDITIONS AT THE TIME OF OUR FIELD INSPECTION. ALL DEMOLITION REQUIRED TO SUCCESSFULLY COMPLETE THIS PROJECT SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. THE GENERAL CONTRACTOR IS TO COORDINATE THE EXTENT OF DEMOLISH WITH THE ENTIRE SET OF DRAWINGS AND FIELD CONDITIONS.

NOTE
REFER TO DEMO PLANS FOR THE PHOTO LOCATION TAGS & THE LIST OF TAGGED DEMOLITION NOTES (TYP).

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REGISTERED ARCHITECT

BUILDING RENOVATION
HRC CLASSROOM
101 VERA KING FARRIS DR.
ATLANTIC COUNTY
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EXISTING CONDITION PHOTOGRAPHS
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Sheet No.
D-3
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SYMBOL LEGEND

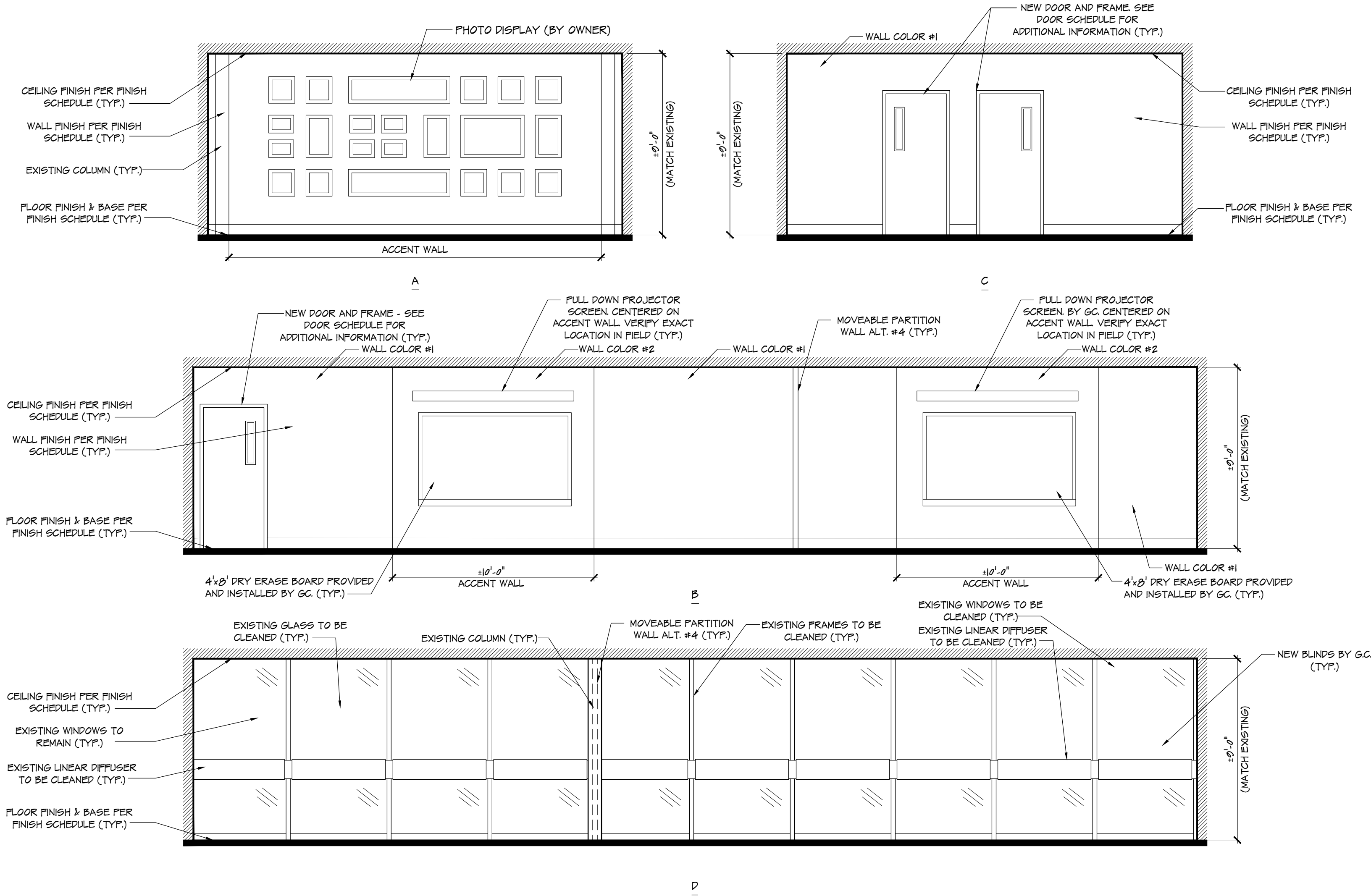
- EXISTING TO REMAIN
- PROPOSED NEW WALL
- EXISTING DOOR & WINDOW TO REMAIN, NO CHANGE
- EXISTING POWER RECEPTACLE (TYP.)
- EXISTING HORN & STROBE (TYP.)
- EXISTING LIGHT SWITCH (TYP.)
- EXISTING DATA RECEPTACLE (TYP.)
- EXISTING TELEPHONE (TYP.)
- EXISTING ALARM PANEL (TYP.)
- EXISTING ELECTRICAL PANEL (TYP.)
- NEW POWER RECEPTACLE (TYP.)
- NEW LIGHT SWITCH (TYP.)
- NEW DATA RECEPTACLE (TYP.)
- NEW HORN & STROBE (TYP.)

ELECTRICAL NOTES

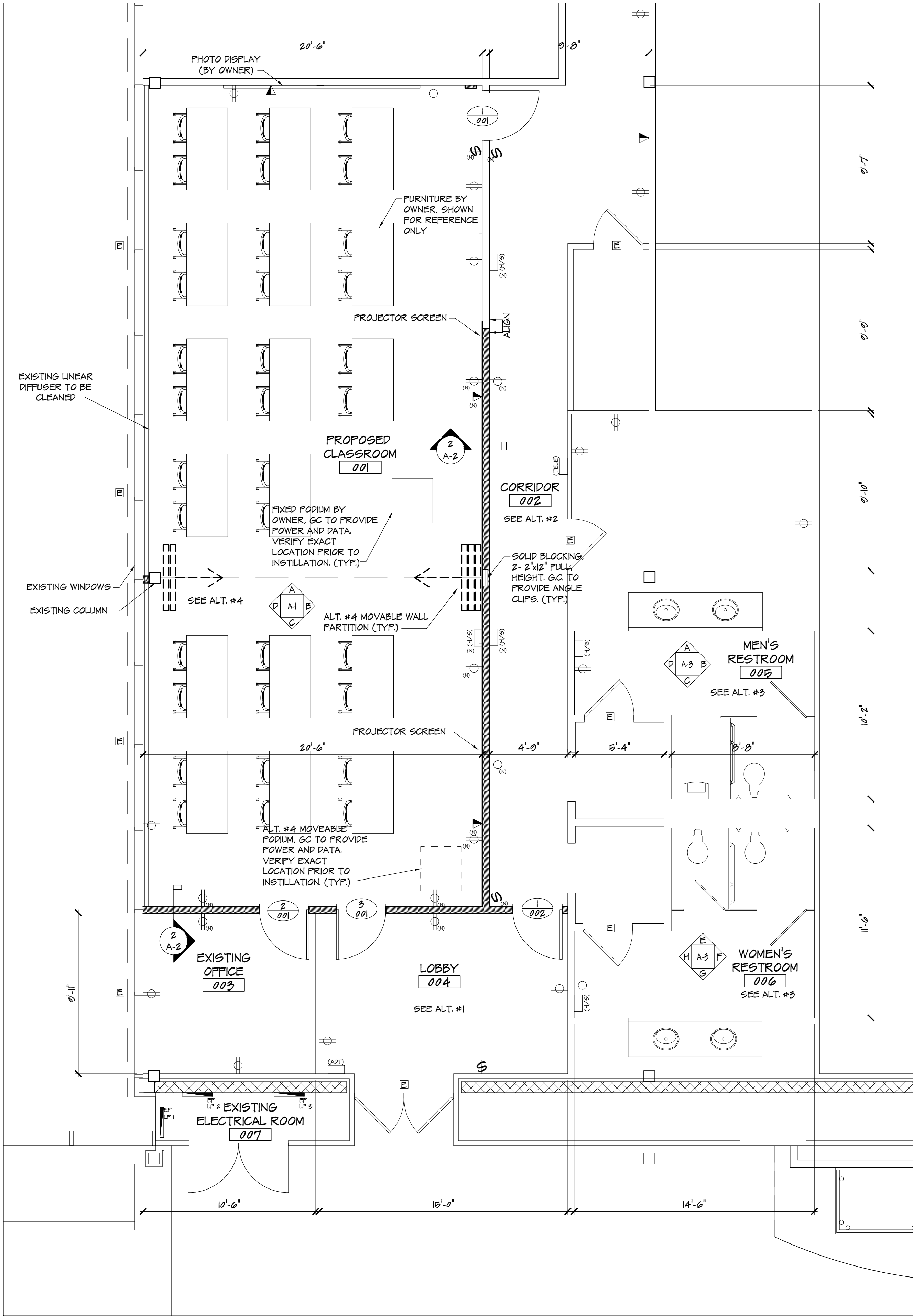
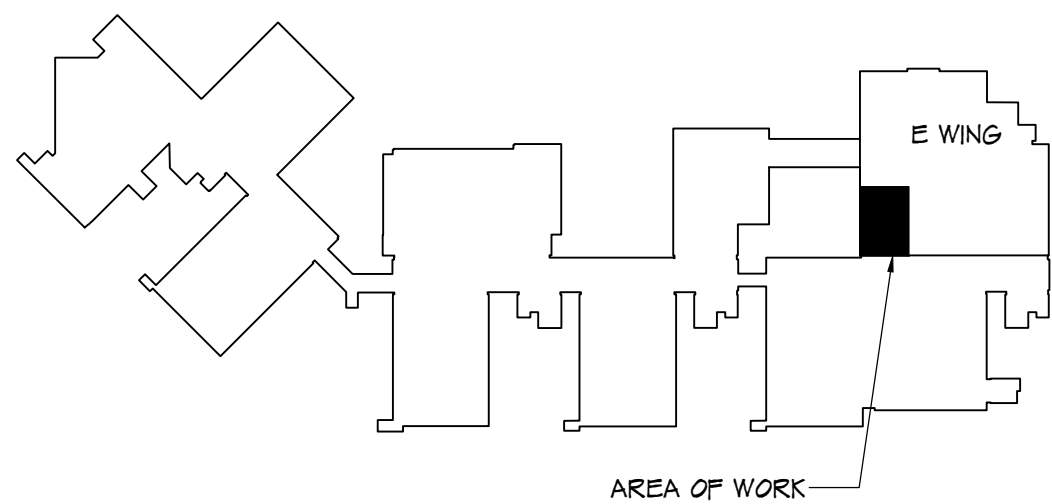
- THE G.C. MUST BALANCE THE EXISTING ELECTRICAL SYSTEM AND MUST SUBMIT SIGNED AND SEALED PANEL SCHEDULES AND SHOP DRAWINGS FOR REVIEW AND APPROVAL FOR ALL PROPOSED ELECTRICAL WORK (TYP.)
- ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION.
- ALL ELECTRICAL OUTLETS AND DATA PORT LOCATIONS ARE TO BE VERIFIED IN FIELD BY THE OWNER PRIOR TO INSTALLATION.
- ALL WIRING TO BE 12GA BX MIN. (TYP.)

NOTE:

- FURNITURE BY OWNER, SHOWN FOR REFERENCE ONLY
- ALL EXISTING DOORS TO BE CLEANED AND PAINTED.



2 PROPOSED CLASSROOM ELEVATION
A-1 SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"



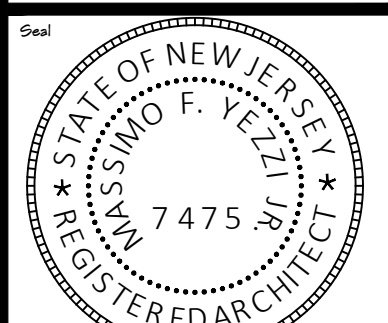
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FLOOR PLAN

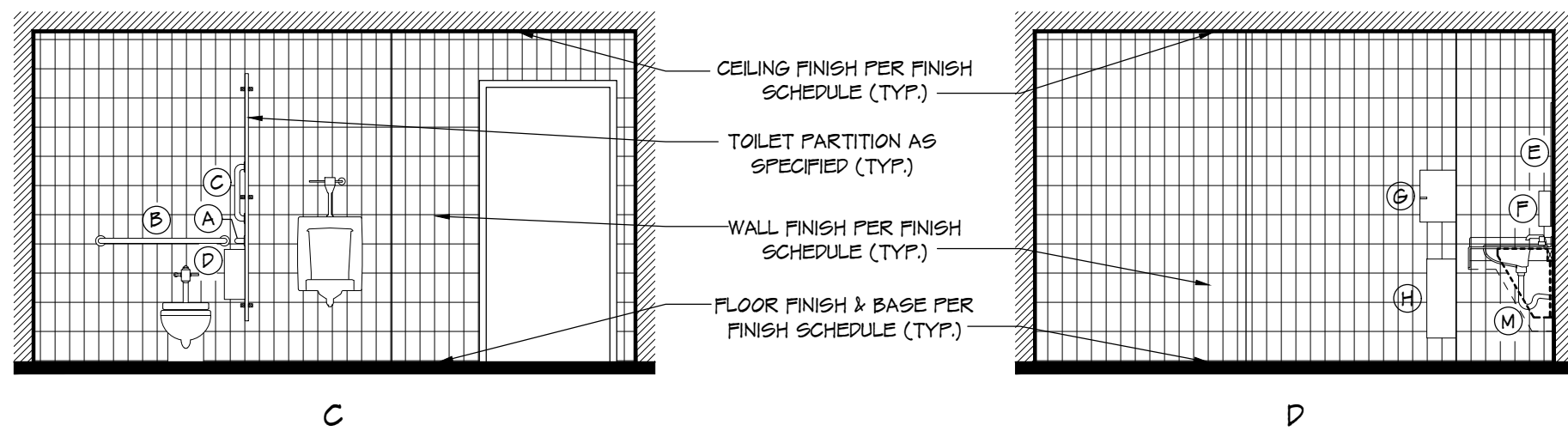
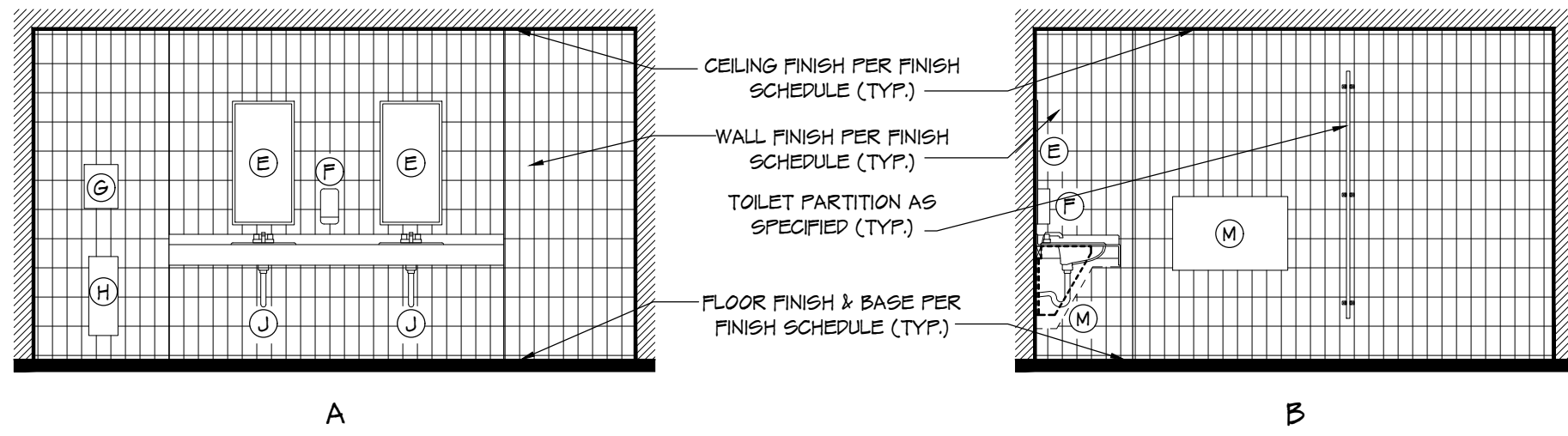
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Sheet No.

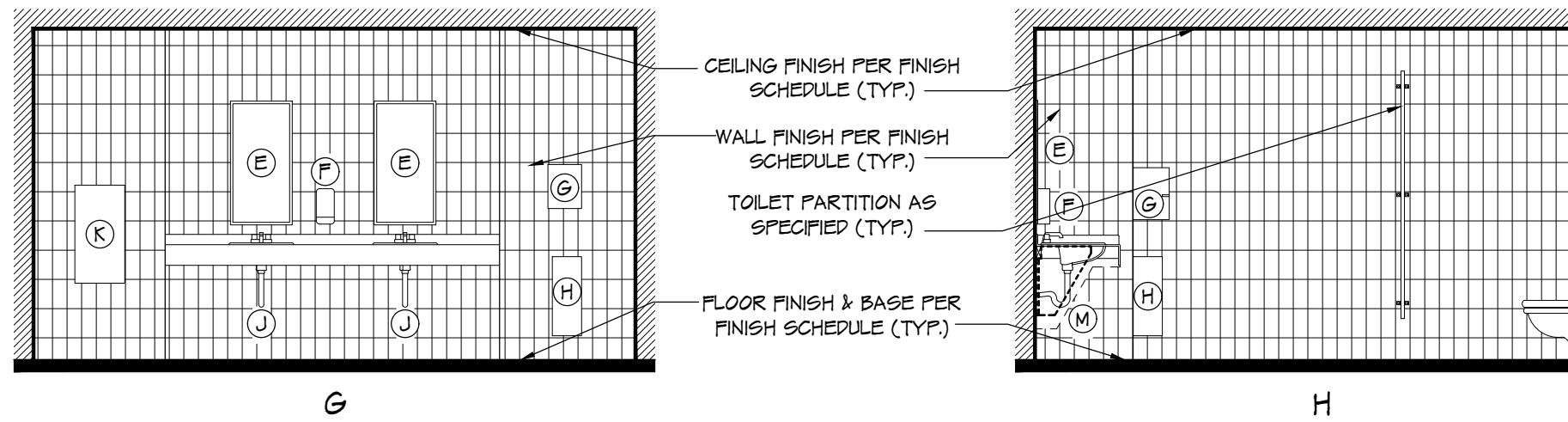
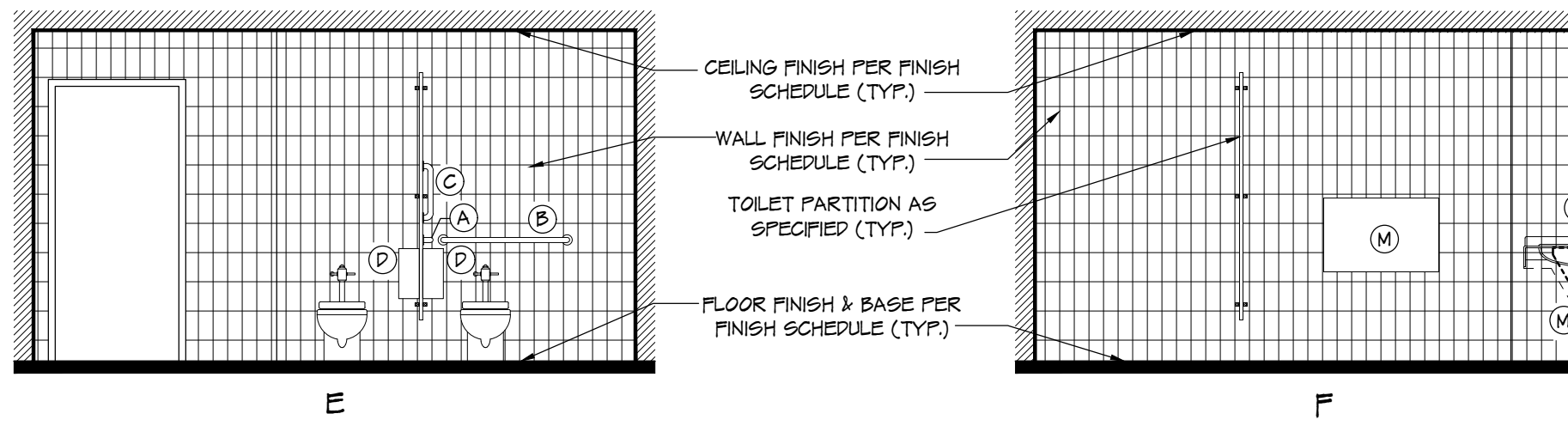
A-1

Project No.
YC21132



1 MEN'S RESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



2 WOMEN'S RESTROOM ELEVATIONS

SCALE: 1/4" = 1'-0"

PLUMBING PIPING SCHEDULE

DESCRIPTION	H.W.	C.W.	S.S.	VENT
LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"
WATER CLOSET	—	1/2"	3"	2"

NOTE:

1. ALL WATER SUPPLY LINES TO BE COPPER TYPE "L".
2. ALL WASTE AND VENT LINES TO BE ABS OR PVC TYPE PLASTICS.
3. INSULATE ALL WALLS AROUND TOILETS.
4. INSULATE ALL VERTICAL WASTE LINES.
5. PLUMBING CONTRACTOR TO PROVIDE WASTE & SUPPLY WATER LINE & GAS RISER DIAGRAM TO BUILDING DEPARTMENT FOR APPROVAL.
6. ALL ITEMS TO CONFORM TO NATIONAL PLUMBING CODE LATEST EDITION.

LAVATORY NOTES

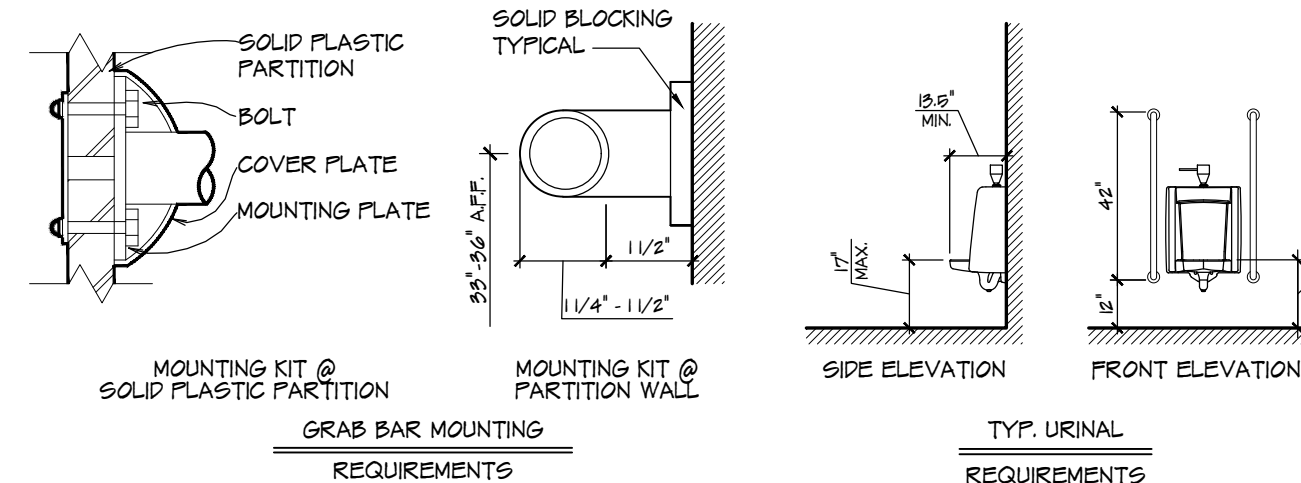
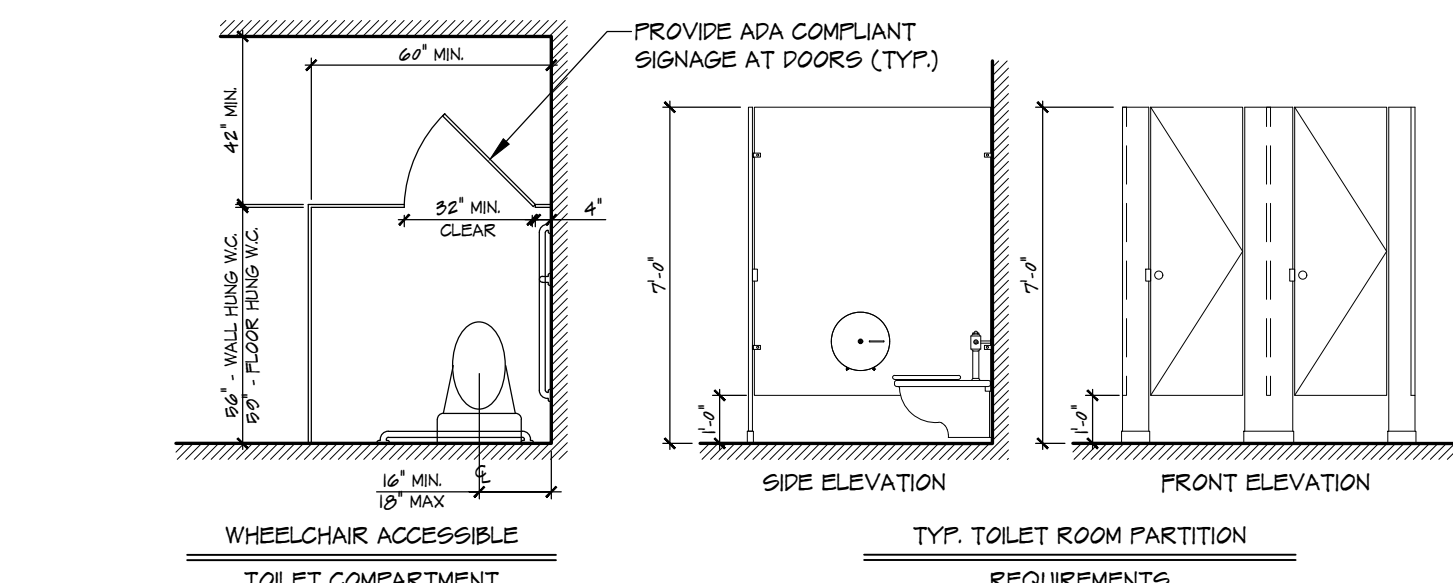
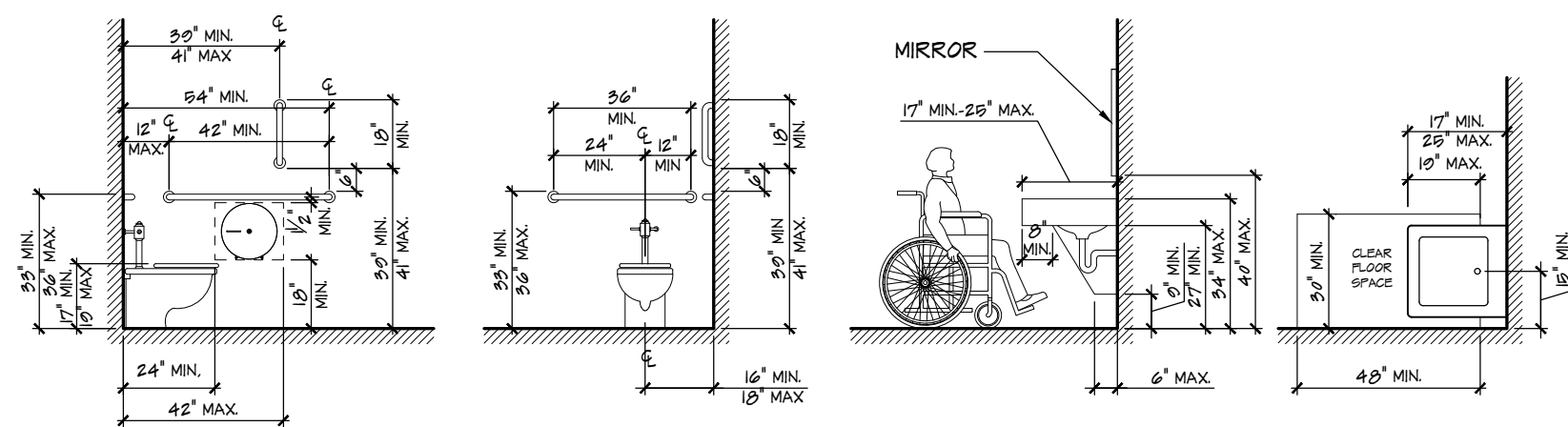
1. ANY EXPOSED PIPING AND UNDER SINK AREAS MUST BE PROTECTED WITH INSULATED COVERS - SUBMIT SHOP DWGS FOR REVIEW & APPROVAL (TYP.).

2. DEPENDING UPON CONFIGURATION OF CLEAR FLOOR SPACE, MAX. HEIGHT OF CONTROLS RANGES FROM 3'-0" TO 4'-0" AND THE MINIMUM HEIGHT RANGES FROM 0" TO 2'-10" (TYP.).

TOILET ROOM FIXTURES

FIXTURE	MANUFACTURER	MODEL	MOUNTING HEIGHT
LAVATORY	AMERICAN STANDARD	0482.00	34" MAX FROM FLOOR TO THE HIGHER OF THE RIME OR COUNTER
WATER CLOSET	AMERICAN STANDARD	2287191	17" MIN. 10" MAX FROM FLOOR TO TOP OF SEAT
URINAL	AMERICAN STANDARD	66800.001	17" MAX TO RIM

NOTE: ALL FIXTURES TO HAVE SENSORS, PROVIDE ALL NECESSARY POWER AS REQUIRED.



3 ADA DETAILS

SCALE: N.T.S.

GENERAL CASEWORK NOTES

1. G.C. TO SUBMIT FULL SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION (TYP.).
2. G.C. TO FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO CONSTRUCTION (TYP.).
3. PLASTIC LAMINATE AT COUNTERS ARE TO HAVE FULL RUNS, NO JOINTS (TYP.).
4. ALL CASE WORK IS TO HAVE ROLLED CORNERS (TYP.).
5. ALL CASEWORK IS TO BE INSTALLED IN COMPLIANCE WITH ICC/ANSI A117-2009 AND N.J.U.C.C. "BARRIER FREE" AND ADA REQUIREMENTS (TYP.).
6. ALL CASEWORK IS TO HAVE 3MM PVC EDGE BANDING (TYP.).
7. ALL CABINETS & DRAWERS ARE TO RECEIVE INTEGRATED LOCKS, COORDINATE KEYING WITH UNIVERSITY (TYP.).
8. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION & REQUIREMENTS (TYP.).

RESTROOM ACCESSORIES

TAG	ACCESSORY	MODEL #	MOUNTING HEIGHT
(A)	SIDE GRAB BAR 1 1/2" Ø 42" x L	BRADLEY 012	33"-36" AFF TO TOP OF BAR
(B)	BACK GRAB BAR 1 1/2" Ø 36" x L	BRADLEY 012	33"-36" AFF TO TOP OF BAR
(C)	VERTICAL GRAB BAR 1 1/2" Ø 18" x L	BRADLEY 012	30"-41" AFF TO BOTTOM OF BAR
(D)	TOILET TISSUE DISPENSER	BAY WEST 00300	15" AFF TO OUTLET
(E)	MIRROR	BRADLEY 781-1036	40" MAX AFF TO BOTTOM OF MIRROR
(F)	SOAP DISPENSER	BAY WEST 02000	44" MAX AFF TO OPERATOR
(G)	PAPER TOWEL DISPENSER	BAY WEST 70500	UNOBSTRUCTED - 15"-40" AFF. TO OPERATOR OBSTRUCTED - 44" MAX AFF. TO OPERATOR
(H)	WASTE RECEPTACLE	BOBRICK B-277	15"-40" AFF TO OPENING
(I)	TOWEL/COAT HOOK	BRADLEY 0114	40" MAX AFF. TO TOP OF HOOK
(J)	P TRAP LAVATORY GUARD	-	-
(K)	NAPKIN/TAMPON VENDOR	BOBRICK B-47064	62" AFF TO TOP AS PER MANUF.
(L)	NAPKIN/TAMPON DISPOSAL PARTITION MOUNTED / RECESSED	BOBRICK B-4364 / B-4363	30" AFF TO TOP AS PER MANUF.
(M)	BABY CHANGING TABLE	RUBBERMAID 7810	28"-34" AFF. TO TOP OF TABLE

TYPICAL TOILET ROOM NOTES

MANUFACTURERS (OR AN ARCHITECT/OWNER APPROVED SUBSTITUTE)

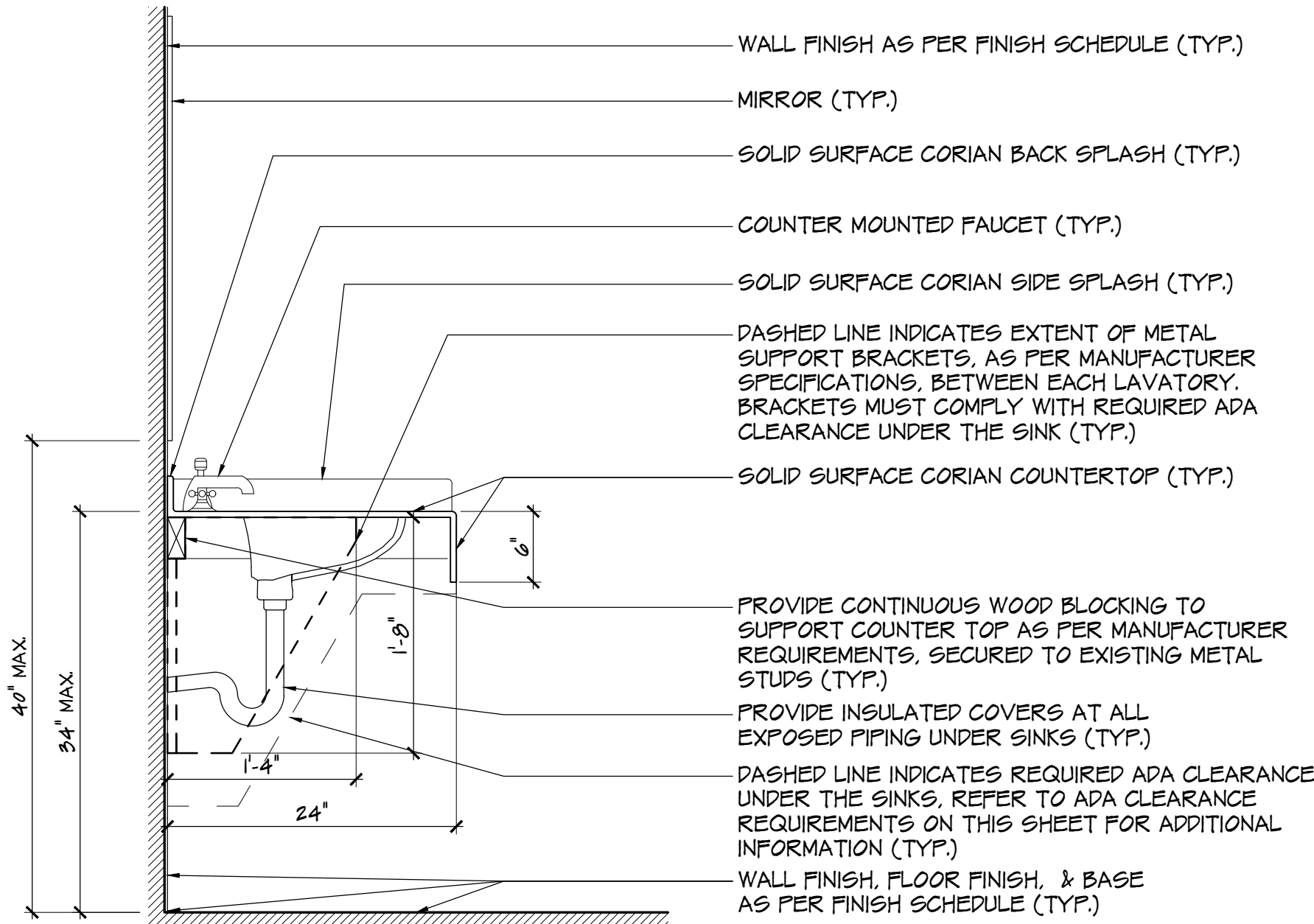
ACCESSORIES: "BRADLEY CORPORATION", "BAY WEST", "BOBRICK", "RUBBERMAID", REFER TO PLUMBING DRAWINGS

H.C. GRAB BAR NOTES

1. PROVIDE CONTINUOUS STAINLESS STEEL WALL MOUNTING KIT AND ANCHORING DEVICES. FIELD VERIFY FOR EXACT NUMBER AND TYPE OF GRAB BARS, MOUNTING KITS REQUIRED (TYP.).
2. PROVIDE SOLID BLOCKING AS REQUIRED FOR GRAB BARS ETC. CONTRACTOR TO VERIFY EXACT LOCATION(S) IN FIELD (TYP.).
3. ALL HARDWARE AND ACCESSORIES TO BE STAINLESS STEEL (TYP.).

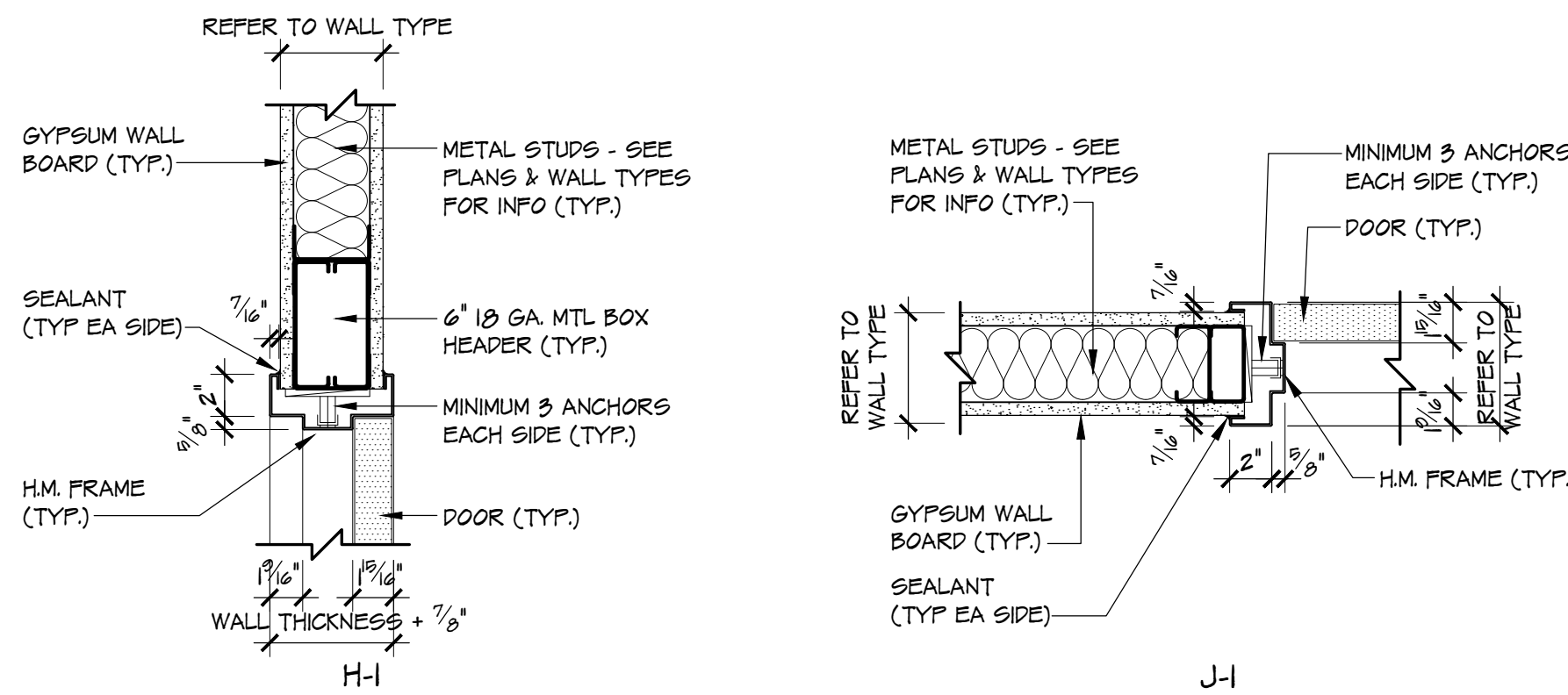
NOTES

1. G.C. TO PROVIDE AND INSTALL ALL ACCESSORIES, G.C. TO PROVIDE FULL SHOP DRAWINGS FOR ALL TOILET ROOM ACCESSORIES (TYP.).
2. ALL TOILET ROOM FIXTURES AND ACCESSORIES TO BE INSTALLED IN COMPLIANCE WITH ICC/ANSI A117-2009 AND N.J.U.C.C. "BARRIER FREE" AND ADA REQUIREMENTS (TYP.).
3. G.C. TO PROVIDE ALL RELATED ACCESSORIES REQUIRED TO COMPLETE THE INSTALLATION OF ALL FIXTURES & ACCESSORIES (TYP.).
4. ALL FAUCETS ARE TO BE ADA COMPLIANT W/ A MAX. GPM OF 0.5 (TYP.).
5. PROVIDE SOLID SUPPORT AT WALLS FOR FIXTURES AND ACCESSORIES AS REQUIRED BY MANUFACTURER, 200 LB. FULL PRESURE (TYP.).
6. G.C. IS TO REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT PRIOR TO INSTALLATION FOR ALTERNATE INSTALLATION LOCATIONS (TYP.).
7. G.C. TO INSTALL PROPOSED FLOOR FINISH TO PROVIDE POSITIVE DRAINAGE TO THE PROPOSED FLOOR DRAIN LOCATION (TYP.).



4 RESTROOM COUNTER DETAIL

SCALE: 1" = 1'-0"



5 HEAD JAMB AND SILL DETAILS

SCALE: 1/2" = 1'-0"

DOOR SCHEDULE										
NO.	ROOMS	TYPE	DOOR SIZE	MAT'L	RATING	FRAME				HDW. SET
						TYPE	MAT'L	H	J	S
001	CLASSROOM 001	D-I	15'6" x 3'-0" x 7'-0"	HOLLOW METAL	B - LABEL	F-I	H.M.	H-I	J-I	S-2
002	CORRIDOR 002	D-I	15'6" x 3'-0" x 7'-0"	HOLLOW METAL	B - LABEL	F-I	H.M.	H-I	J-I	S-1
003	CLASSROOM 001	D-I	15'6" x 3'-0" x 7'-0"	HOLLOW METAL	B - LABEL	F-I	H.M.	H-I	J-I	S-2
004	LOBBY 004	D-I	15'6" x 3'-0" x 7'-0"	HOLLOW METAL	B - LABEL	F-I	H.M.	H-I	J-I	S-3
005	CORRIDOR 002	D-I	15'6" x 3'-0" x 7'-0"	HOLLOW METAL	B - LABEL	F-I	H.M.	H-I	J-I	S-3

NOTES:

1. ALL EXISTING DOORS AND FRAMES TO REMAIN ARE TO BE CLEANED AND PAINTED
2. SEE ALTERNATE #4 - FOLDING PARTITION ON SHEET A-4

ROOM FINISH SCHEDULE							
RM#	NAME	FLOOR		BASE	WALLS		CEILING
		MAT'L	FINISH		MAT'L	FINISH	
001	PROPOSED CLASSROOM (BASE BID)	CONCRETE	CPT-1	B-1	GWB	FT-1 / FT-2	ACT-1
002	CORRIDOR (ALTERNATE #2)	CONCRETE	LVT-1	B-1	GWB	FT-1	ACT-1
003	OFFICE (BASE BID)	CONCRETE	CPT-1	B-1	GWB	FT-1	ACT-1
004	LOBBY (ALTERNATE #1)	CONCRETE	LVT-1	B-1	GWB	FT-1	ACT-1
005	MEN'S ROOM (ALTERNATE #3)	CONCRETE	CT-1	CT-2	GWB	CT-2	ACT-1
006	WOMEN'S ROOM (ALTERNATE #3)	CONCRETE	CT-1	CT-2	GWB	CT-2	ACT-1

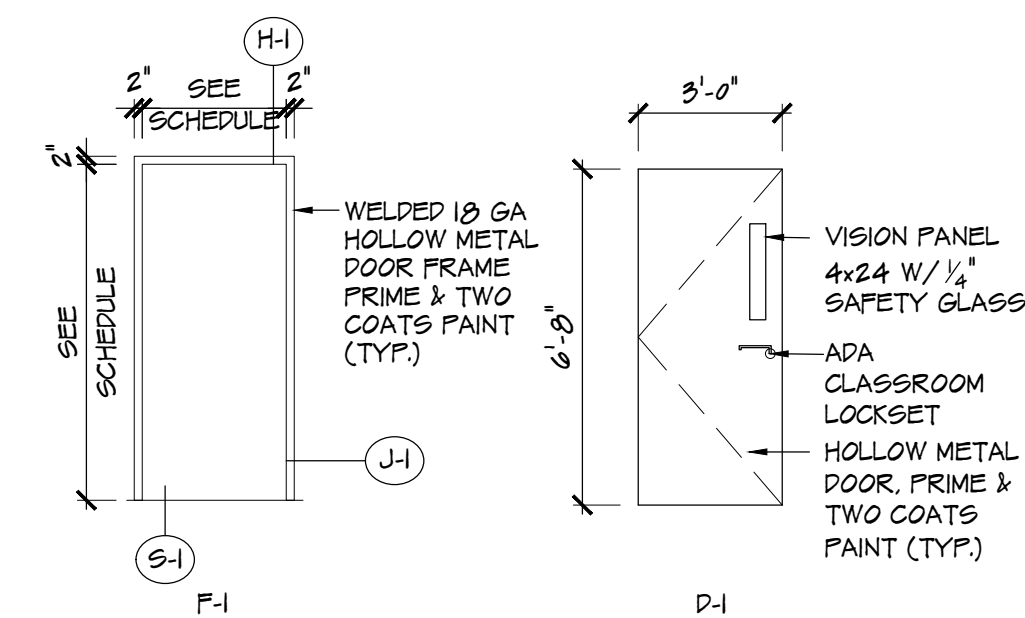
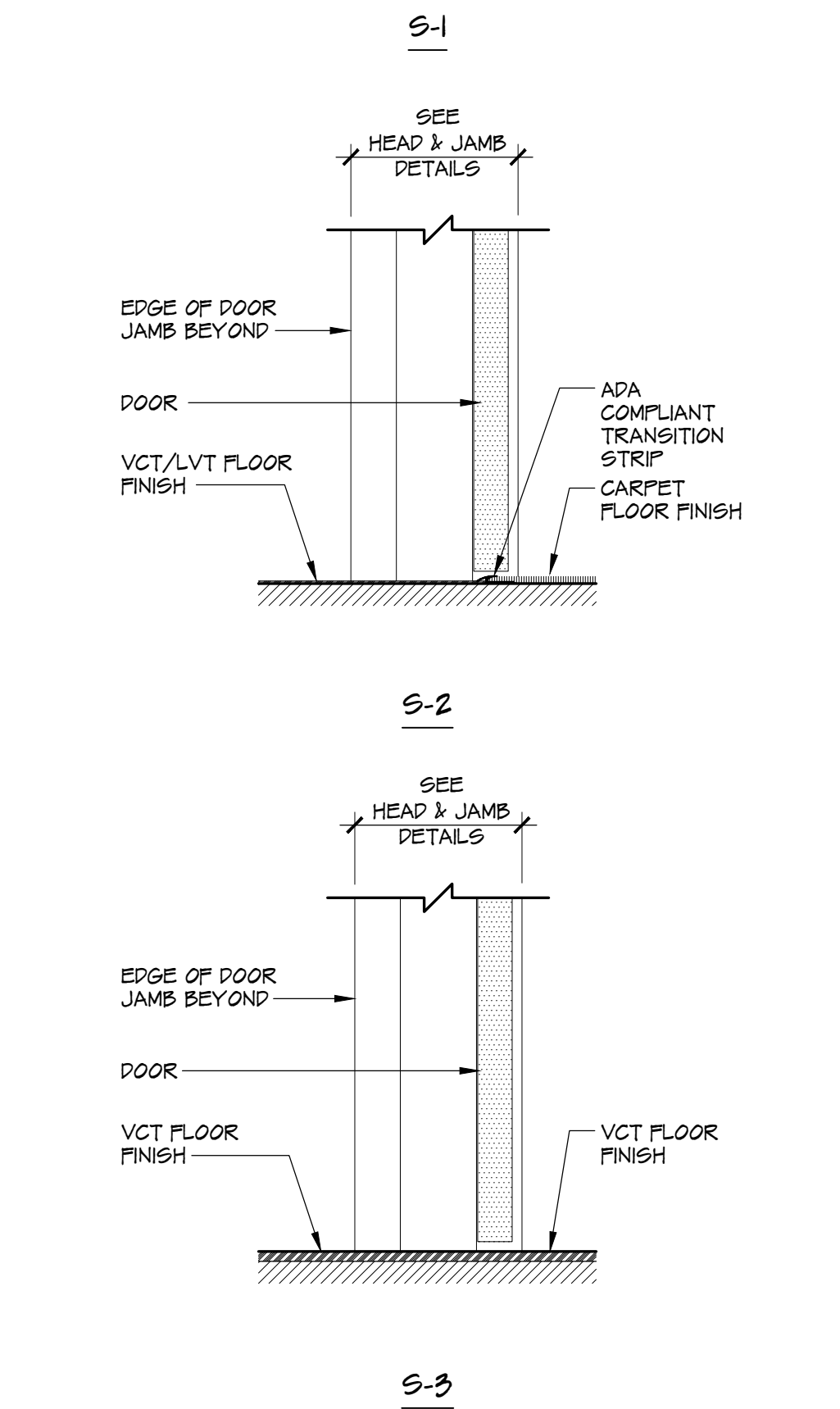
LEGEND

CPT-1	"SHAW CONTRACT" BLUR TILE 18"x36" 60876 CARPET TILE
B-1	STAINED WOOD BASE MOLDING TO MATCH EXISTING CLASSROOM (TYP.)
CT-1	"DALILE" 18"x18" MARBLE FALLS CERAMIC FLOOR TILE
CT-2	"DALILE" 6"x6"x3/8" MARBLE FALLS CERAMIC WALL TILE W/ BULLNOSE
LVT-1	"ARMSTRONG" NATURAL CREATION CLASSICS (WOOD LOOK) LVT
ACT-1	"USG" 24"x24" RADAR BASIC ACOUSTICAL PANELS 210 W/ "USG" DOWN DPL FIRE RATED GRID SYSTEM 16/16" & HOLD DOWN CLIPS

GWB	EXISTING GYPSUM BOARD AND/OR NEW "USG" 5/8" (T) IMPACT RESISTANT TYPE "X" GYPSUM BOARD, MOISTURE RESISTANT TYPE AT RESTROOM AND KITCHENETTE AREA
FT-1	"SHERWIN WILLIAMS" PAINT. (1) COAT PRIMER (2) COATS FINISH
FT-2	"SHERWIN WILLIAMS" PAINT. (1) COAT PRIMER (2) COATS FINISH (ACCENT WALL. SEE ELEVATIONS FOR LOCATION)

ROOM FINISH GENERAL NOTES

1. ALL MANUFACTURERS/PRODUCTS LISTED IN THE ROOM FINISH SCHEDULE ARE A DESIGN STANDARDS FOR PERFORMANCE CRITERIA (BASIS OF DESIGN). SUBSTITUTIONS/EQUALS WILL BE ALLOWED WITH PRIOR ARCHITECT/OWNER APPROVAL, REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION (TYP.).
2. G.C. TO SUBMIT FULL SHOP DRAWINGS FOR ALL FINISH SYSTEMS & RELATED ITEMS FOR OWNER REVIEW, APPROVAL, AND SELECTION PRIOR TO CONSTRUCTION (TYP.).
3. COLOR/PATTERN AS SELECTED BY ARCHITECT/OWNER FROM ALL AVAILABLE STANDARD COLORS AND PATTERNS (TYP.).



6 DOOR DETAILS

SCALE: 1/4" = 1'-0"

HARDWARE SETS		ALL LOCK SETS ARE TO BE 10" MAX CYLINDRICAL W/ 1000 POWER TRANSFER OR HINGE. MUST BE TIED BACK TO EXISTING ACCESS CONTROL PANEL. POWER AS REQUIRED. CLOSERS ARE TO BE SARGANT 351 (TYP.).
1 - INTERIOR CLASSROOM	2 - ALARMED DOOR	
1 CONTINUOUS HINGE	1 CONTINUOUS HINGE	10" MAX INCORPORATES ALL ACCESS CONTROL COMPONENTS.
1 CLASSROOM LOCKSET	1 CLASSROOM LOCKSET	
1 DOOR CLOSER	1 DOOR CLOSER	10" MAX INCORPORATES ALL ACCESS CONTROL COMPONENTS.
1 KICK PLATE	1 KICK PLATE	
1 MOP PLATE	1 MOP PLATE	10" MAX INCORPORATES ALL ACCESS CONTROL COMPONENTS.
1 WALL BUMPER	1 WALL BUMPER	
1 GASKETING SET	1 GASKETING SET	10" MAX INCORPORATES ALL ACCESS CONTROL COMPONENTS.



ARCHITECTURE

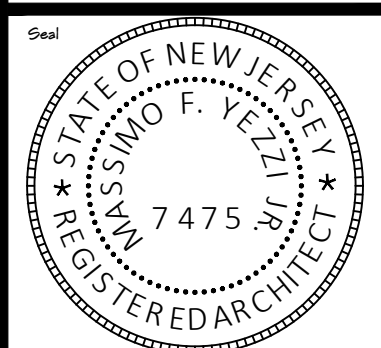
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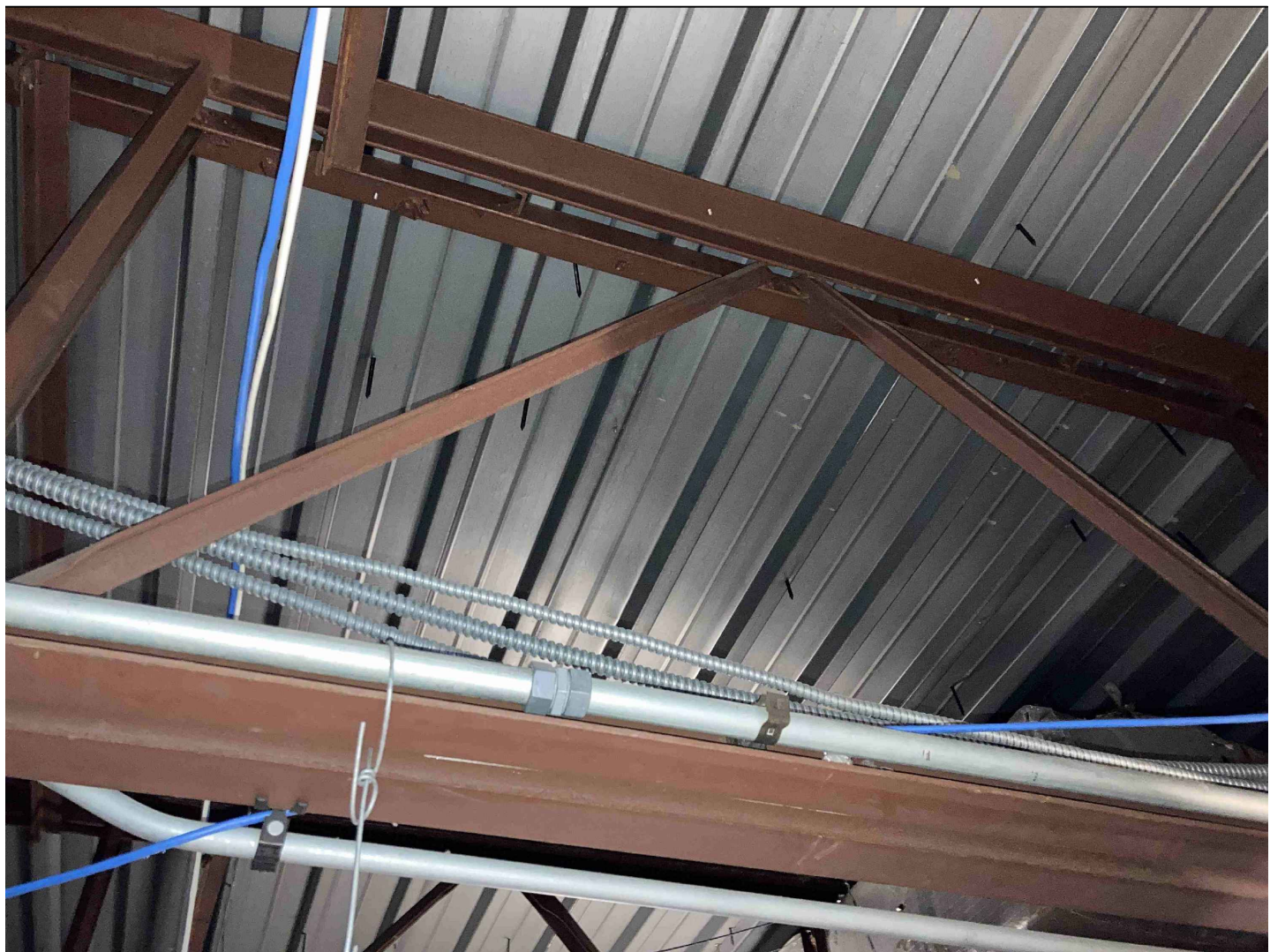
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RESTROOM ELEVATIONS
DETAILS, & FINISH SCHEDULE

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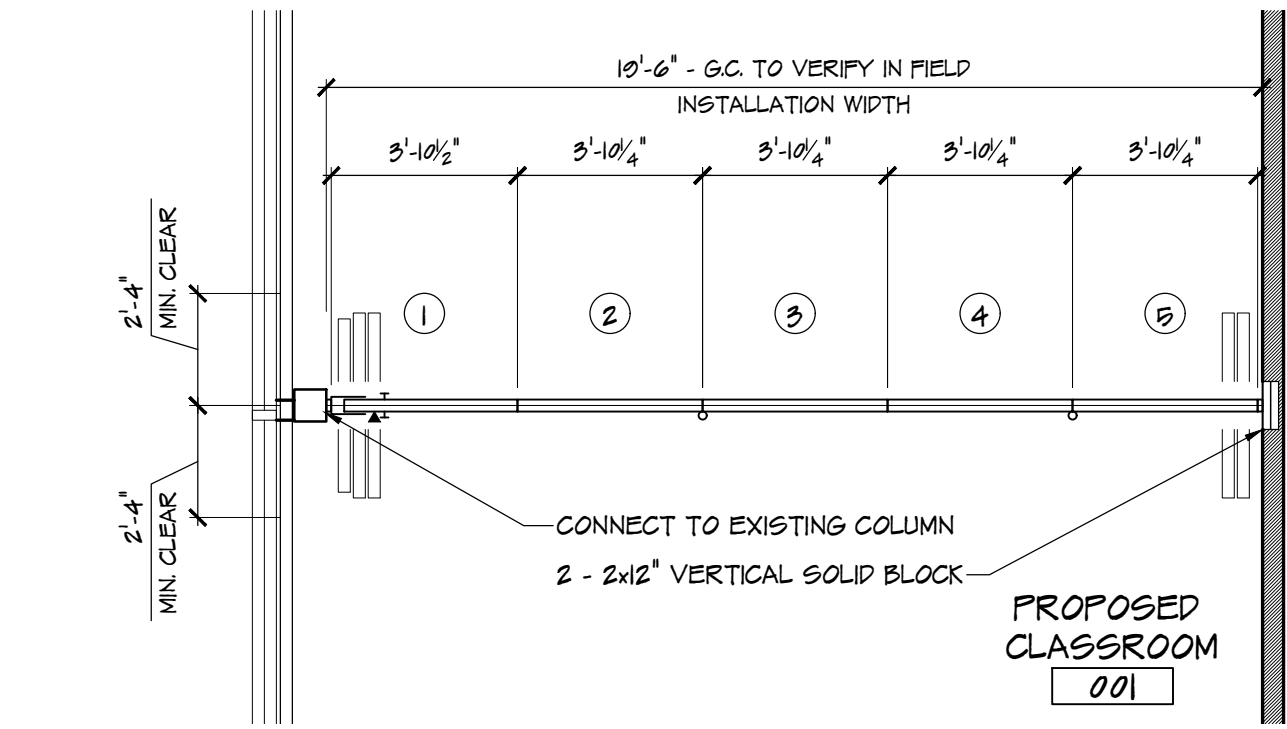
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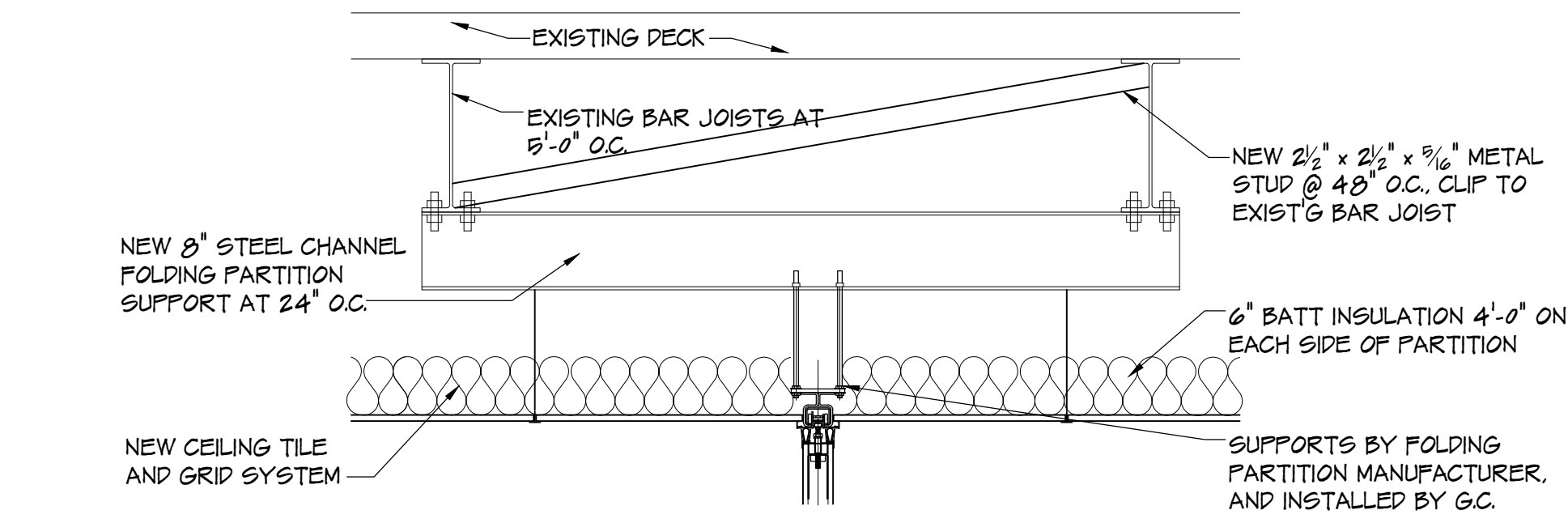
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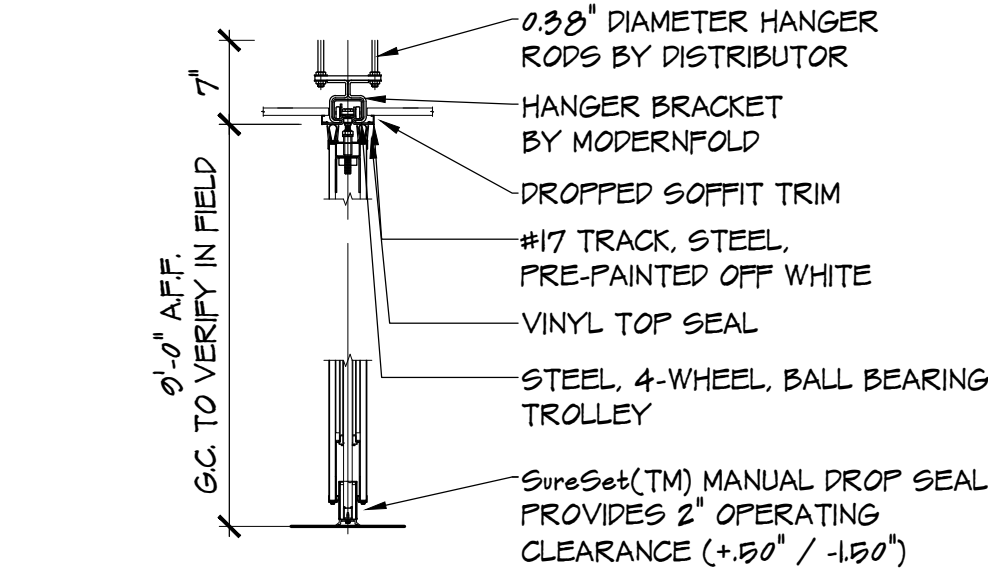
1 EXISTING CONDITION PHOTOGRAPHS
SCALE: NOT TO SCALE



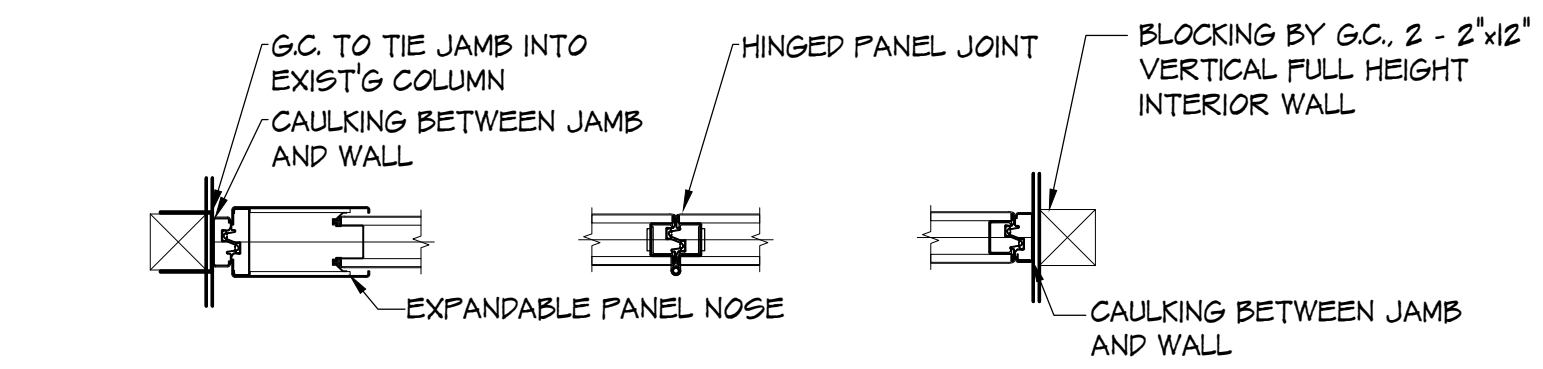
2 PANEL LAYOUT PLAN
SCALE: 1/4" = 1'-0"



3 TYPICAL STRUCTURAL SUPPORTS FOR NEW FOLDING PARTITION
SCALE: 3/4" = 1'-0"



4 TYP. PARTITION SECTION
SCALE: 3/4" = 1'-0"



5 PARTITION JAMB DETAILS
SCALE: 3/4" = 1'-0"

- NOTES:
1. MINIMUM DIMENSIONS PROVIDE FOR CLEARANCE FROM ALL ADJACENT CONSTRUCTION/FIXTURES FOR ADJUSTMENT, OPERATION, AND SAFETY.
 2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL SUPPORT, ADJOINING CONSTRUCTION AND TRIM.
 3. WALL CONSTRUCTION AT JAMBS MUST BE ADEQUATE FOR SECURING JAMBS, AND WITHSTANDING FORCE EXERTED BY THE EXPANDABLE PANEL.
 4. AFS INDICATES ADJUSTABLE FIXED SEALS.
 5. HINGE POINTS ARE SHOWN FOR DIAGRAMMATIC PURPOSES ONLY.
 6. REFER TO MODERNFOLD ASC37 DESIGN GUIDE FOR SEISMIC BRACING REQUIREMENTS.



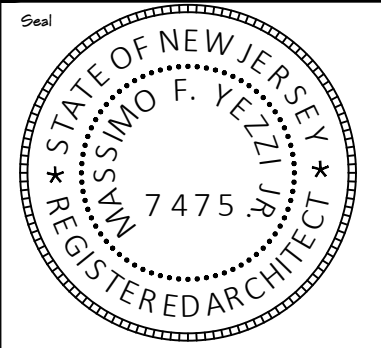
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BUILDING RENOVATION
HRC CLASSROOM

GALLOWAY
NEW JERSEY

101 VERA KING FARRIS DR.
ATLANTIC COUNTY

Project

Issued For Bid
03/08/2022

Revised By Date

Drawn By
SK

Checked By
MPY

Sheet Title
FOLDING PARTITION DETAILS
ALTERNATE #4

Sheet No.
A-4

Project No.
YC21132