

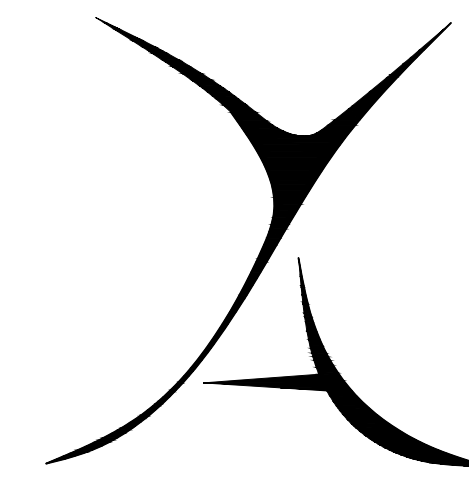
2022
 PROPOSED RENOVATIONS TO:
**STOCKTON UNIVERSITY
 RESIDENTIAL BUILDING**
 PROPOSED MAIL ROOM & TENANT SPACE
 SOUTH ALBANY AVE, ATLANTIC CITY



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 Planner No. 2508 -NJ
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 Architect No. A10544800 -NJ
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 Int. Designer No. D0000100 -NJ
 Int. Designer No. 37166 -NCIDP

Seal

SITE AERIAL



AREA OF WORK

PROJECT SCOPE

AT THE ATLANTIC CITY CAMPUS RESIDENCE HALL, THE UNIVERSITY IS PROPOSING TO CONVERT EXISTING MULTIPURPOSE SPACE INTO NEW TENANT OFFICES AND MAILROOM FOR THE UNIVERSITY.

1. REMOVING EXISTING WALLS, ELECTRICAL DEVICES, CEILING GRID AND DEVICES AS REQUIRED, AND MODIFICATIONS TO THE EXISTING MECHANICAL SYSTEM.
2. PARTIAL DEMOTION OF EXISTING FINISHES TO ACCOMMODATE A NEW RESTROOM TILE.
3. PROVIDING NEW WALLS, ELECTRICAL DEVICES, CASEWORK, PLUMBING FIXTURES, AND DOORS.
4. RELOCATING EXISTING MECHANICAL AND LIGHTING DEVICES AS REQUIRED.
5. RELOCATE ALARMS AS REQUIRED.
6. EXISTING SPRINKLER SYSTEM TO REMAIN ADJUST AS REQUIRED.

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 SOUTH ALBANY AVE
 ATLANTIC CITY,
 NEW JERSEY

Issued For Bid 11/03/22

Revised By Date

Sheet Title

COVER

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Checked By MPY

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Sheet No.

COVER

Project No.

YC22121

D:\Nisk Scale Drawings - Field sheet. All dimensions prior to start of construction.

PROPOSED RENOVATIONS TO: STOCKTON UNIVERSITY RESIDENTIAL BUILDING MAIL ROOM & TENANT SPACE

2022

SOUTH ALBANY AVE
ATLANTIC COUNTY
ATLANTIC CITY
NEW JERSEY

PLAN REVIEW DATA

APPLICABLE CODES AND STANDARDS

UNIFORM CONSTRUCTION CODE STATE OF NEW JERSEY, LATEST EDITION AND ALL OF ITS SUBCODES AND AMENDMENTS (N.J. REHAB SUB CODE, SUBCHAPTER 6)
NEW JERSEY REHABILITATION SUBCODE 9:23-6
INTERNATIONAL BUILDING CODE / 2018 (NEW JERSEY EDITION)
INTERNATIONAL RESIDENTIAL CODE / 2018 (NEW JERSEY EDITION)
INTERNATIONAL MECHANICAL CODE / 2018
INTERNATIONAL FUEL GAS CODE / 2018
ASHRAE 90.1 - 2016 (COMMERCIAL)
INTERNATIONAL ENERGY CONSERVATION CODE / 2018 (NEW JERSEY EDITION) (RESIDENTIAL)
NATIONAL STANDARD PLUMBING CODE / 2018
NATIONAL ELECTRIC CODE / 2017
ANSI A117-2009
WFCM (WOOD FRAMED CONSTRUCTION) HIGH WIND AREAS FOR ONE & TWO FAMILY DWELLINGS

OCCUPANCY CLASSIFICATION

USE GROUP B - EXISTING - NO CHANGE
OCCUPANT LOAD EXISTING - NO CHANGE

CONSTRUCTION CLASSIFICATION

PER TABLE (504.3 & 504.4) SECTION (506.2)

TYPE 2B - EXISTING - NO CHANGE
ALLOWANCE AREA 60,000 SQ. FT. - EXISTING - NO CHANGE
ALLOWANCE HEIGHT 78'-0" / 3 STORIES - EXISTING - NO CHANGE

BUILDING ELEMENT

FIRE RESISTANCE RATINGS

PER TABLE (601) SECTION (602)

• STRUCTURAL FRAME (s) (INCLUDING COLUMNS, GIRDERS, TRUSSES)	EXIST
• BEARING WALLS EXTERIOR (t) INTERIOR	EXIST EXIST
• NON BEARING WALLS & PARTITIONS (TABLE 602) EXTERIOR INTERIOR (s)	EXIST EXIST
• FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	EXIST
• ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)	EXIST
• FIRE WALLS (706.4)	EXIST
• FIRE BARRIERS (707.3.10)	EXIST
• FIRE PARTITIONS (708.3)	EXIST
• SHAFTS (713.4)	EXIST
• EXIT ACCESS CORRIDORS (1020.1)	EXIST

EXISTING - NO CHANGE

BUILDING CHARACTERISTICS

NUMBER OF STORIES	EXISTING - NO CHANGE
HEIGHT OF STRUCTURE	EXISTING - NO CHANGE
AREA OF RENOVATION	+/- 3,225 SQ. FT.
BUILDING VOLUME	EXISTING - NO CHANGE

BUILDING DESIGN LOADS

PER CHAPTER 16

FLOORS	100 PSF LL (CORRIDORS) 50 PSF LL (OFFICES)
ROOF	20 PSF LL MIN
GROUND SNOW LOADS	30 PSF
BASIC WIND SPEED	130 MPH

EXISTING
NO CHANGE

AUTOMATIC SPRINKLER SYSTEMS

PER SECTION 908

THIS AREA OF WORK IS EQUIPPED WITH AN EXISTING AUTOMATIC SPRINKLER SYSTEM. THE EXISTING SYSTEM IS TO BE MODIFIED AS REQUIRED TO SUIT NEW LAYOUT. (MINIMAL CHANGES) EXISTING SYSTEM WILL REMAIN OPERATIONAL DURING CONSTRUCTION.

INTERIOR FINISH NOTES

INT. FINISHES SHALL COMPLY W/ SECTION (903.1) & SHALL HAVE A FLAME SPREAD RATING AS OUTLINED BELOW:

B	REQ'D VERT. EXITS AND PASSAGEWAYS	B	FLAME SPREAD 0-25	SMOKE DEVELOPES 0-450
	EXIT ACCESS CORRIDORS	C	FLAME SPREAD 24-75	SMOKE DEVELOPES 0-450
	ROOMS AND ENCLOSED SPACES	C	FLAME SPREAD 74-200	SMOKE DEVELOPES 0-450

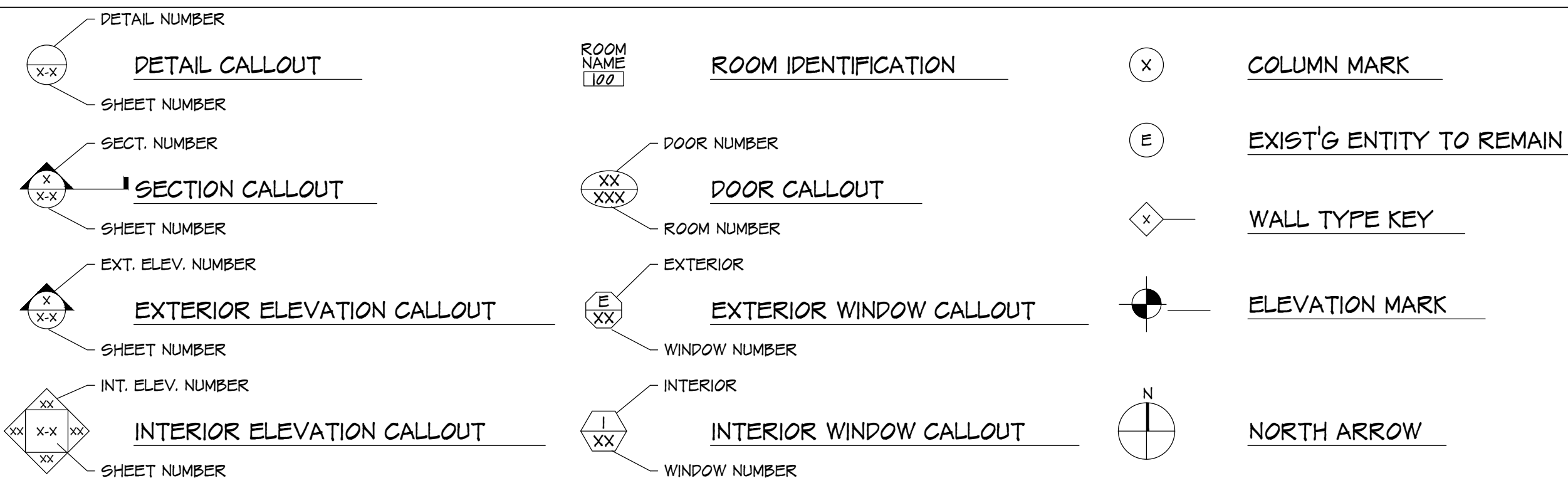
ALL INTERIOR FINISHES AT BATHROOMS SHALL BE MOISTURE RESISTANT & WASHABLE

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR	A.F.F.	FIRE EXTINGUISHER	F.E.	MASONRY	MAS.	SAFETY	SFTY.
ACOUSTICAL CEILING TILE	A.C.T.	FLOOR	FL./FLR.	MASONRY OPENING	M.O.	SCHEDULE	SCHED.
AIR CONDITIONING	A/C	FLOOR DRAIN	F.D.	MAXIMUM	MAX.	SECTION	SECT.
ALTERNATE	ALT.	FLOOR SINK	F.S.	MECHANICAL	MECH.	SOLID CORE	S.C.
ALUMINUM	ALUM	FLOURESCENT	FLUM	MEMBRANE	MEMB.	SHEET	SHIT.
APPROVED	APPD./APP'D	FOOTING	FTG	MINIMUM/MINUTE	MIN	SIMILAR	SIM.
AT	@	FURNISH	FURN.	MISCELLANEOUS	MISC.	SPECIFICATIONS	SPEC.
		FURRING	FURR.			SQUARE	SQ.
BLOCK	BLK.			NORTH	N	SQUARE FOOT	S.F.
BLOCKING	BLKG.	GAUGE	GA.	NOMINAL	NOM.	STEEL	S.S.
BOARD	BD.	GALVANIZED	GALV.	NOT IN CONTRACT	NIC.	STORAGE	STOR.
BUILDING	BLDG.	GENERAL GENERATOR	G.G.	NOT TO SCALE	NT.S.	STORAGE CLOSET	ST. CL.
		GENERAL CONTRACTOR(OR)	G.C.	NUMBER	NO.		
CARPET	CPT.	GLASS, GLAZING	GL.	OFFICE	OFF.	TOTAL LOAD	TL.
CEILING	CLG.	GRADE	GR.	ON CENTER	OC.	TOP OF DECK	T.O.D.
CENTERLINE	C.	GYPSUM WALLBOARD	G.W.B./GYP. BD.	OPENING	OPNG.	TOP OF FOOTING	T.O.F.
CERAMIC	CER.	GROUND FAULT INTERRUPTER	G.F.I.	OUTSIDE DIAMETER (DIMENSION)	OD.	TOP OF MASONRY	T.O.M.
CERAMIC TILE	C.T.			OVERHEAD	OH.	TOP OF PIER	T.O.P.
COATS	C.TS.	HARDWARE	HW./HW'R.			TOP OF SLAB	T.O.S.
COLD WATER	C.W.	HARDWOOD	HWD.			TOP OF STEEL	T.O.STL.
COLUMN	COL.	HEATING/VENTILATING/AIR	H.V.A.C.	PAINT	PT.	TOP OF WALL	T.O.W.
CONCRETE	CONC.	CONDITIONING	COND.	PAINTED	PTD.	TYPICAL	TYP.
CONCRETE MASONRY UNIT	C.M.U.	HEIGHT	HT.	PARTITION	PARTN.	TREAD	T.
CONTINUOUS/CONTINUE	CONT.	HIGH POINT	H.P.	PARALLEL STRAND LUMBER	P.S.L.		
CONTRACTOR	CONTR.	HOLLOW CORE	H.C.	PLASTER	PLAS.		
CONTROL JOINT	C.J.	HOLLOW METAL	H.M.	PLASTIC LAMINATE	PLAM.	UNDERWRITERS LABORATORIES	UL.
CLEAN OUT	C.O.	HOLLOW METAL FRAME	H.M.F.	PLATE	PL.	UNFINISHED	UNF.
		HOSE BIB	H.B.	PLUMBING	PLBG.	UNIFORM BUILDING CODE	U.B.C.
DEAD LOAD	DL.	HOT WATER	H.W.	POLYVINYL CHLORIDE	P.V.C.	VINYL COMPOSITION TILE	V.C.T.
DEMOLISH, DEMOLITION	DEMO.	HOUR	HR.	POUNDS PER CUBIC FOOT	P.C.F.	VINYL WALL COVERING	V.W.C.
DIAMETER	DIA./Ø			POUNDS PER LINEAL FOOT	P.L.F.	VERTICAL	VERT.
DIFFUSER	DIFF.	INSULATION	INSUL.	POUNDS PER SQUARE FOOT	P.S.F.	VESTIBULE	VEST.
DIMENSION	DIM.	INTERIOR	INT.	PREFABRICATED	PREFAB.	VERIFY IN FIELD	V.I.F.
DOWN	DN.	INVERT	INV.			WATER CLOSET	W.C.
DITTO	"do"	JOINT	JT.	QUARRY TILE	Q.T.	WEATHERPROOF, WEATHERPROOF	W.P.
		EQUAL	EQ.			WELDED WIRE FABRIC	W.W.F.
EQUIPMENT	EQUIP.	EQUIP.	EQUIP.	LAMINATE(D)	LAM.	WELDED WIRE MESH	W.W.M.
EXISTING	EXIST./EXIST'G	LAMINATED VENEER LUMBER	L.V.L.	REFERENCE	REF.	WIRE GLASS	W.G.L.
EXTERIOR	EXT.	LAVATORY	LAV.	REINFORCE, REINFORCING	REINF.	WITH	W/
		LIVE LOAD	LL	REQUIRED	REQ./REQ'D.	WITHOUT	W/O
FLOOR CLEAN OUT	F.C.O.	LOUVER	LVR./LOUV.	RISER	R.	WOOD	WD.
FEET, FOOT	FT.			ROOF DRAIN	R.D.		
FINISH	FIN.	MAINTENANCE/MAINTAIN	MAINT.	ROUGH OPENING	R.O.		
FINISH FLOOR	FF.	MANUFACTURER	MFR./MANUF.				

NOTE: THIS LIST REPRESENTS ABBREVIATIONS THAT MAY OR MAY NOT APPEAR IN THESE DOCUMENTS. CONTACT YEZZI ASSOCIATES FOR ANY CLARIFICATIONS REGARDING THE ABBREVIATIONS

SYMBOL KEY



NOTES

- DO NOT SCALE DRAWINGS.
- FIELD CHECK ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- WHERE THERE MAY BE A CONFLICT BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECTS WHO WILL MAKE THE NECESSARY REVISIONS.
- PLANS TO CONFORM WITH THE STRUCTURE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, LATEST EDITION.
- ALL EXISTING WORK TO REMAIN MUST BE PROTECTED. ANY SUCH WORK DAMAGED IN THE COURSE OF CONSTRUCTION WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL ITEMS TO BE REMOVED AND REUSED THAT ARE DAMAGED AND NOT REUSABLE SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN THE THERMAL AND ACOUSTICAL PROPERTIES OF THE BUILDING DURING CONSTRUCTION.
- AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION RUBBLE FROM THE SITE.
- ALL ITEMS MARKED ON THE DRAWINGS TO BE REMOVED SHALL ALSO MEAN PATCH TO MATCH SURROUNDING CONDITIONS.
- ALL TRADES TO COORDINATE THEIR WORK SO THERE WILL BE NO DUPLICATION OF WORK.
- ALL TRADES TO DO THEIR OWN CUTTING AND PATCHING UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS PRIOR TO BIDDING AND STARTING CONSTRUCTION & TAKE PHOTOGRAPHS OF ALL EXISTING CONDITIONS. ANY ALTERATIONS TO EXISTING STRUCTURE REQUIRED FOR PROPER INSTALLATION OF NEW WORK SHALL BE DONE BY THE CONTRACTOR AT HIS OWN EXPENSE, BUT ONLY AS APPROVED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHOULD EXAMINE THE M.E.P. DRAWINGS TO SEE THE EXTENT OF THE ENGINEERING CHANGES TO BE MADE TO THE BUILDING. - IF REQUIRED
- THE CONTRACTOR SHALL PROTECT THE EXISTING BUILDING FROM ANY POSSIBLE WATER DAMAGE. ANY REPAIRS AS A RESULT OF DAMAGE WILL BE PAID BY THE CONTRACTOR.
- ALL EXISTING UTILITIES IN CONFLICT WITH THE WORK SHALL BE TURNED OFF BY THE CONTRACTOR / UTILITY COMPANIES PRIOR TO START OF DEMOLITION / CONSTRUCTION.

SCOPE OF WORK

SCOPE OF WORK

AT THE ATLANTIC CITY CAMPUS RESIDENCE HALL, THE UNIVERSITY IS PROPOSING TO CONVERT EXISTING MULTIPURPOSE SPACE INTO NEW TENANT OFFICES AND MAILROOM FOR THE UNIVERSITY.

- REMOVING EXISTING WALLS, ELECTRICAL DEVICES, CEILING GRID AND DEVICES AS REQUIRED, AND MODIFICATIONS TO THE EXISTING MECHANICAL SYSTEM AS REQUIRED.
- PARTIAL DEMOTION OF EXISTING FINISHES TO ACCOMMODATE A NEW RESTROOM.
- PROVIDING NEW WALLS, ELECTRICAL DEVICES, CASEWORK, PLUMBING FIXTURES, AND DOORS AS INDICATED.
- RELOCATING EXISTING MECHANICAL AND LIGHTING DEVICES AS REQUIRED TO AVOID NEW PARTITIONS.
- RELOCATE ALARMS AS REQUIRED TO AVOID NEW PARTITIONS
- EXISTING SPRINKLER SYSTEM TO REMAIN, ADJUST AS REQUIRED.

WALL TYPE KEY

WALL TYPE ID	GRAPHIC DETAIL (PLAN SECTION)	DESCRIPTION
1		INTERIOR PARTITION WALL 1 HOUR RATED INTERIOR WALL ASSEMBLY UL DESIGN NO. 406 3/8" x 20 GA METAL STUDS @ 16" O.C. PROVIDE (1) LAYER 5/8" (T) TYPE 'X' IMPACT RESISTANT GYP. BD. ON BOTH SIDES (PRIME AND PAINT GYP. BD. FINISH) FULL HEIGHT STUDS @ 48" O.C. W/ GYP. BD. FINISHED 6" ABOVE CEILING PROVIDE FULL THICKNESS BATT INSULATION - R-19
2		INTERIOR PARTITION WALL 3/8" x 20 GA METAL STUDS @ 16" O.C. PROVIDE (1) LAYER 5/8" (T) TYPE 'X' IMPACT RESISTANT GYP. BD. ON BOTH SIDES (PRIME AND PAINT GYP. BD. FINISH) FULL HEIGHT STUDS @ 8'-0" O.C. W/ GYP. BD. FINISHED TO CEILING PROVIDE FULL THICKNESS BATT INSULATION - R-19



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4	EX-1	EXISTING CONDITION PHOTOGRAPHS
5	EG-1	PROPOSED EGRESS PLAN
6	A-1	PROPOSED FLOOR PLAN, FINISH SCHEDULE & WALL SECTIONS
7	A-2	PROPOSED REFLECTED CEILING PLAN
8	A-3	PROPOSED RESTROOM ELEVATIONS & DOOR SCHEDULE
9	A-4	CASEWORK DETAILS

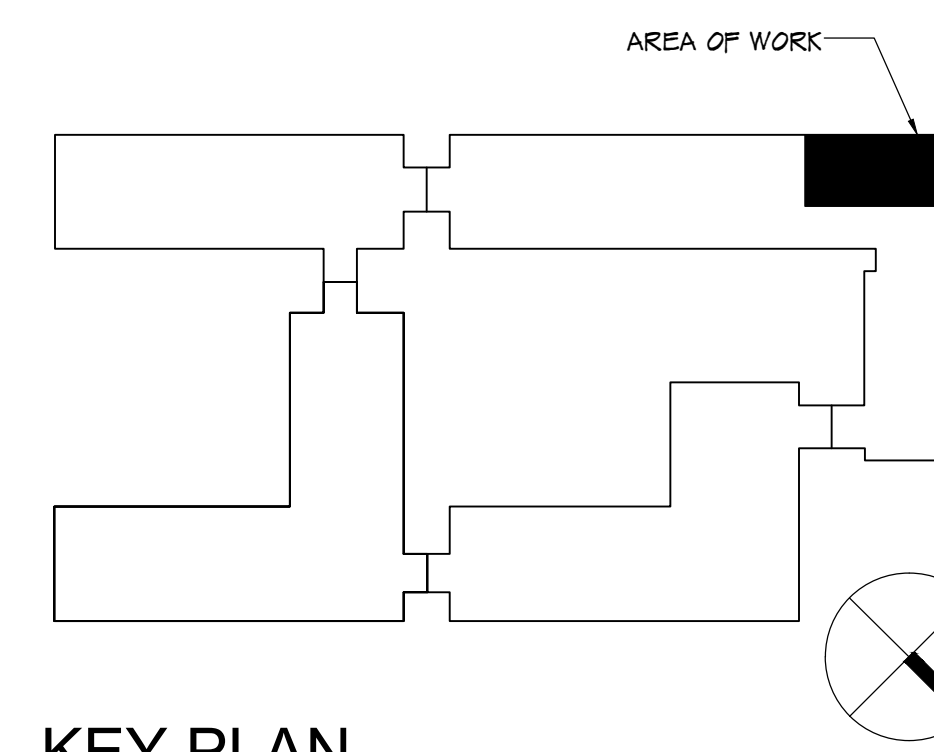
MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS

10	M-0	MECHANICAL COVERSHEET
11	M-1	MECHANICAL DEMOLITION AND PROPOSED WORK PLAN
12	M-2	MECHANICAL EQUIPMENT SCHEDULES AND DETAILS
13	E-0	ELECTRICAL COVERSHEET
14	E-1	ELECTRICAL DEMOLITION AND PROPOSED WORK PLAN
15	P-0	PLUMBING COVERSHEET
16	P-1	PLUMBING DEMOLITION AND PROPOSED WORK PLAN
17	P-2	PLUMBING DETAILS
18	FP-0	FIRE PROTECTION COVER SHEET
19	FP-1	FIRE PROTECTION DEMOLITION AND PROPOSED WORK PLAN

AERIAL PHOTOGRAPH



KEY PLAN



KEY PLAN



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PROPOSED MAIL ROOM &
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PROJECT DATA, CODE RESEARCH, & SCOPE OF WORK

Drawn By

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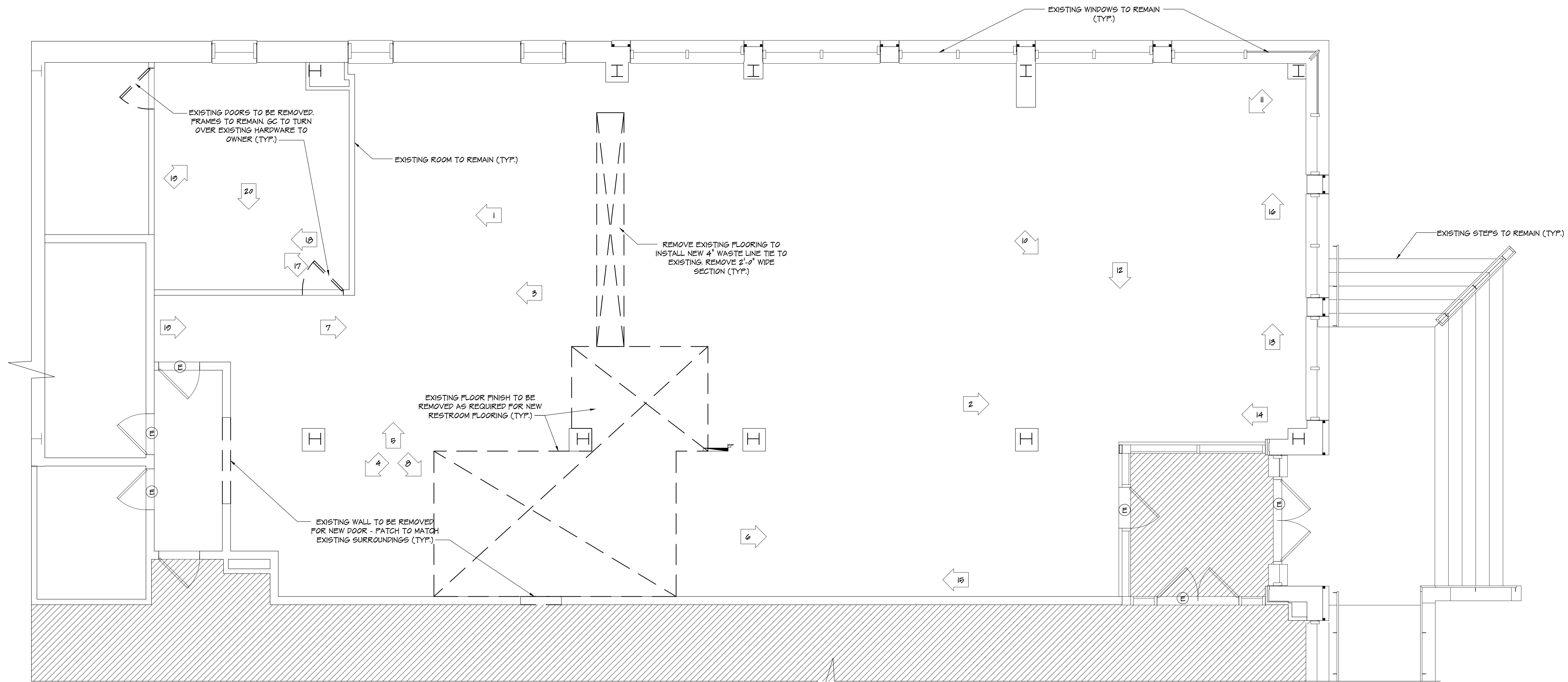
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1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
	EXISTING ITEMS TO REMAIN PROTECT AS REQUIRED
	EXISTING CONSTRUCTION TO BE REMOVED PATCH TO MATCH SURROUNDING CONDITIONS
	NOT IN CONTRACT
	EXISTING PHOTO LOCATION & DIRECTION CALLOUT
	EXISTING DOOR TO REMAIN

NOTE
THE DEMOLITION PLANS INDICATED ON THESE DRAWINGS ARE FOR REFERENCE ONLY TO INDICATE THE EXISTING BUILDING CONDITIONS AT THE TIME OF OUR FIELD INSPECTION. ALL DEMOLITION REQUIRED TO SUCCESSFULLY COMPLETE THIS PROJECT SHALL BE INCLUDED IN THE GENERAL CONTRACTORS SCOPE OF WORK. THE GENERAL CONTRACTOR IS TO COORDINATE THE EXTENT OF DEMOLITION WITH THE ENTIRE SET OF DRAWINGS AND FIELD CONDITIONS. NOT JUST THE DEMOLITION DRAWINGS AND PHOTOGRAPHS.

- EXISTING CEILING, LIGHTING, ALARM SYSTEMS, RETURNS, AND SPRINKLER TO REMAIN ADJUST AS INDICATED.
- EXISTING WALL FINISHES TO REMAIN EXCEPT AS NOTED.
- EXISTING FLOOR FINISHES TO REMAIN EXCEPT AS NOTED.

M.E.P. DEMOLITION NOTE
REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ALL ADDITIONAL REQUIRED DEMOLITION WORK NOT SPECIFICALLY INDICATED ON THESE DRAWINGS.



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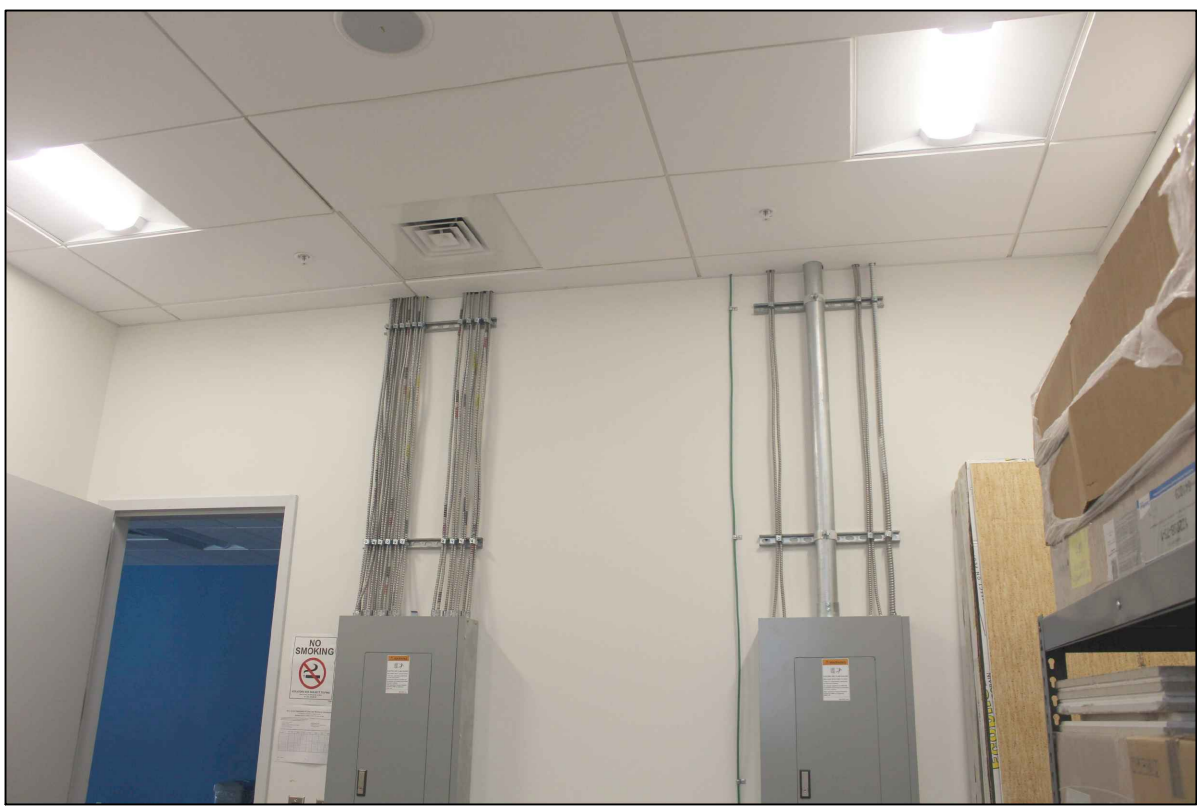
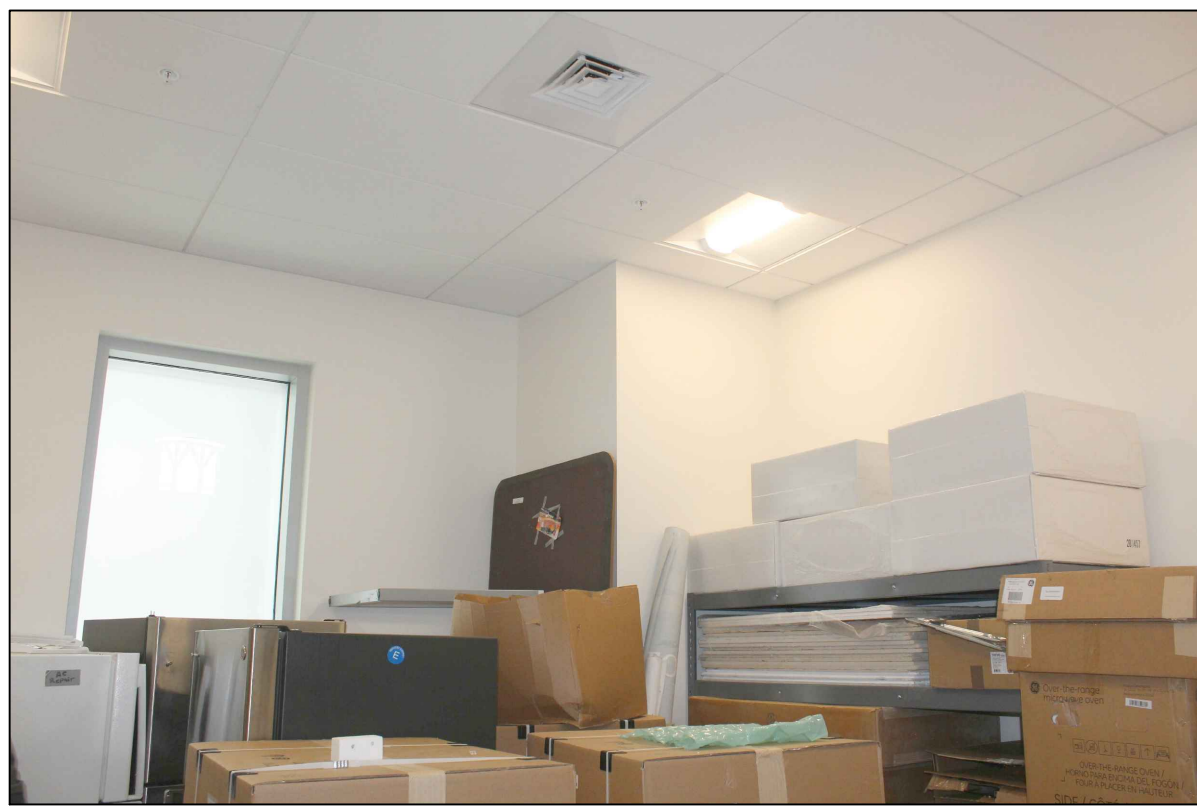
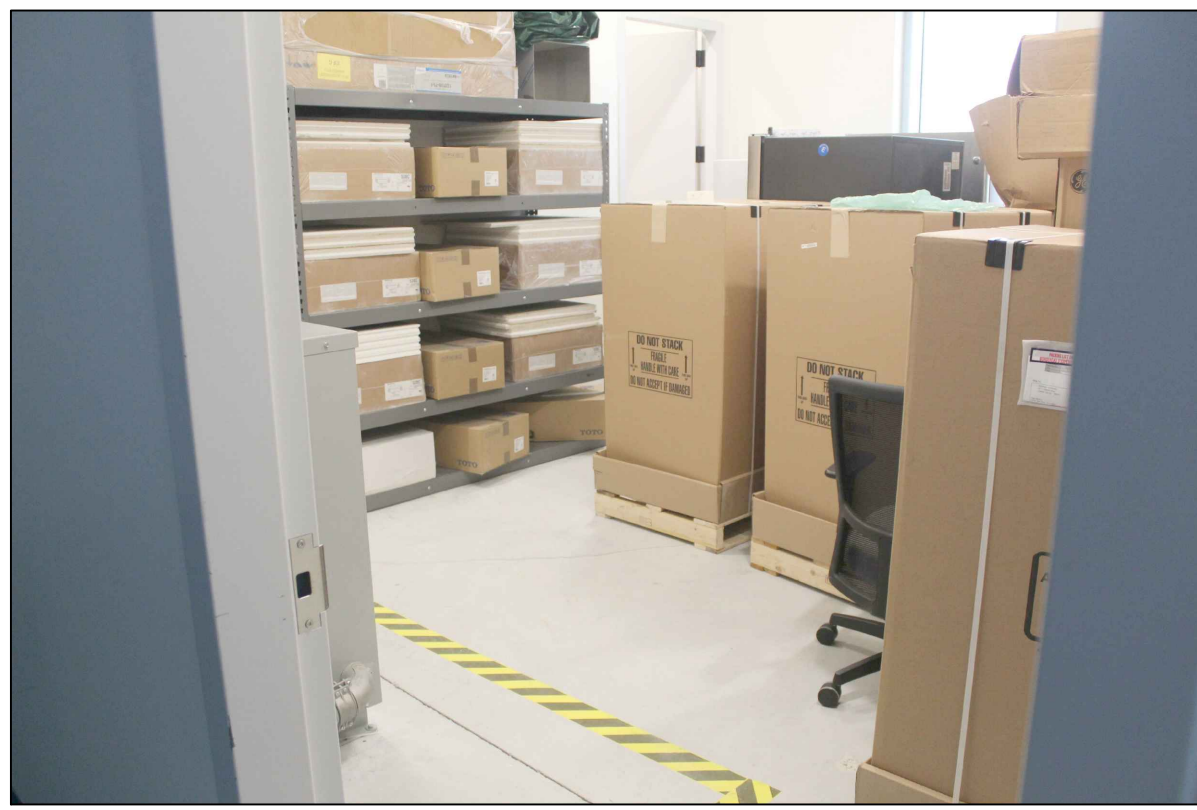
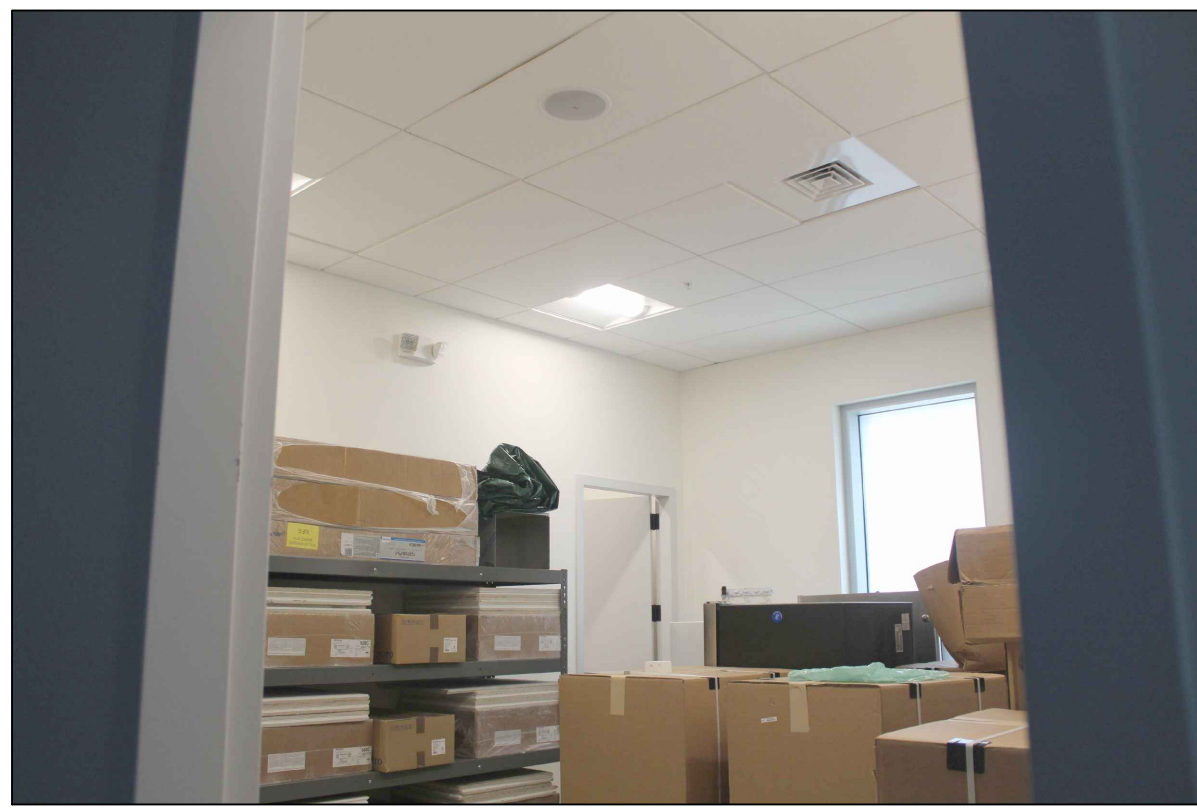
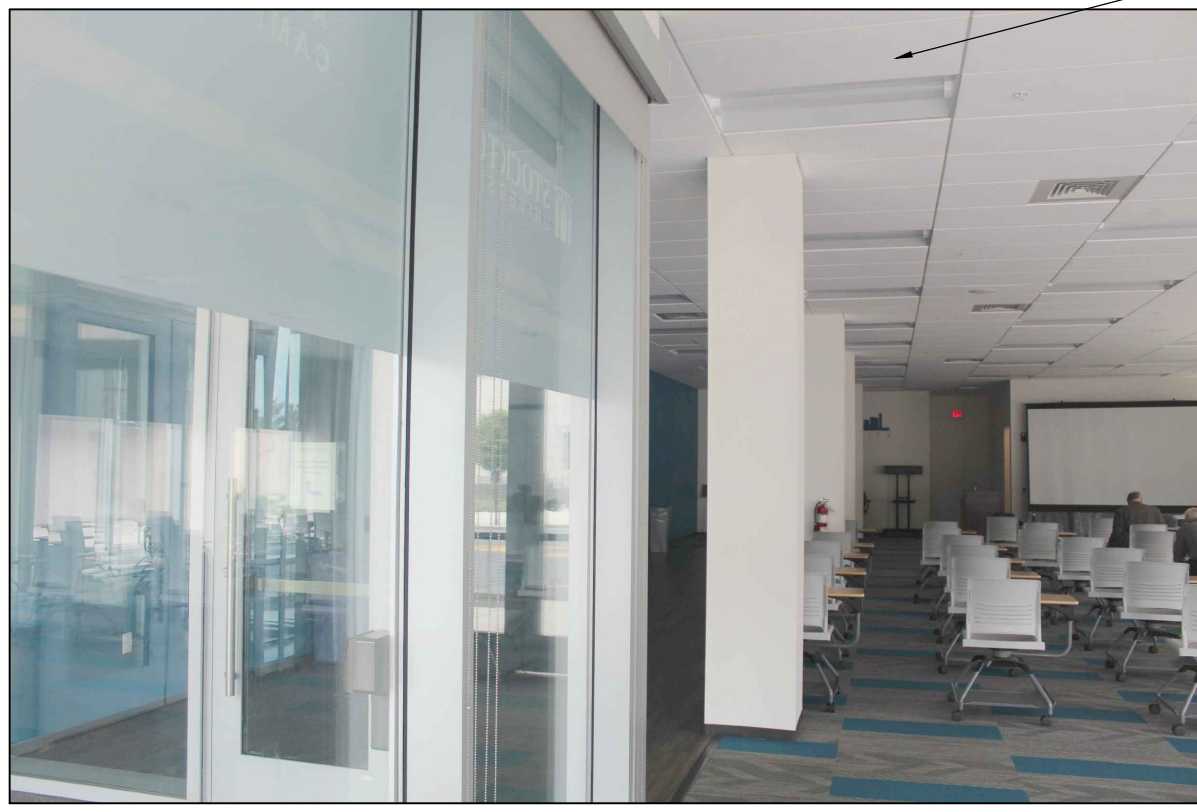
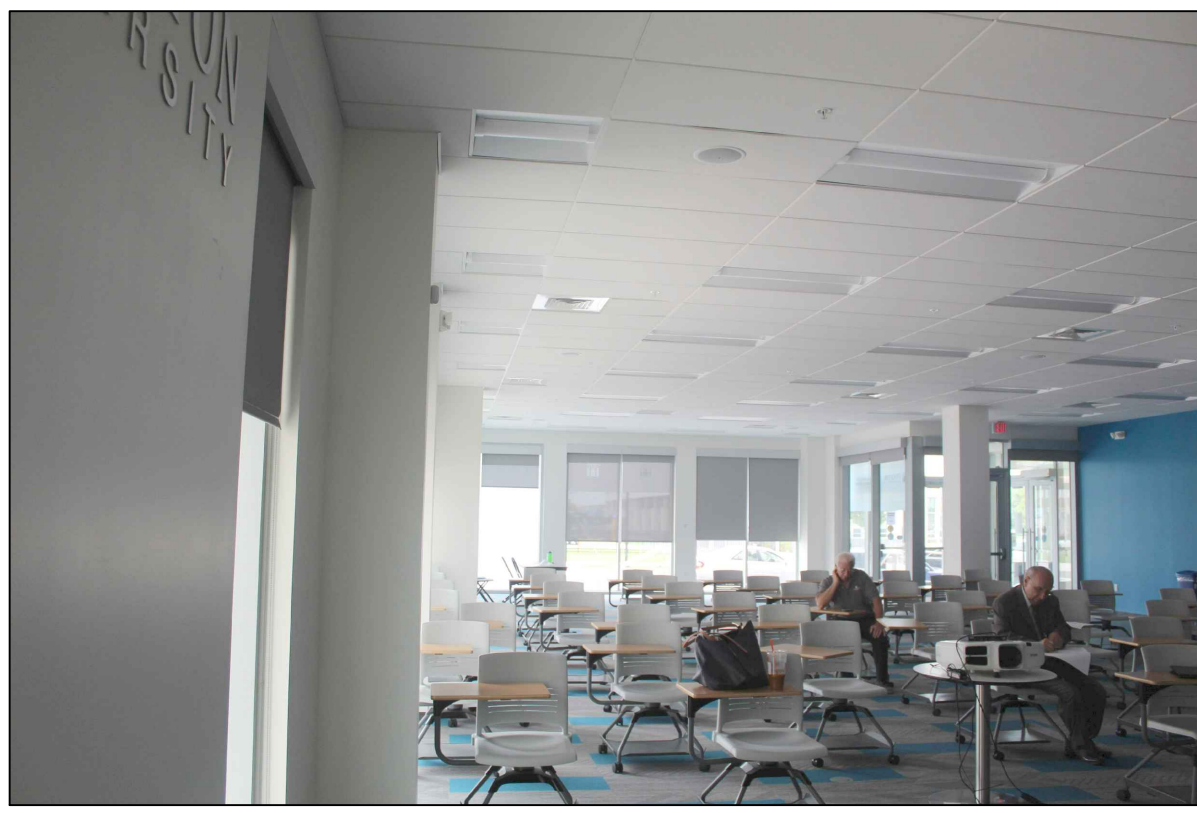
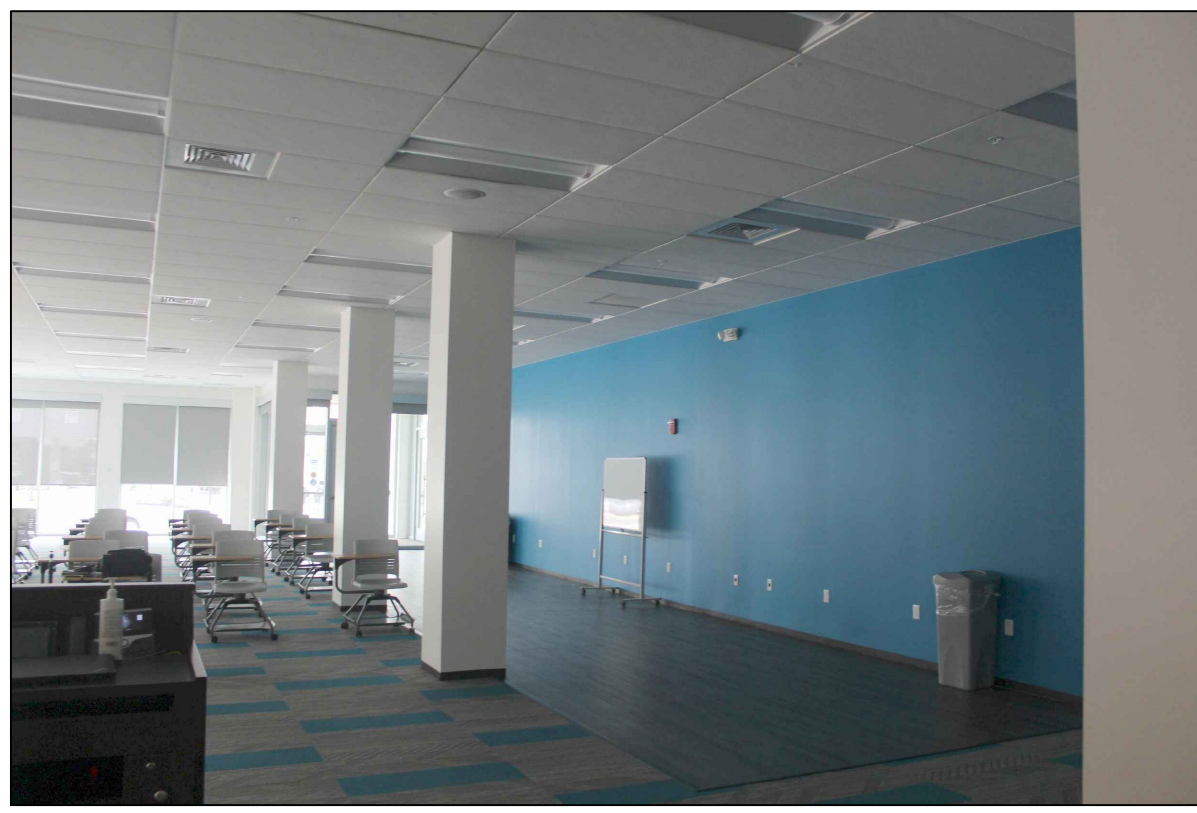
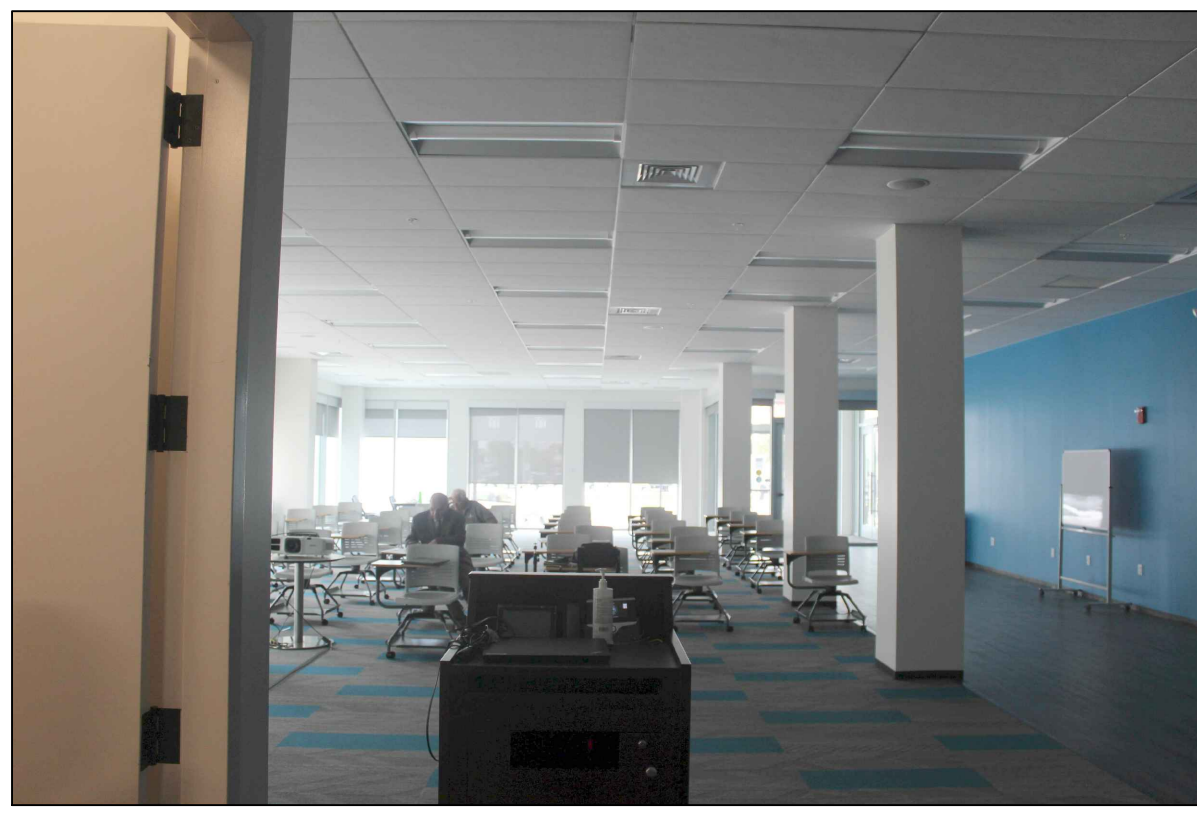
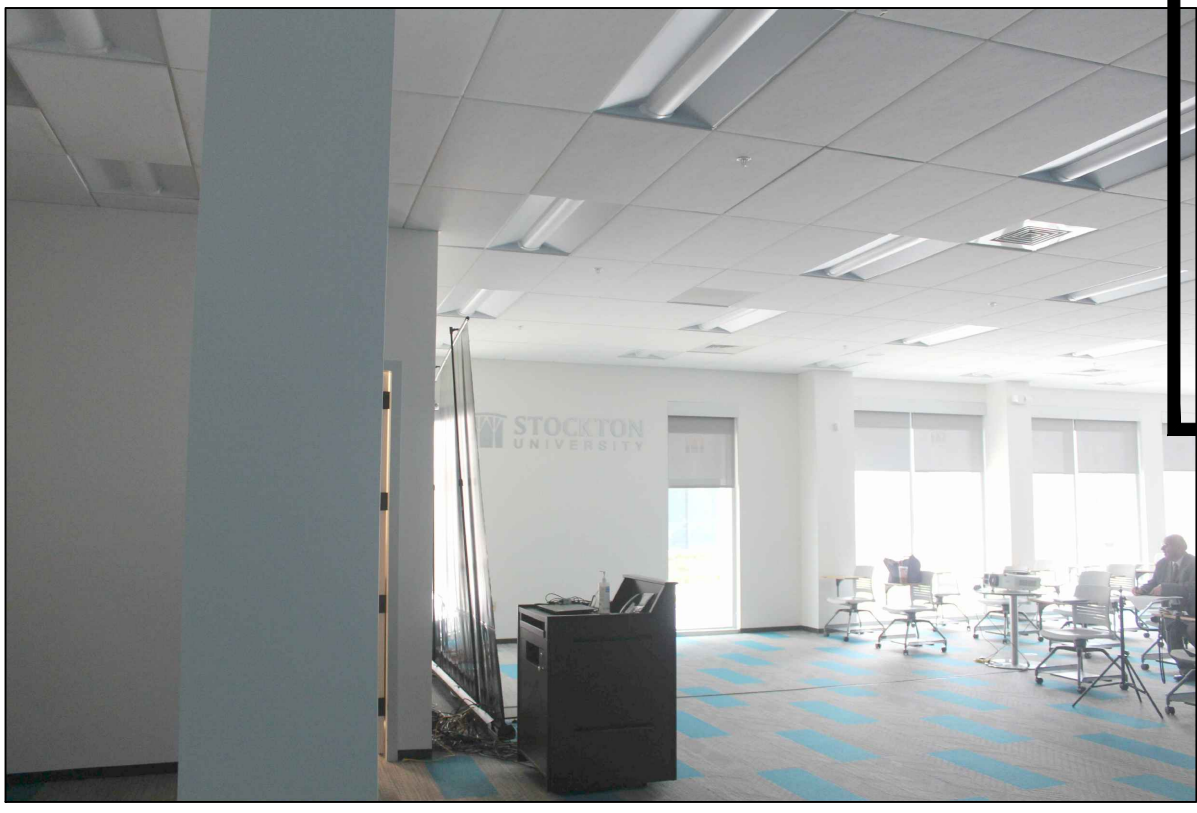
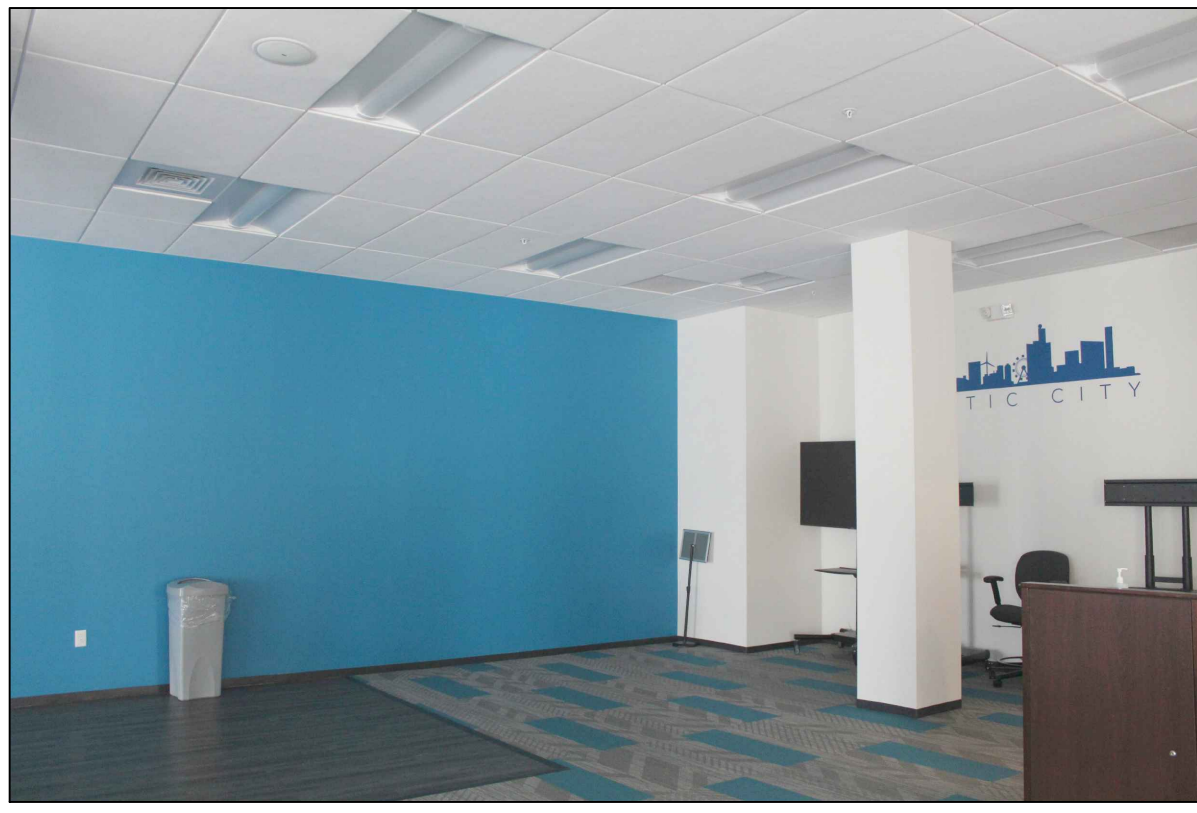
Sheet Title
DEMOLITION FLOOR PLAN

Drawn By SK 3
Checked By MPY 19

Sheet No.
D-1

Project No.
YC22121

D= Not Scale Drawings - Field check all dimensions prior to start of construction.



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Seal

PROPOSED RENOVATIONS TO THE:
**STOCKTON UNIVERSITY
 RESIDENTIAL BUILDING**
 PROPOSED MAIL ROOM &
 TENANT SPACE
 SOUTH ALBANY AVE.
 ATLANTIC CITY
 ATLANTIC COUNTY
 NEW JERSEY

Project
 Issued For Bid 11/07/22

Revised By Date

Sheet Title
**EXISTING CONDITION
 PHOTOGRAPHS**

Drawn By SK 4
 Check'd By MPY 19

Sheet No.
EX-1
 Project No.
 YC22121

EXISTING CEILINGS, LIGHTING, DIFFUSERS, ECT TO REMAIN (TYP.)

NOTE
 THE PHOTOGRAPHS INDICATED ON THESE DRAWINGS ARE FOR REFERENCE ONLY TO INDICATE THE EXISTING BUILDING CONDITIONS AT THE TIME OF OUR FIELD INSPECTION. ALL DEMOLITION REQUIRED TO SUCCESSFULLY COMPLETE THIS PROJECT SHALL BE INCLUDED IN THE GENERAL CONTRACTORS SCOPE OF WORK. THE GENERAL CONTRACTOR IS TO COORDINATE THE EXTENT OF DEMOLISH WITH THE ENTIRE SET OF DRAWINGS AND FIELD CONDITIONS. REFER TO SHEET D-1 FOR KEYED DEMOLITION NOTES.



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PROPOSED RENOVATIONS TO THE:
**STOCKTON UNIVERSITY
 RESIDENTIAL BUILDING
 PROPOSED MAIL ROOM &
 TENANT SPACE**
 ATLANTIC CITY
 NEW JERSEY

Project
 Issue For Bid 11/07/22

Revised By Date

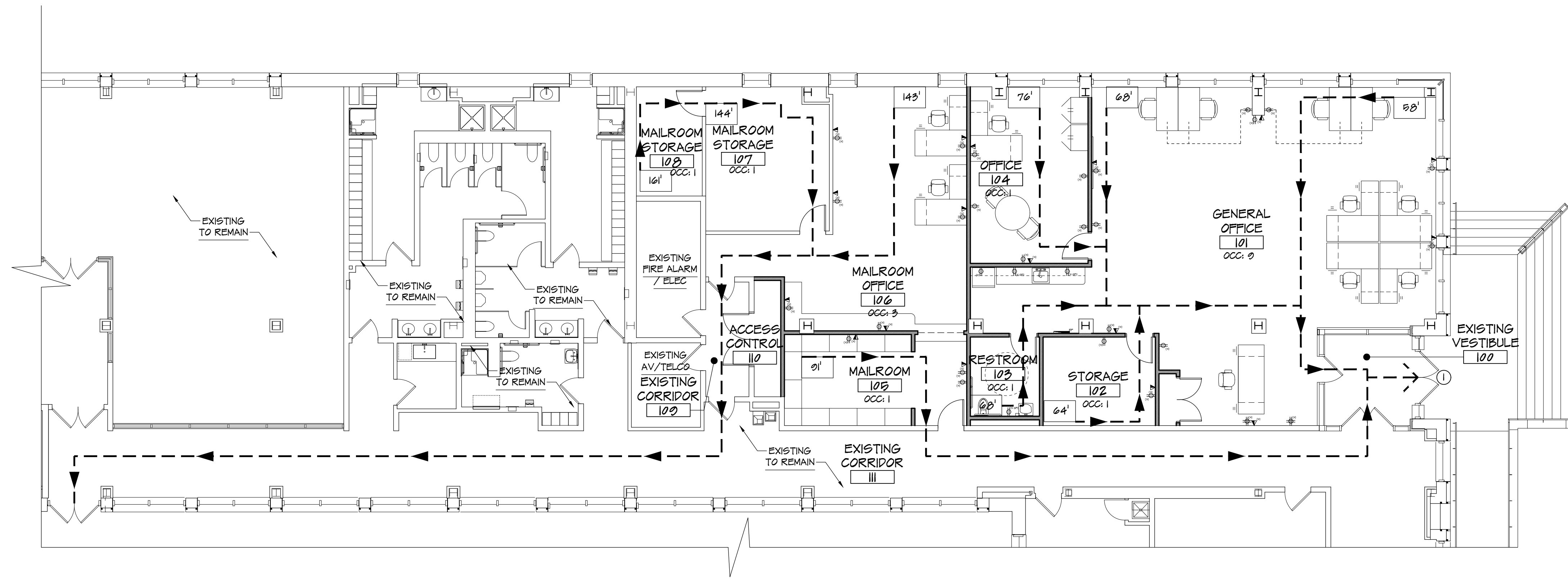
Sheet Title
EGRESS PLAN

Drawn By
 SK 5 07

Checked By
 MPY 19

Sheet No.
EG-1

Project No.
 YC22121



EGRESS PLAN
 EG-1 SCALE: 1/8" = 1'-0"

FIRST FLOOR EGRESS LEGEND

TRAVEL DISTANCE FROM A ROOM OR SPACE
 xxx' → ANTICIPATED EGRESS ROUTE → DISCHARGE POINT

EGRESS DOOR NUMBER → X

EXIT SIGN → AS

TRAVEL DISTANCE:
 MAX TRAVEL DISTANCE AS PER TABLE 1017.2 OF 2018 IBC (NJ EDITION) IS AS FOLLOWS:
 ACCESSORY AREA -- 300'-0" WITH SPRINKLER SYSTEM
 ASSEMBLY AREA "B" 300'-0" WITH SPRINKLER SYSTEM

SPECIAL NOTE:
 THIS PLAN DEMONSTRATES THAT THE OCCUPANTS CAN EGRESS THE BUILDING WITHIN THE ALLOWABLE TRAVEL DISTANCE.

OCCUPANT LOADING

ACCESSORY AREA @ 300 SQ. FT. / PERSON	4
BUSINESS AREA @ 100 SQ. FT. / PERSON	14
TOTAL OCCUPANTS	27

EXITING REQUIRED: (OCCUPANT LOAD x 0.2' / PERSON)
 OCCUPANCY 27 x 0.2' = 5.4' 0 3/2'

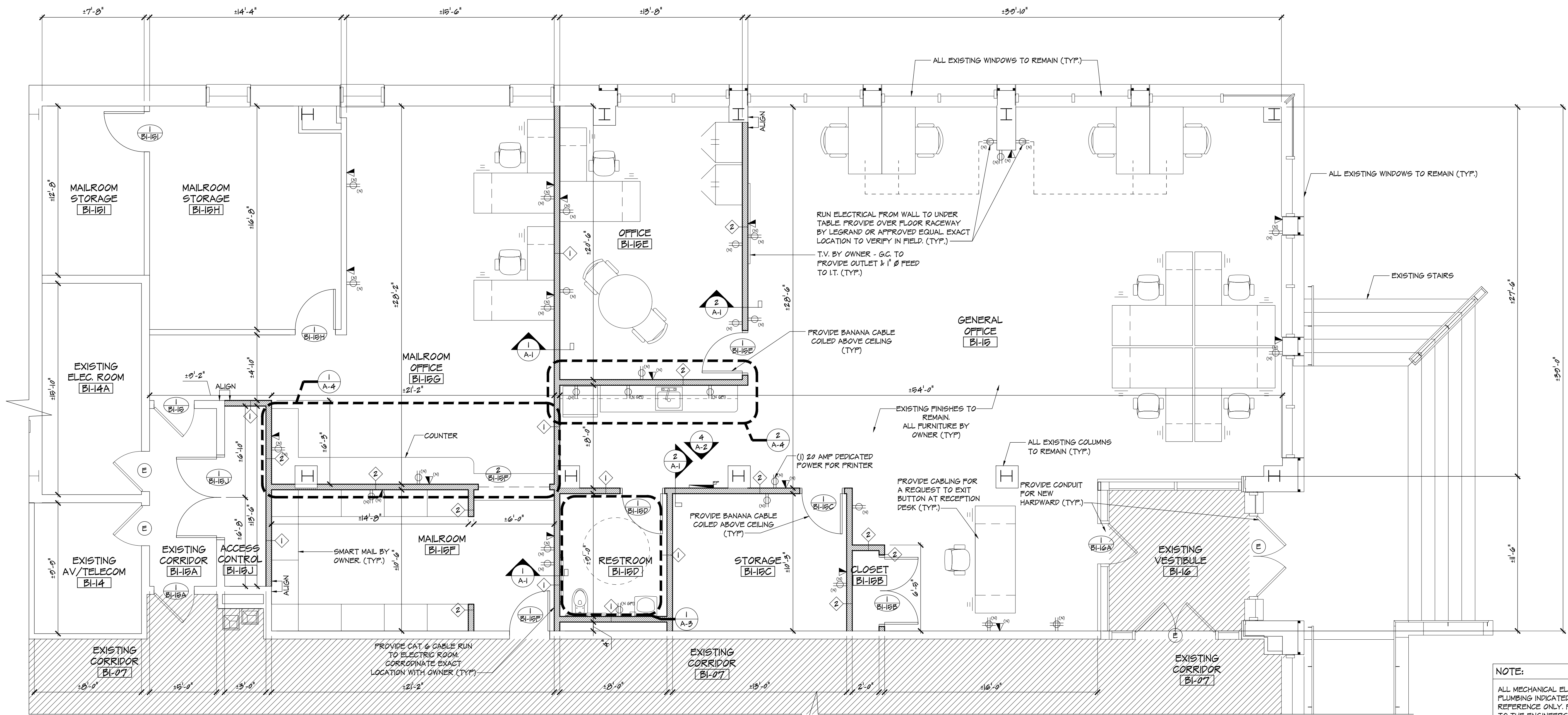
EXITING PROVIDED:

DOOR NO.	DOOR WIDTH	NET EGRESS WIDTH
1	6'-0"	5'-8"
2	6'-0"	5'-8"
TOTAL REQUIRED	0 1/2' < 11'-4"	11'-4"

MEETS CODE

NOTE:
 FURNITURE LAYOUT IS FOR CONCEPT ONLY - ALL FURNITURE AND FIXTURES BY OWNER (TYP.)

Do Not Scale Drawings - Field check all dimensions prior to start of construction.

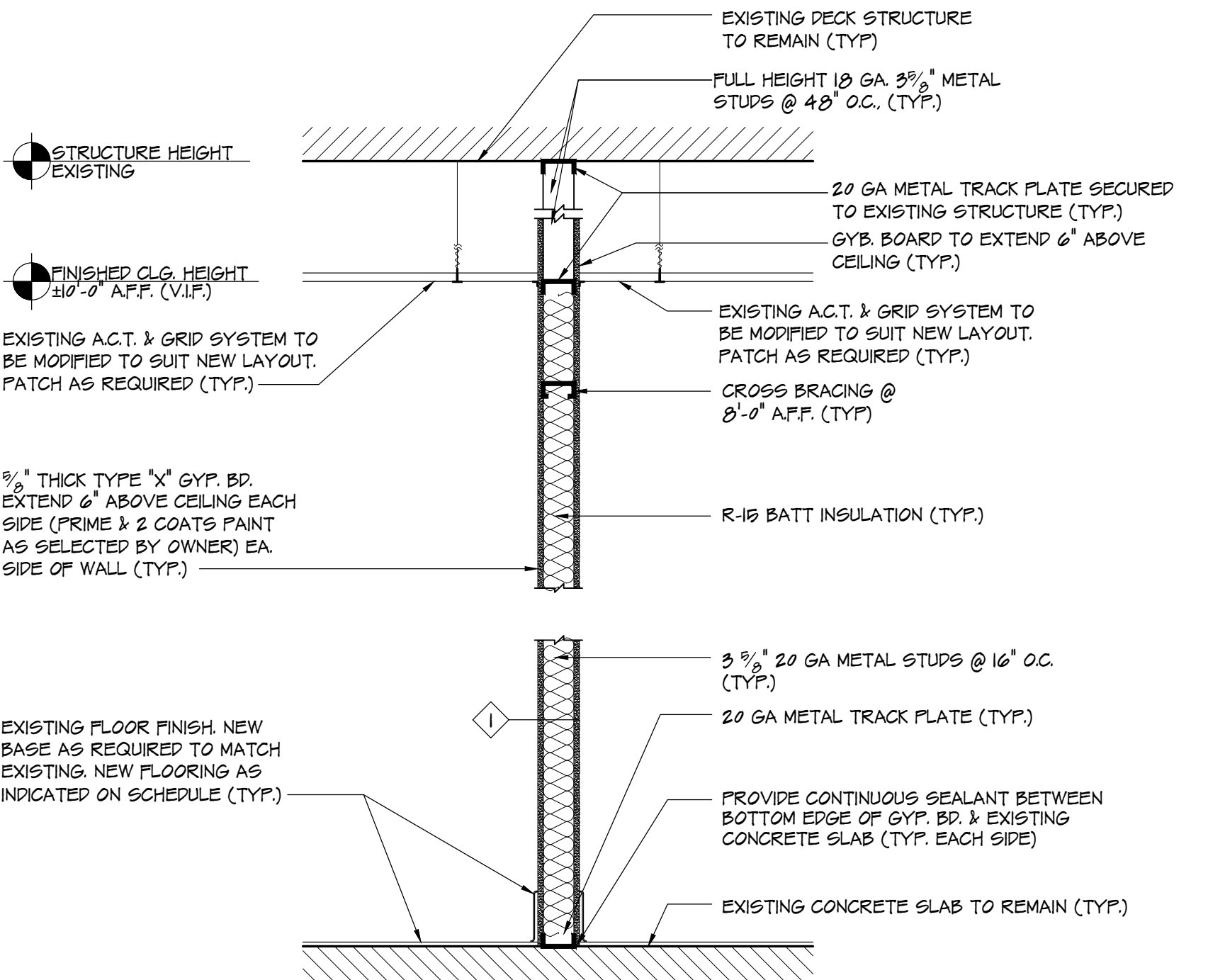


NOTE:
ALL MECHANICAL ELECTRICAL AND PLUMBING INDICATED IS FOR REFERENCE ONLY. PLEASE REFER TO THE ENGINEERS DRAWINGS FOR EXACT INFORMATION. (TYP)

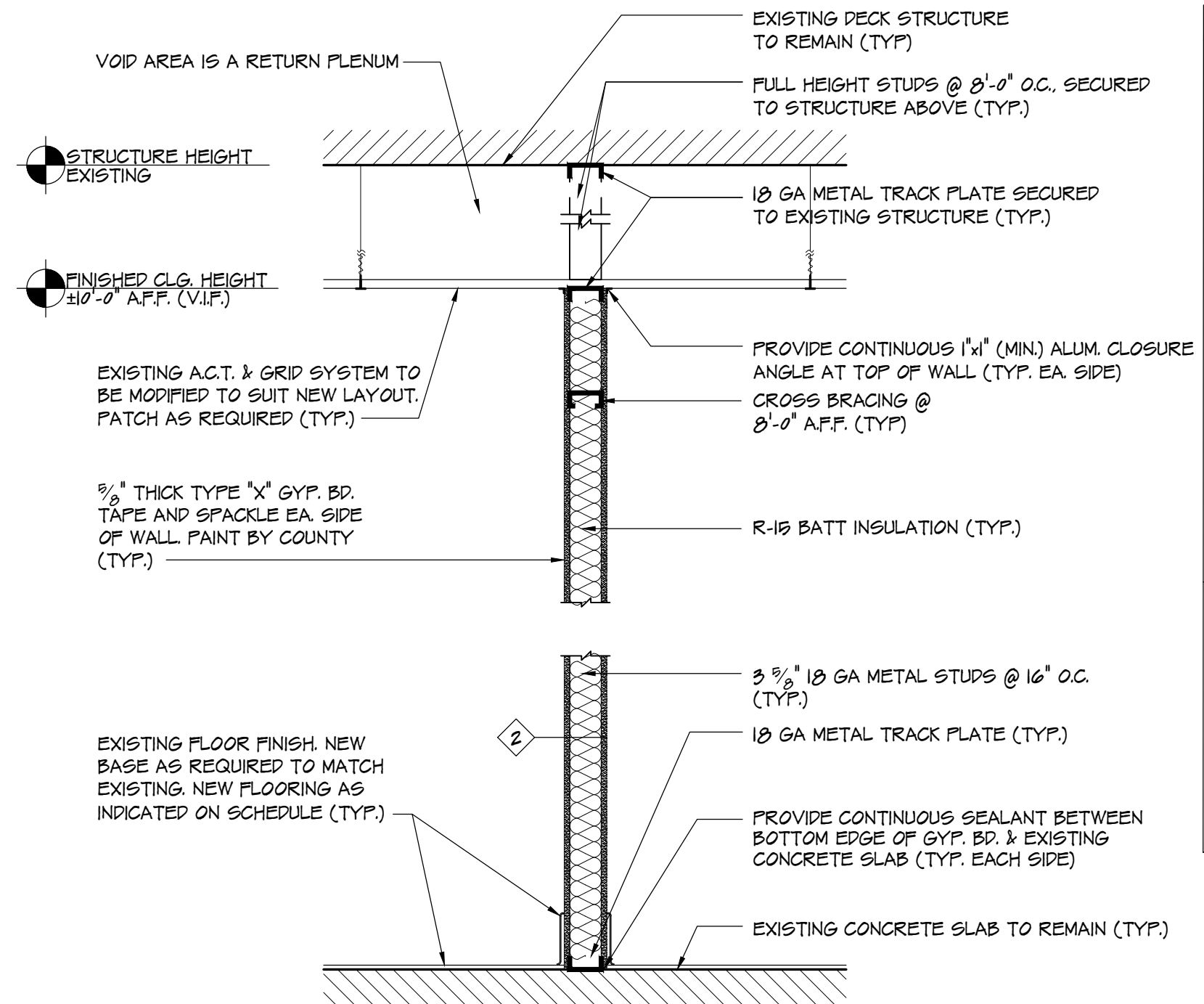
3 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE								
RM#	ROOM NAME	FLOOR MAT'L	FINISH	BASE MAT'L	WALLS MAT'L	FINISH	CEILING MAT'L	HEIGHT
BH-07	EXISTING CORRIDOR							
BH-16	GENERAL OFFICE	CONCRETE	EXIST	EXIST	EXIST	PT-1	EXIST	± 10'-0"
BH-19A	EXISTING CORRIDOR							
BH-19B	CLOSET	CONCRETE	EXIST	B-1	GWB	PT-1	EXIST	± 10'-0"
BH-19C	STORAGE	CONCRETE	EXIST	EXIST	EXIST	PT-1	EXIST	± 10'-0"
BH-19D	NEW RESTROOM	CONCRETE	VCT	B-1	GWB	FRP	EXIST	± 10'-0"
BH-19E	OFFICE	CONCRETE	EXIST	B-1	GWB	PT-1	EXIST	± 10'-0"
BH-19F	MAILROOM	CONCRETE	LVT	B-1	GWB	PT-1	EXIST	± 10'-0"
BH-19G	MAILROOM OFFICE	CONCRETE	EXIST	B-1	GWB	PT-1	EXIST	± 10'-0"
BH-19H	MAILROOM STORAGE							
BH-19I	MAILROOM STORAGE							
BH-19J	ACCESS CONTROL	CONCRETE	EXIST	B-1	GWB	PT-1	EXIST	± 10'-0"
BH-16	EXISTING VESTIBULE							

LEGEND		ROOM FINISH GENERAL NOTES	
B-1	"JOHNSONITE" 4" VINYL WALL BASE TO MATCH	1	ALL MANUFACTURERS/PRODUCTS LISTED IN THE ROOM FINISH SCHEDULE ARE A DESIGN STANDARDS FOR PERFORMANCE CRITERIA (BASIS OF DESIGN). SUBSTITUTIONS/EQUALS WILL BE ALLOWED WITH PRIOR ARCHITECT / OWNER APPROVAL. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION (TYP).
FRP	3/8" THICK FIBERGLASS REINFORCED PANEL AS MANUFACTURED BY MARLITE AS SELECTED BY OWNER.	2	G.C. TO SUBMIT FULL SHOP DRAWINGS FOR ALL FINISH SYSTEMS & RELATED ITEMS FOR OWNER REVIEW, APPROVAL, AND SELECTION PRIOR TO CONSTRUCTION (TYP).
GWB	EXISTING GYPSUM BOARD AND/OR NEW "USG" 5/8" (T) IMPACT RESISTANT TYPE "X" GYPSUM BOARD, MOISTURE RESISTANT TYPE AT RESTROOM AND KITCHENETTE AREA	3	COLOR/PATTERN AS SELECTED BY ARCHITECT/OWNER FROM ALL AVAILABLE STANDARD COLORS AND PATTERNS (TYP).
PT-1	"SHERWIN WILLIAMS" PAINT. (1) COAT PRIMER (2) COATS FINISH	4	PATCH AS REQUIRED TO MATCH EXISTING SURROUNDINGS. (TYP).
ACT	EXISTING CEILING TO REMAIN PATCH AS REQUIRED	5	REMOVED ALL EXISTING FINISHES IN ROOMS INDICATED FOR NEW. PREP ALL SURFACES AS REQUIRED TO ACCEPT NEW MATERIALS. (TYP)
LVT	MANUFACTURED BY "MOHAWK GROUP" OR ARCHITECT/OWNER APPROVED EQUAL. "LIVING LOCAL" "PREMIUM WOOD" COLLECTION COLOR AND PATTERN AS SELECTED BY ARCHITECT/OWNER FROM ALL AVAILABLE STANDARD COLORS AND PATTERNS (TYP).		
VCT	1/2" x 1/2" NON SKID TILE MANUFACTURED BY "EXCEL" OR ARCHITECT/OWNER APPROVED EQUAL. COLOR AND PATTERN AS SELECTED BY ARCHITECT/OWNER FROM ALL AVAILABLE STANDARD COLORS AND PATTERNS (TYP).		



1 TYPICAL WALL SECTION #1
SCALE: 3/4" = 1'-0"



2 TYPICAL WALL SECTION #2
SCALE: 3/4" = 1'-0"

SYMBOL LEGEND

- [Hatched Box] NOT IN CONTRACT
- [Solid Line] EXISTING WALL TO REMAIN
- [Dashed Line] NEW WALL - REFER TO WALL TYPE KEY
- [Door Symbol] EXISTING DOOR TO REMAIN
- [Door Symbol] NEW DOOR - SEE DOOR SCHEDULE 3x7 - MATCH EXISTING WL 10 GA HM BUCK

NOTE:

- FURNITURE BY OWNER, SHOWN FOR REFERENCE ONLY
- ALL EXISTING FINISHES TO REMAIN UNLESS OTHERWISE NOTED
- G.C. TO PROVIDE DATA DATA DROP BOXES WITH CONDUIT PATH TO CEILING
- G.C. TO PROVIDE ALL EXISTING RECEPTACLES WITH NEW FACE PLATES TO MATCH NEW.
- ALL ACCESS CONTROL WIRE TO BE 600BAPJ JACKETED, PLENUM, EXTENDED DISTANCE CABLE.

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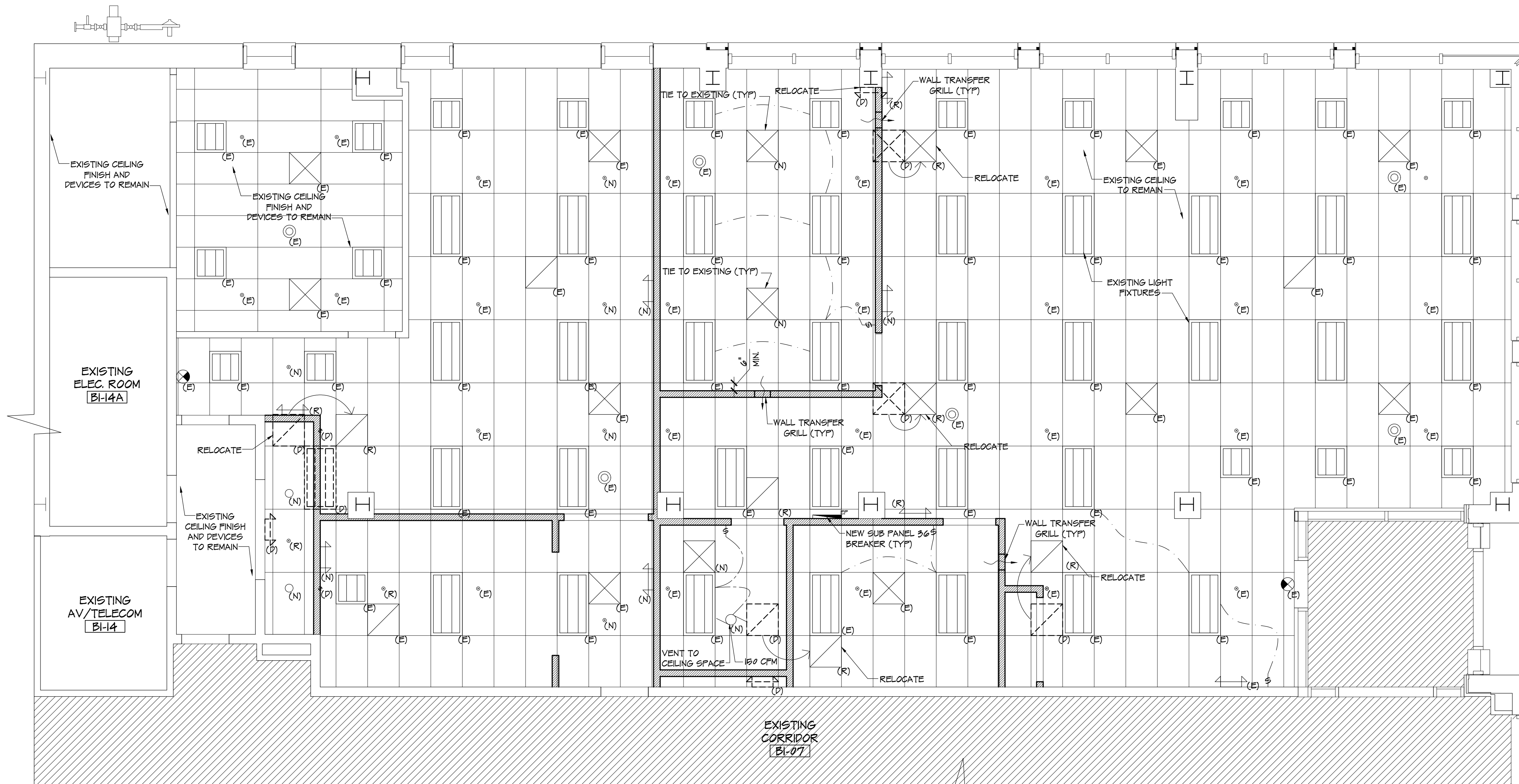
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Project: STOCKTON UNIVERSITY RESIDENTIAL BUILDING PROPOSED MAIL ROOM & TENANT SPACE
South Albany Ave. Atlantic City, New Jersey

Issue For Bid: 11/07/22
Revised By: Date

Sheet Title: PROPOSED FLOOR PLAN FINISH SCHEDULE & WALL SECTIONS
Drawn By: SK
Checked By: MFY
Scale: 6 0 19

Project No: YC22121



1 PROPOSED REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 REFER TO NEW SUB PANEL FOR GENERAL LIGHTING SWITCHES (TYP.)

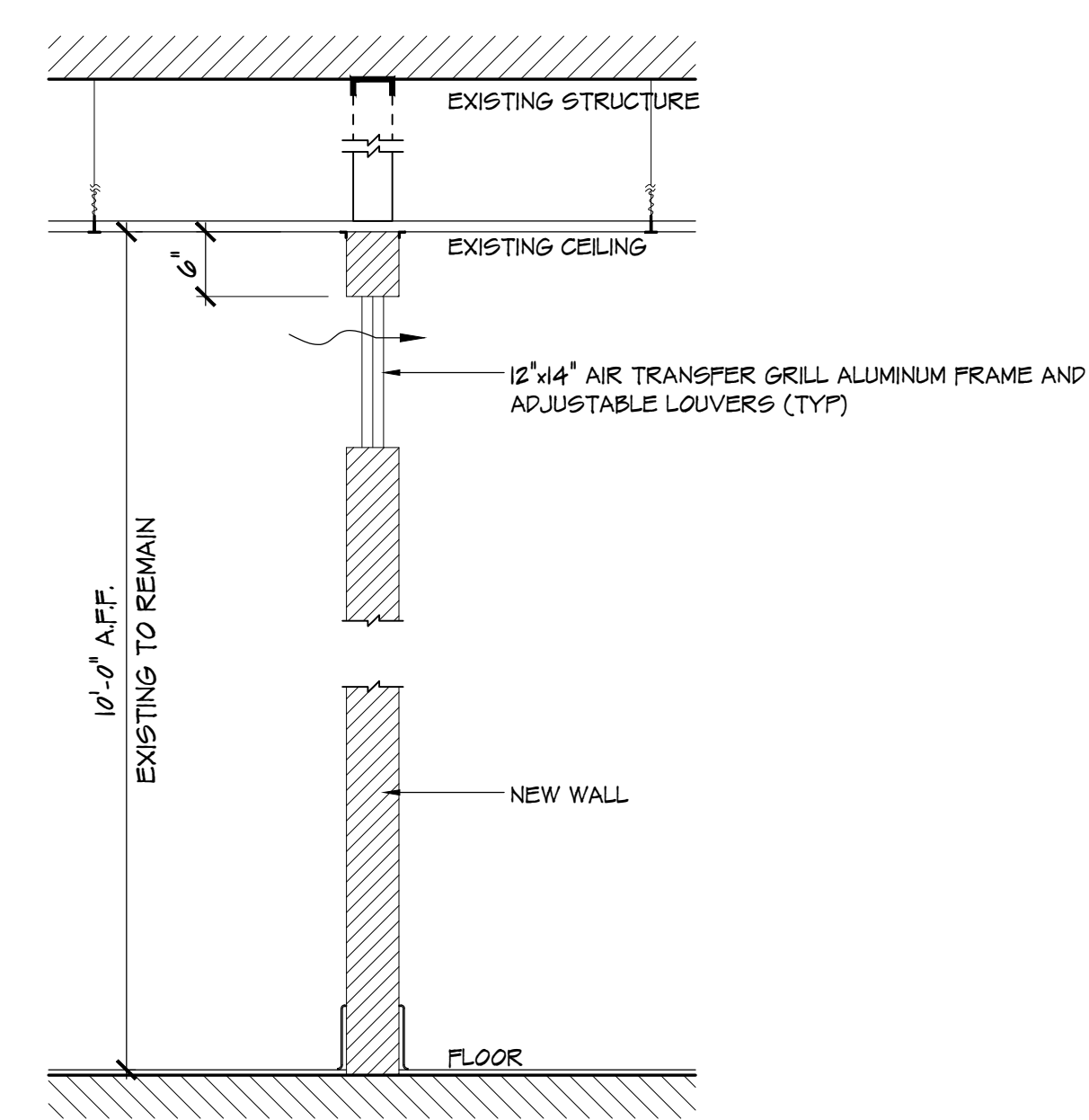
NOTE:
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SYMBOL LEGEND

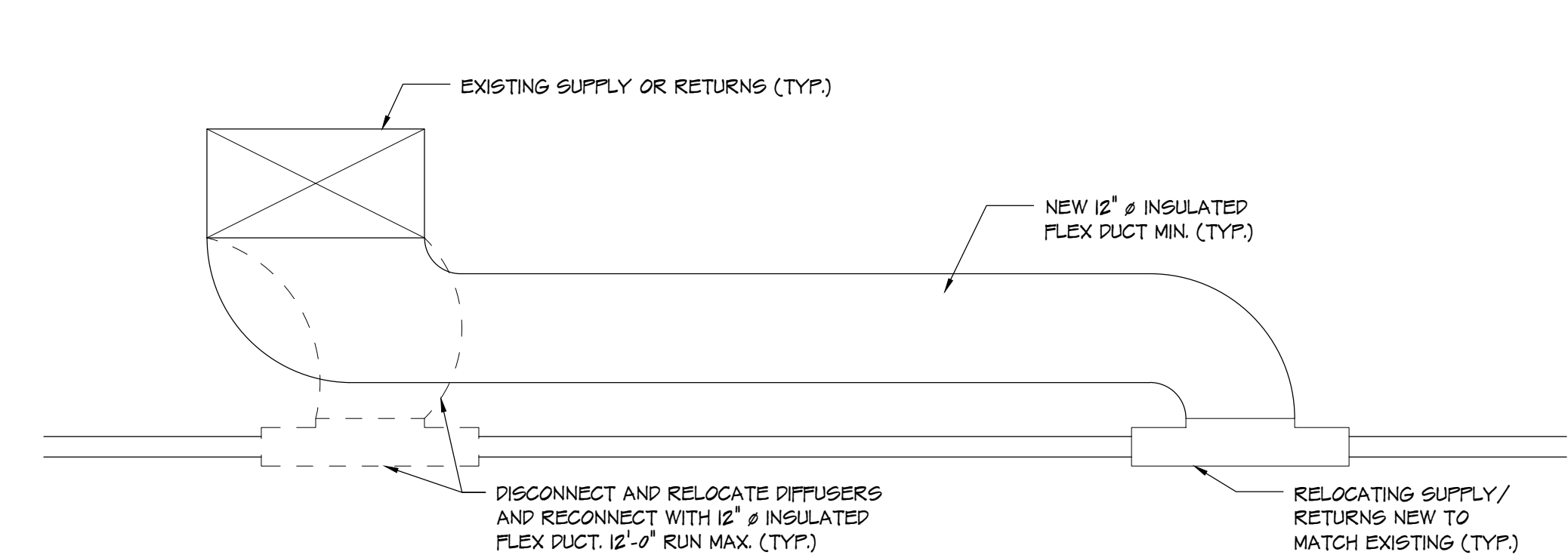
	EXISTING TO REMAIN
	NEW WALL. REFER TO WALL SECTIONS FOR ADDITIONAL INFO.
	AREA NOT IN CONTRACT
	EXISTING 2x4' ACOUSTICAL TILES TO REMAIN
	AIR SUPPLY (EXISTING TO REMAIN)
	AIR SUPPLY (RELOCATED)
	EXISTING AIR SUPPLY TO BE RELOCATED
	AIR RETURN (EXISTING TO REMAIN)
	AIR RETURN (RELOCATED)
	EXISTING AIR RETURN TO BE RELOCATED
	2'x2' LIGHTING FIXTURE (EXISTING TO REMAIN)
	2'x4' LIGHTING FIXTURE (EXISTING TO REMAIN)
	EXISTING 2'x4' LIGHTING FIXTURE TO BE DEMOLISHED / RELOCATED
	EXIT SIGN (EXISTING TO REMAIN)
	SMOKE DETECTOR (EXISTING TO REMAIN)
	SPRINKLER (EXISTING TO REMAIN)
	SPRINKLER (RELOCATED)
	SPRINKLER (NEW)
	EXISTING SPRINKLER TO BE RELOCATED
	6" Ø DIRECTIONAL DOWN LIGHT (NEW)
	EXHAUST FAN (NEW)
	EXISTING EMERGENCY LIGHTING TO BE RELOCATED
	EMERGENCY LIGHTING (EXISTING TO REMAIN)
	EMERGENCY LIGHTING (RELOCATED)
	NEW EMERGENCY LIGHTING
	WALL TRANSFER GRILLE AT CEILING 12'x14"
	CEILING HEIGHT

GENERAL NOTE

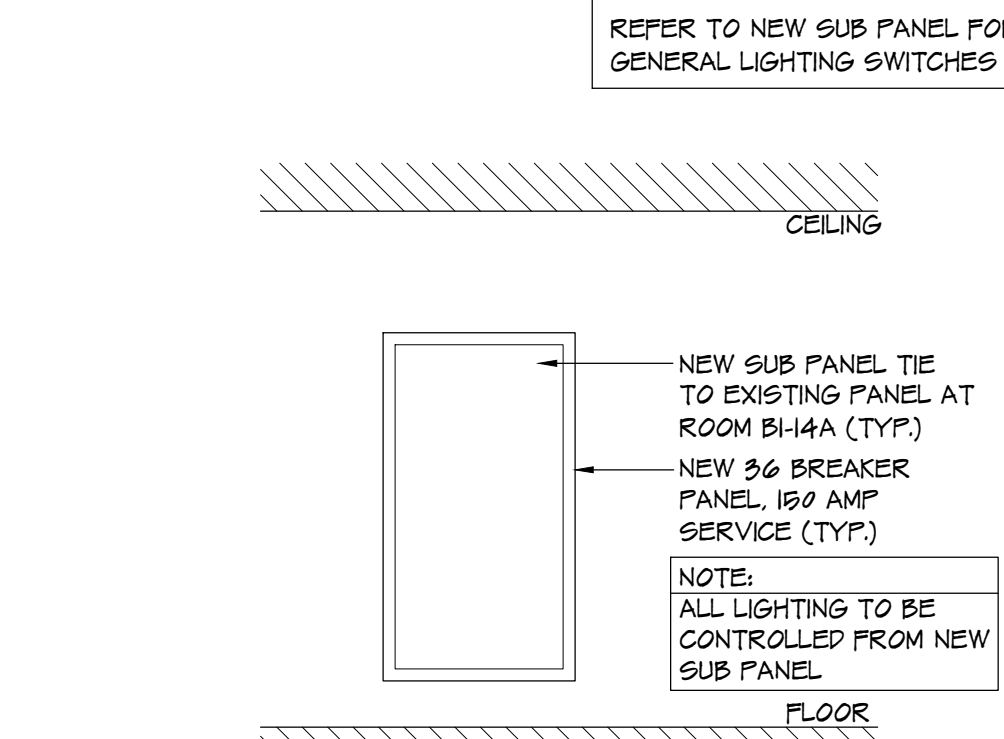
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ALL ADDITIONAL REQUIRED WORK NOT SPECIFICALLY INDICATED ON THESE DRAWINGS (TYP.)
- G.C. TO SUBMIT FULL SHOP DRAWINGS ON CEILING FOR REVIEW (TYP.)
- ADJUST LIGHTING AT TENANT AND MAILROOM AS REQUIRED. RE-BALANCE EXISTING ELECTRICAL PANEL SEPARATE SPACES.
- AREA ABOVE CEILING IS A RETURN PLENUM



2 TYPICAL TRANSFER GRILL DETAIL
 SCALE: 3/4" = 1'-0"



3 TYPICAL RELOCATED DIFFUSER OR RETURN DETAIL TIE TO EXISTING
 SCALE: 3/4" = 1'-0"



4 TYPICAL NEW SUB PANEL
 SCALE: 3/4" = 1'-0"

NOTE:
 ALL LIGHTING TO BE CONTROLLED FROM NEW SUB PANEL



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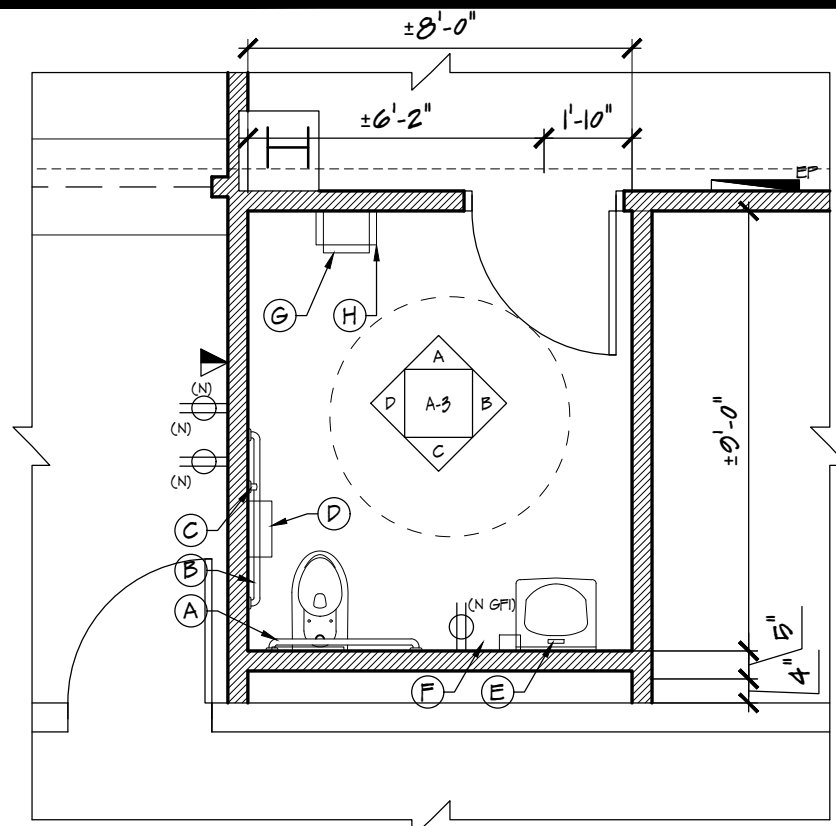
Sara Reidmiller
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PROJECT:
 STOCKTON UNIVERSITY
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 PROPOSED MAIL ROOM &
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 SOUTH ALBANY AVE
 ATLANTIC CITY
 ATLANTIC COUNTY
 NEW JERSEY

Issued For Bid: 11/07/22

Drawn By	SK	7
Checked By	MPY	19

Sheet Title: PROPOSED REFLECTED CEILING PLAN
 Sheet No.: A-2
 Project No.: YC22121



1 ENLARGED FLOOR PLAN @ RESTROOM
A-3 SCALE: 1/4" = 1'-0"

- GENERAL CASEWORK NOTES**
- G.C. TO SUBMIT PULL SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION (TYP).
 - G.C. TO FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO CONSTRUCTION (TYP).
 - PLASTIC LAMINATE AT COUNTERS ARE TO HAVE FULL RUNS, NO JOINTS (TYP).
 - ALL CASE WORK IS TO HAVE ROLLED CORNERS (TYP).
 - ALL CASEWORK IS TO BE INSTALLED IN COMPLIANCE WITH ICC/ANSI A117.1-2009 AND N.J.U.C.C. "BARRIER FREE" AND ADA REQUIREMENTS (TYP).
 - ALL CASEWORK IS TO HAVE 3MM PVC EDGE BANDING (TYP).
 - ALL CABINETS & DRAWERS ARE TO RECEIVE INTEGRATED LOCKS, COORDINATE KEYING WITH UNIVERSITY (TYP).
 - REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION & REQUIREMENTS (TYP).

RESTROOM ACCESSORIES

TAG	ACCESSORY	MODEL #	MOUNTING HEIGHT
A	SIDE GRAB BAR 1 1/2" x 42" x L	BRADLEY 212	33"-36" AFF TO TOP OF BAR
B	BACK GRAB BAR 1 1/2" x 36" x L	BRADLEY 212	33"-36" AFF TO TOP OF BAR
C	VERTICAL GRAB BAR 1 1/2" x 18" x L	BRADLEY 212	30"-41" AFF TO BOTTOM OF BAR
D	TOILET TISSUE DISPENSER	BAY WEST 20912	18" AFF TO OUTLET
E	MIRROR	BRADLEY 701-1036	40" MAX AFF TO BOTTOM OF MIRROR
F	SOAP DISPENSER	BAY WEST 22000	44" MAX AFF TO OPERATOR
G	PAPER TOWEL DISPENSER	BAY WEST 70600	UNOBSTRUCTED - 15"-40" AFF. TO OPERATOR OBSTRUCTED - 44" MAX AFF. TO OPERATOR
H	WASTE RECEPTACLE	BOBRICK B-277	15"-40" AFF TO OPENING
J	TOWEL/COAT HOOK	BRADLEY 214	48" MAX AFF. TO TOP OF HOOK
K	P TRAP LAVATORY GUARD	-	-
L	OPTIONAL BABY CHANGING TABLE (SURFACE MOUNTED)	BRADLEY 222-II	28" TO 34" AFF. TO TOP OF TABLE

- TYPICAL TOILET ROOM NOTES**
- MANUFACTURERS: (OR AN ARCHITECT/OWNER APPROVED SUBSTITUTE)
- ACCESSORIES: "BRADLEY CORPORATION", "BAY WEST", "BOBRICK", "RUBBERMAID"
REFER TO PLUMBING DRAWINGS
- FIXTURES:
REFER TO PLUMBING DRAWINGS

- H.G. GRAB BAR NOTES**
- PROVIDE CONTINUOUS STAINLESS STEEL WALL MOUNTING KIT AND ANCHORING DEVICES. FIELD VERIFY FOR EXACT NUMBER AND TYPE OF GRAB BARS. MOUNTING KITS REQUIRED (TYP).
 - PROVIDE SOLID BLOCKING AS REQUIRED FOR GRAB BARS ETC. CONTRACTOR TO VERIFY EXACT LOCATION(S) IN FIELD (TYP).
 - ALL HARDWARE AND ACCESSORIES TO BE STAINLESS STEEL (TYP).

- NOTES**
- G.C. TO PROVIDE AND INSTALL ALL ACCESSORIES. G.C. TO PROVIDE PULL SHOP DRAWINGS FOR ALL TOILET ROOM ACCESSORIES (TYP).
 - ALL TOILET ROOM FIXTURES AND ACCESSORIES TO BE INSTALLED IN COMPLIANCE WITH ICC/ANSI A117.1-2009 AND N.J.U.C.C. "BARRIER FREE" AND ADA REQUIREMENTS (TYP).
 - G.C. TO PROVIDE ALL RELATED ACCESSORIES REQUIRED TO COMPLETE THE INSTALLATION OF ALL FIXTURES & ACCESSORIES (TYP).
 - ALL FAUCETS ARE TO BE ADA COMPLIANT W/ A MAX. GPM OF 0.8 (TYP).
 - PROVIDE SOLID SUPPORT AT WALLS FOR FIXTURES AND ACCESSORIES AS REQUIRED BY MANUFACTURER. 250 LB. FULL PRESSURE (TYP).
 - G.C. IS TO REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT PRIOR TO INSTALLATION FOR ALTERNATE INSTALLATION LOCATIONS (TYP).
 - G.C. TO INSTALL PROPOSED FLOOR FINISH TO PROVIDE POSITIVE DRAINAGE TO THE PROPOSED FLOOR DRAIN LOCATION (TYP).

PLUMBING PIPING SCHEDULE

DESCRIPTION	HW.	C.W.	S.S.	VENT
LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"
WATER CLOSET	-	1/2"	3"	2"

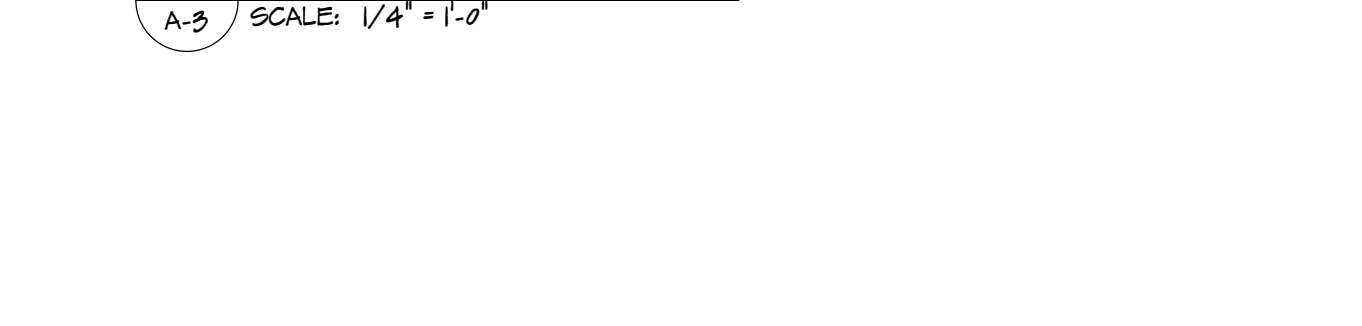
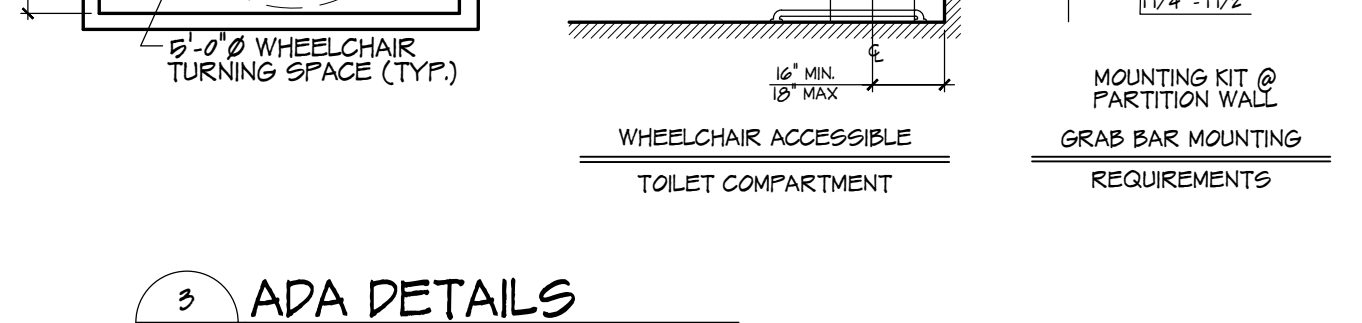
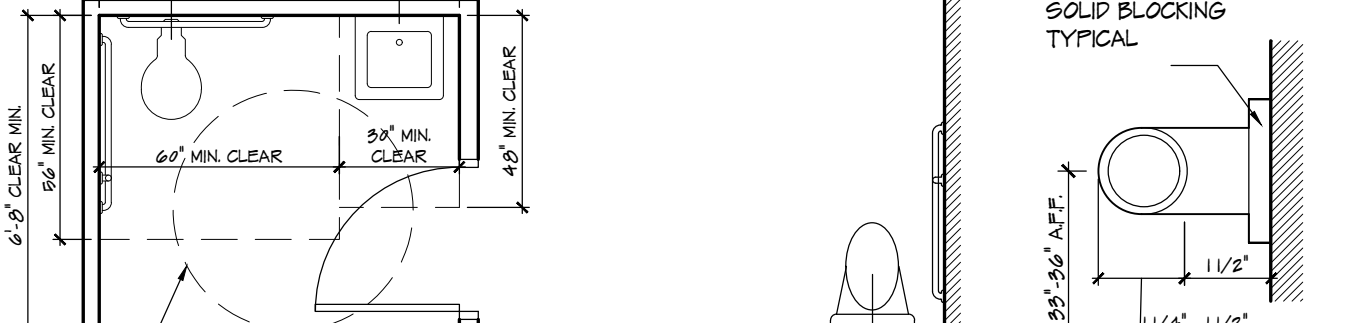
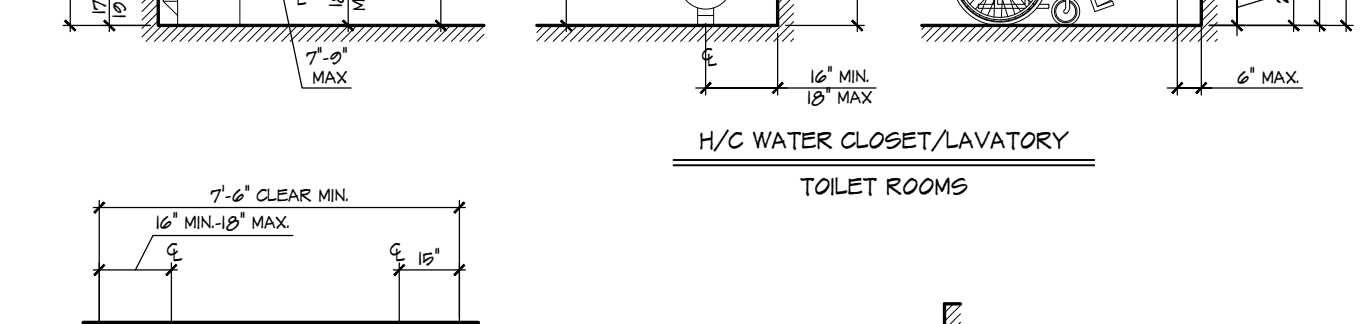
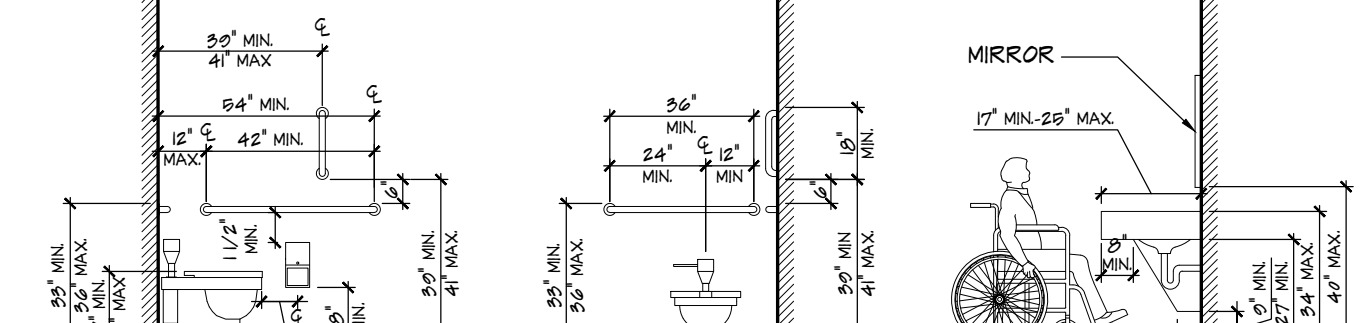
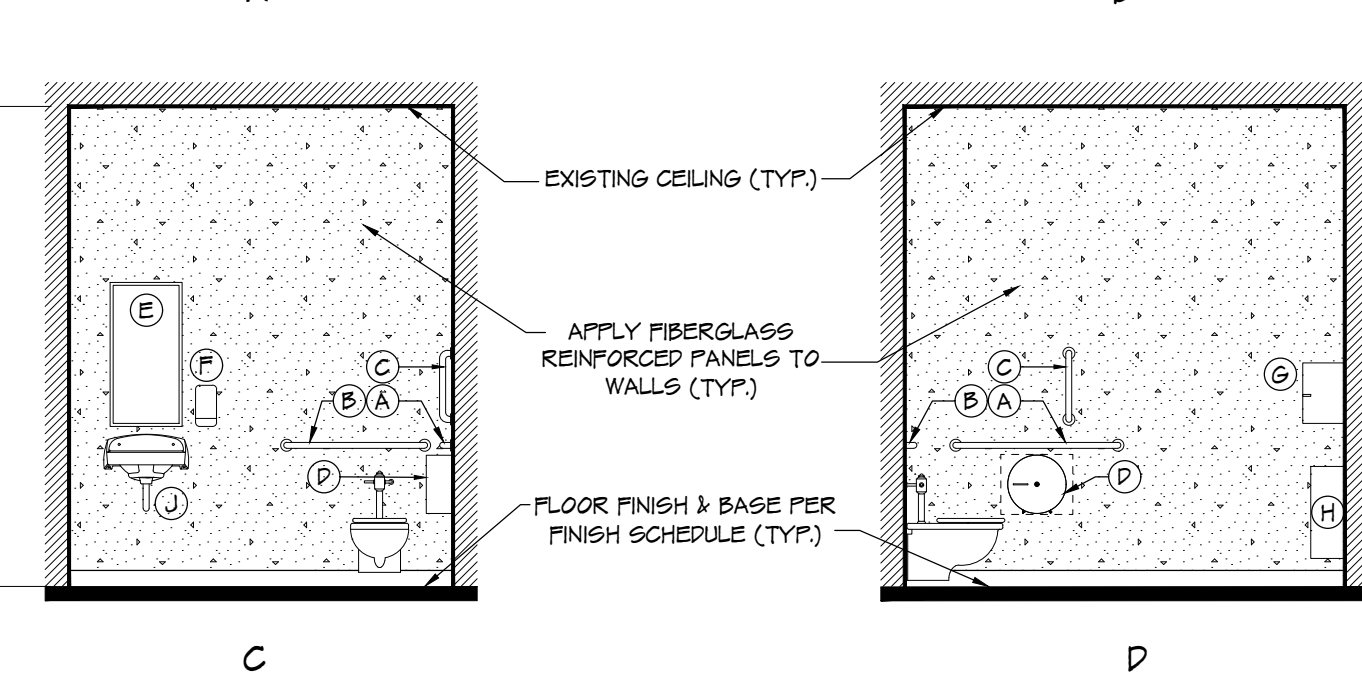
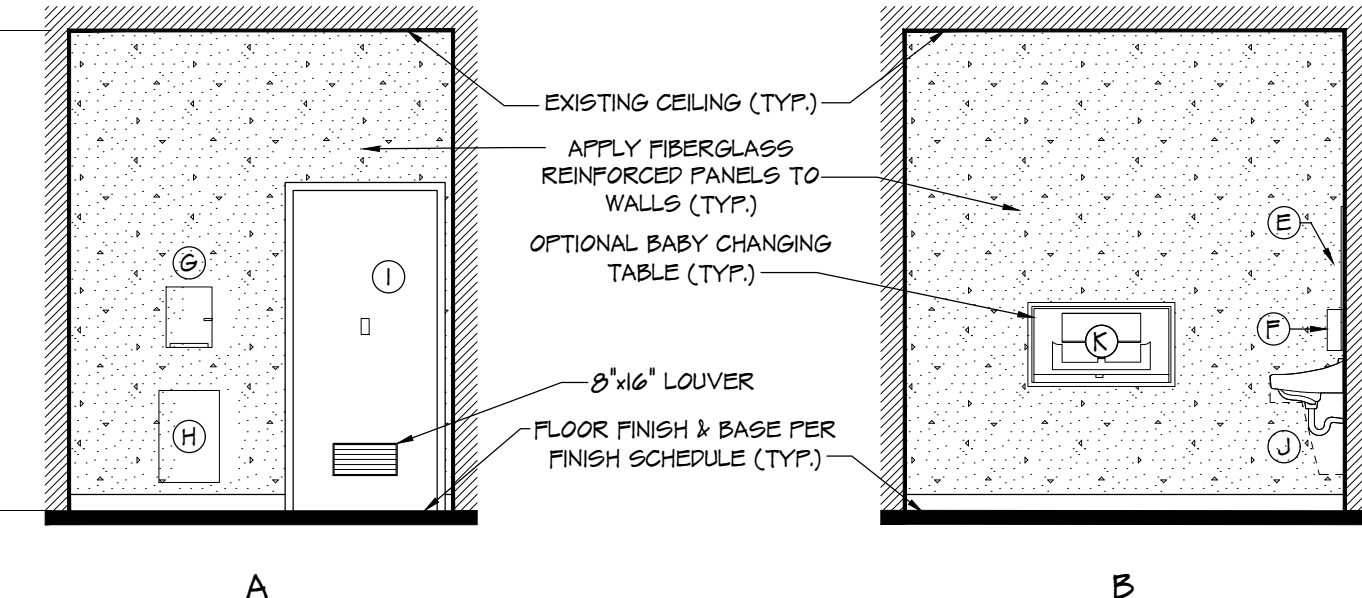
NOTE:
1. ALL WATER SUPPLY LINES TO BE COPPER TYPE "L".
2. ALL WASTE AND VENT LINES TO BE ABS OR PVC TYPE PLASTICS.
3. INSULATE ALL WALLS AROUND TOILETS.
4. INSULATE ALL VERTICAL WASTE LINES.
5. PLUMBING CONTRACTOR TO PROVIDE WASTE & SUPPLY WATER LINE & GAS RISER DIAGRAMS TO BUILDING DEPARTMENT FOR APPROVAL.
6. ALL ITEMS TO CONFORM TO NATIONAL PLUMBING CODE LATEST EDITION.

- LAVATORY NOTES**
- ANY EXPOSED PIPING AND UNDER SINK AREAS MUST BE PROTECTED WITH INSULATED COVERS - SUBMIT SHOP DWGS FOR REVIEW & APPROVAL (TYP).
 - DEPENDENT UPON CONFIGURATION OF CLEAR FLOOR SPACE. MAX. HEIGHT OF CONTROLS RANGES FROM 3'-0" TO 4'-0" AND THE MINIMUM HEIGHT RANGES FROM 0" TO 2'-10" (TYP).

TOILET ROOM FIXTURES

FIXTURE	MANUFACTURER	MODEL	MOUNTING HEIGHT
LAVATORY	AMERICAN STANDARD	2422.01	34" MAX FROM FLOOR TO THE HIGHER OF THE RIME OR COUNTER
WATER CLOSET	AMERICAN STANDARD	2227101	17" MIN-19" MAX FROM FLOOR TO TOP OF SEAT

NOTE:
ALL FIXTURES TO HAVE SENSORS. PROVIDE ALL NECESSARY POWER AS REQUIRED. MANUFACTURERS OR APPROVED EQUAL.



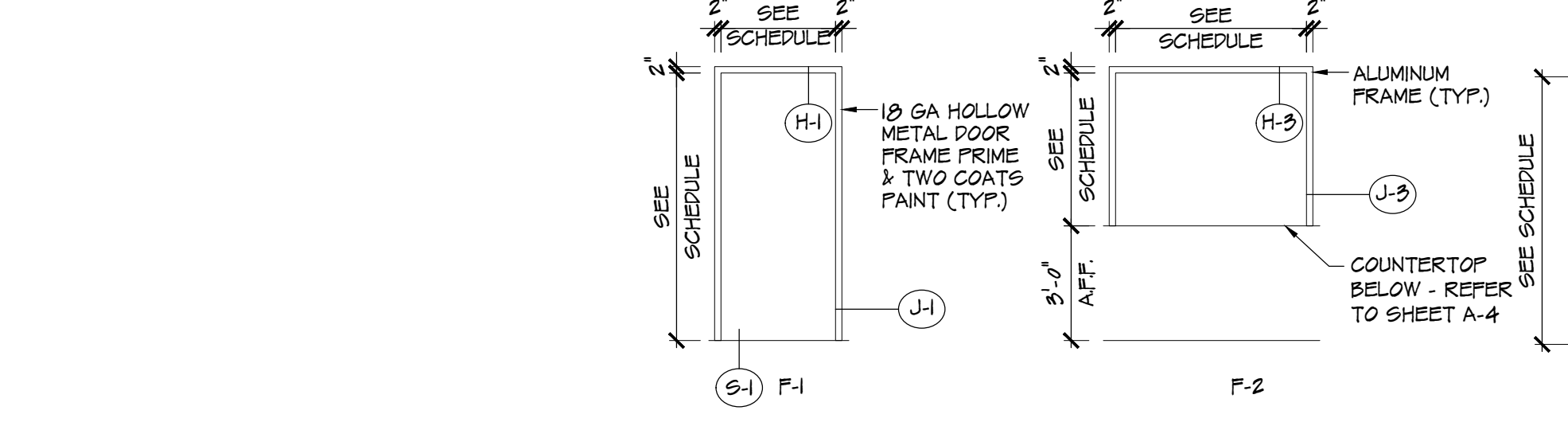
2 RESTROOM ELEVATIONS
A-3 SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

NO.	ROOMS	TYPE	DOOR SIZE	MATL	RATING	FRAME					HDW. SET	
						TYPE	MATL	H	J	S		
1	EXISTING CORRIDOR B1-10A											9
2	MAILROOM OFFICE B1-10B											2
3	EXISTING CORRIDOR B1-07											9
4	EXISTING CORRIDOR B1-10A											2
5	GENERAL OFFICE B1-15	D-2	(2) 3'-4" x 2'-6" x 7'-0"	SCWD	-	F-1	HM	H-1	J-1	S-3		3
6	GENERAL OFFICE B1-15											3
7	GENERAL OFFICE B1-15	D-2	3'-4" x 3'-0" x 7'-0"	SCWD	-	F-1	HM	H-1	J-1	S-2		8
8	GENERAL OFFICE B1-15											8
9	GENERAL OFFICE B1-15	D-2	3'-4" x 3'-0" x 7'-0"	SCWD	-	F-1	HM	H-1	J-1	S-2		6
10	GENERAL OFFICE B1-15											6
11	GENERAL OFFICE B1-15	D-1	3'-4" x 3'-0" x 7'-0"	SCWD	-	F-1	HM	H-1	J-1	S-1		8
12	EXISTING CORRIDOR B1-07											9
13	MAILROOM OFFICE B1-10F	D-1	3'-4" x 3'-0" x 7'-0"	SCWD	-	F-1	HM	H-2	J-2	S-3		9
14	MAILROOM OFFICE B1-10F											9
15	MAILROOM OFFICE B1-10G	D-3	3'-4" x 3'-0" x 7'-0"	ALUM	-	F-2	ALUM	H-3	J-3	-	-	-
16	MAILROOM OFFICE B1-10G											-
17	MAILROOM OFFICE B1-10G	D-2	(2) 3'-4" x 3'-0" x 7'-0"	SCWD	-	EXIST	EXIST	EXIST	EXIST	EXIST		7
18	MAILROOM OFFICE B1-10G											7
19	MAILROOM OFFICE B1-10G	D-2	(2) 3'-4" x 3'-0" x 7'-0"	SCWD	-	EXIST	EXIST	EXIST	EXIST	EXIST		7
20	MAILROOM OFFICE B1-10G											7
21	MAILROOM OFFICE B1-10G	D-2	(2) 3'-4" x 3'-0" x 7'-0"	SCWD	-	EXIST	EXIST	EXIST	EXIST	EXIST		7
22	MAILROOM OFFICE B1-10G											7
23	MAILROOM OFFICE B1-10G	D-2	(2) 3'-4" x 3'-0" x 7'-0"	SCWD	-	EXIST	EXIST	EXIST	EXIST	EXIST		7
24	MAILROOM OFFICE B1-10G											7
25	EXISTING CORRIDOR B1-10A											4
26	EXISTING CORRIDOR B1-10A											4
27	EXISTING VESTIBULE B1-16											1
28	GENERAL OFFICE B1-15											1

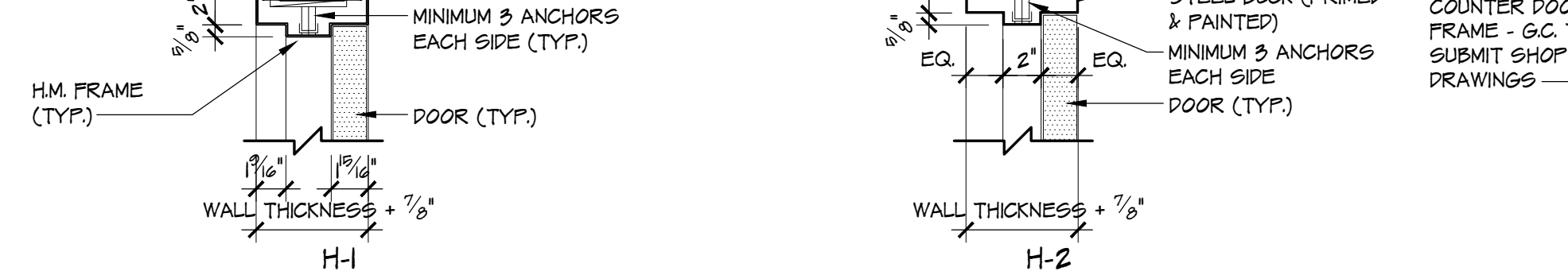
- NOTES:**
- ALL EXISTING DOORS AND FRAMES TO REMAIN ARE TO BE CLEANED AND PAINTED
 - ALL DOORS ARE TO HAVE A 4" RETURN (TYP)
 - ALL NEW DOORS TO MATCH EXISTING
 - REFER TO HARDWARE SPECIFICATIONS FOR HARDWARE TYPES.



4 DOOR & FRAME DETAILS
A-3 SCALE: 1/4" = 1'-0"



5 DOOR HEAD, JAMB, & SILL DETAILS
A-3 SCALE: 1/4" = 1'-0"



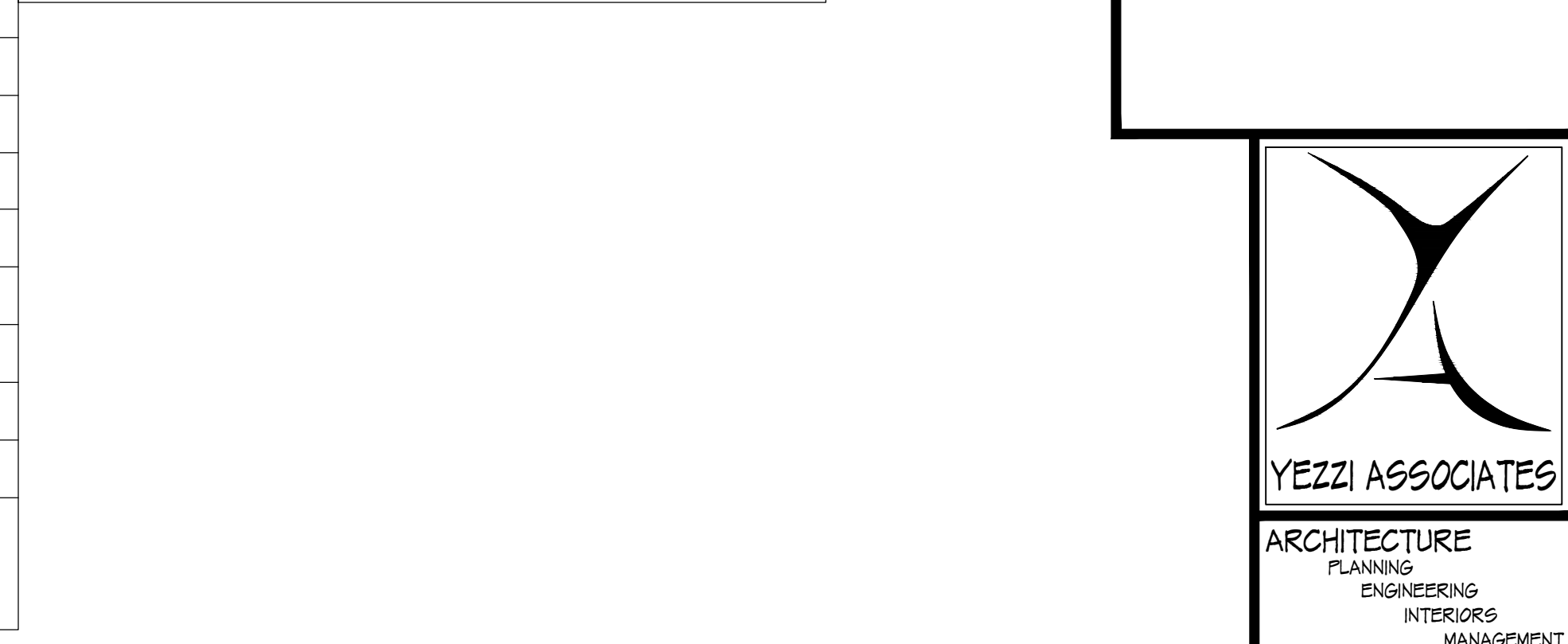
6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"

NOTE:

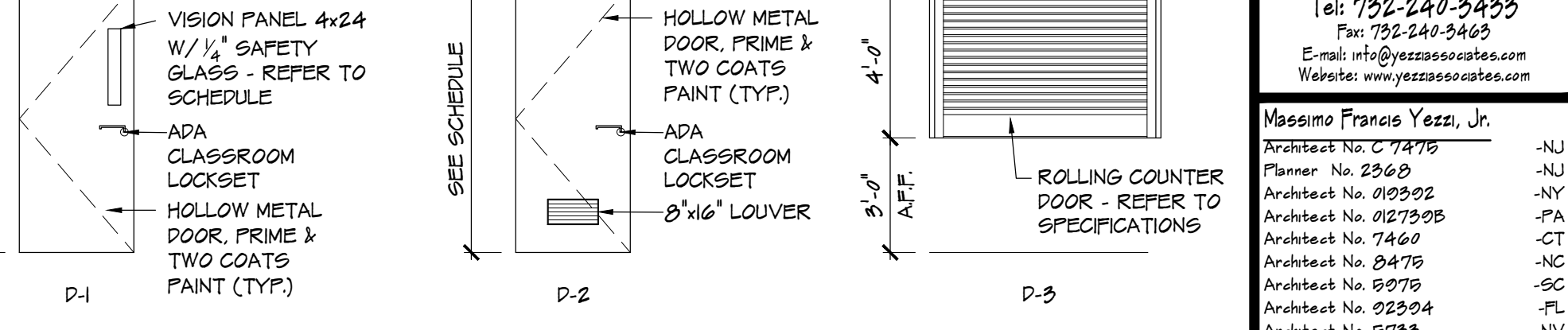
ALL LOCK SETS ARE TO BE IPH MAX CYLINDRICAL W/ 1500 POWER TRANSFER OR HINGE MUST BE TIED BACK TO EXISTING ACCESS CONTROL PANEL. POWER AS REQUIRED. CLOSERS ARE TO BE SARGANT 391 (TYP).

IPH MAX INCORPORATES ALL ACCESS CONTROL COMPONENTS.

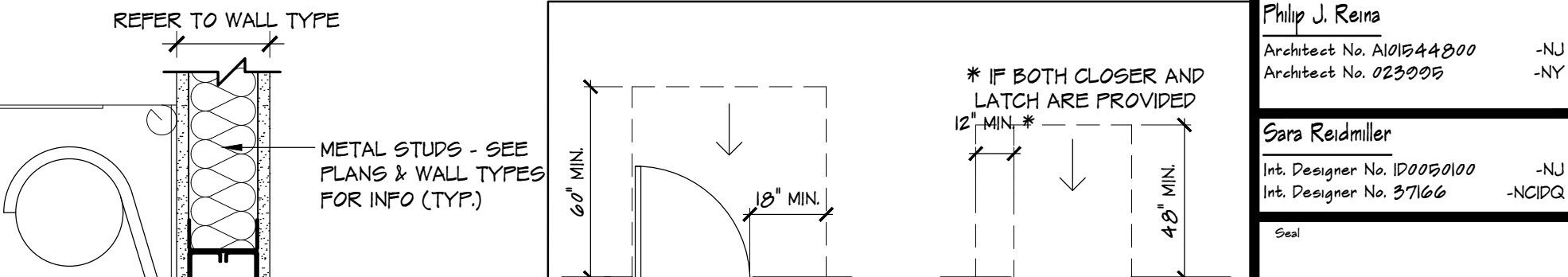
REFER TO DOOR SPECIFICATIONS SECTION 000026246 FOR ADDITIONAL DOOR HARDWARE INFORMATION.



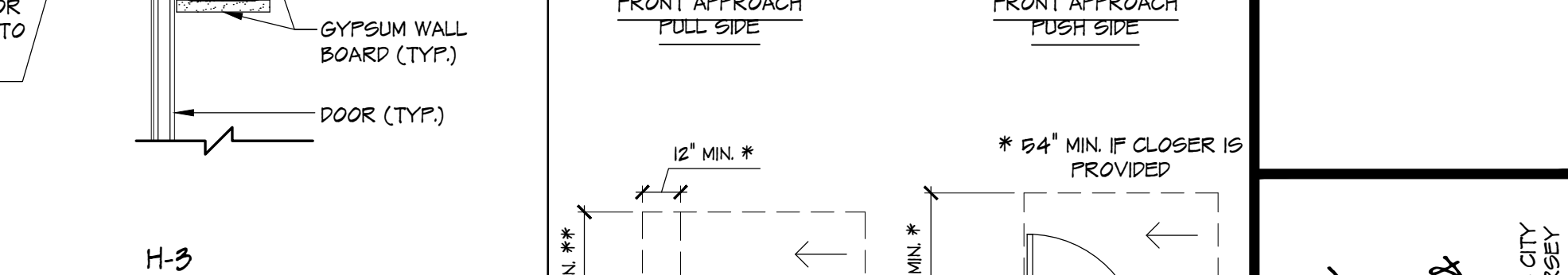
6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



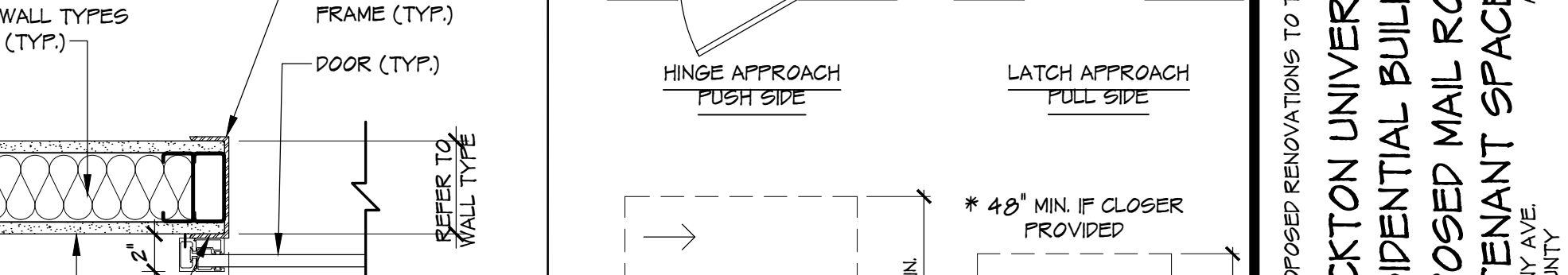
6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



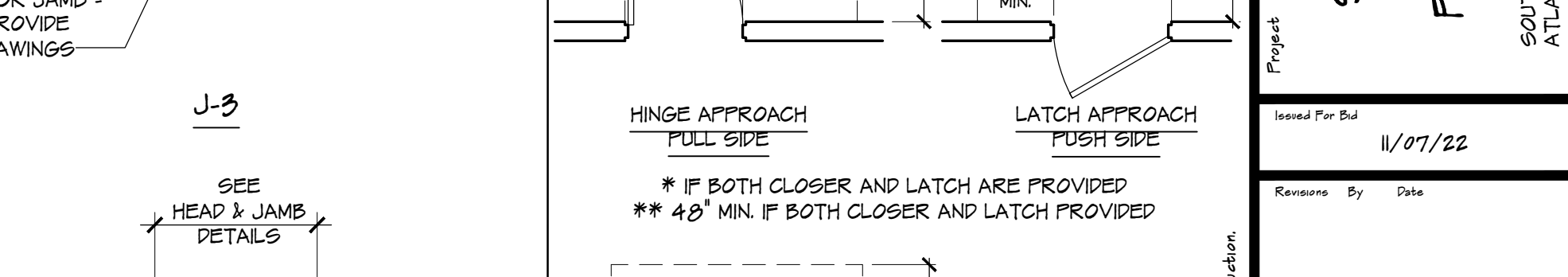
6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



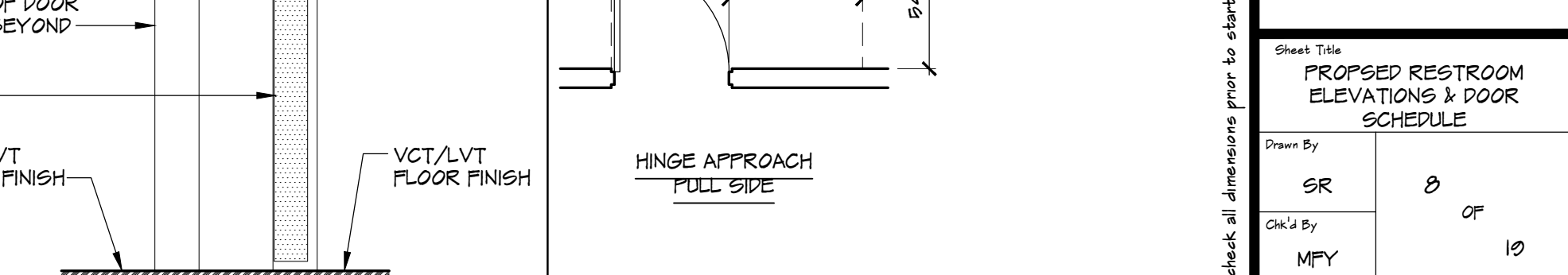
6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



6 ADA DETAILS
A-3 SCALE: 1/4" = 1'-0"



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PROPOSED RENOVATIONS TO THE:
**STOCKTON UNIVERSITY
RESIDENTIAL BUILDING
PROPOSED MAIL ROOM &
TENANT SPACE**

SOUTH ALBANY AVE
ATLANTIC CITY
NEW JERSEY

Project No. 11/07/22

Revised By Date

Sheet Title:
**PROPOSED RESTROOM
ELEVATIONS & DOOR
SCHEDULE**

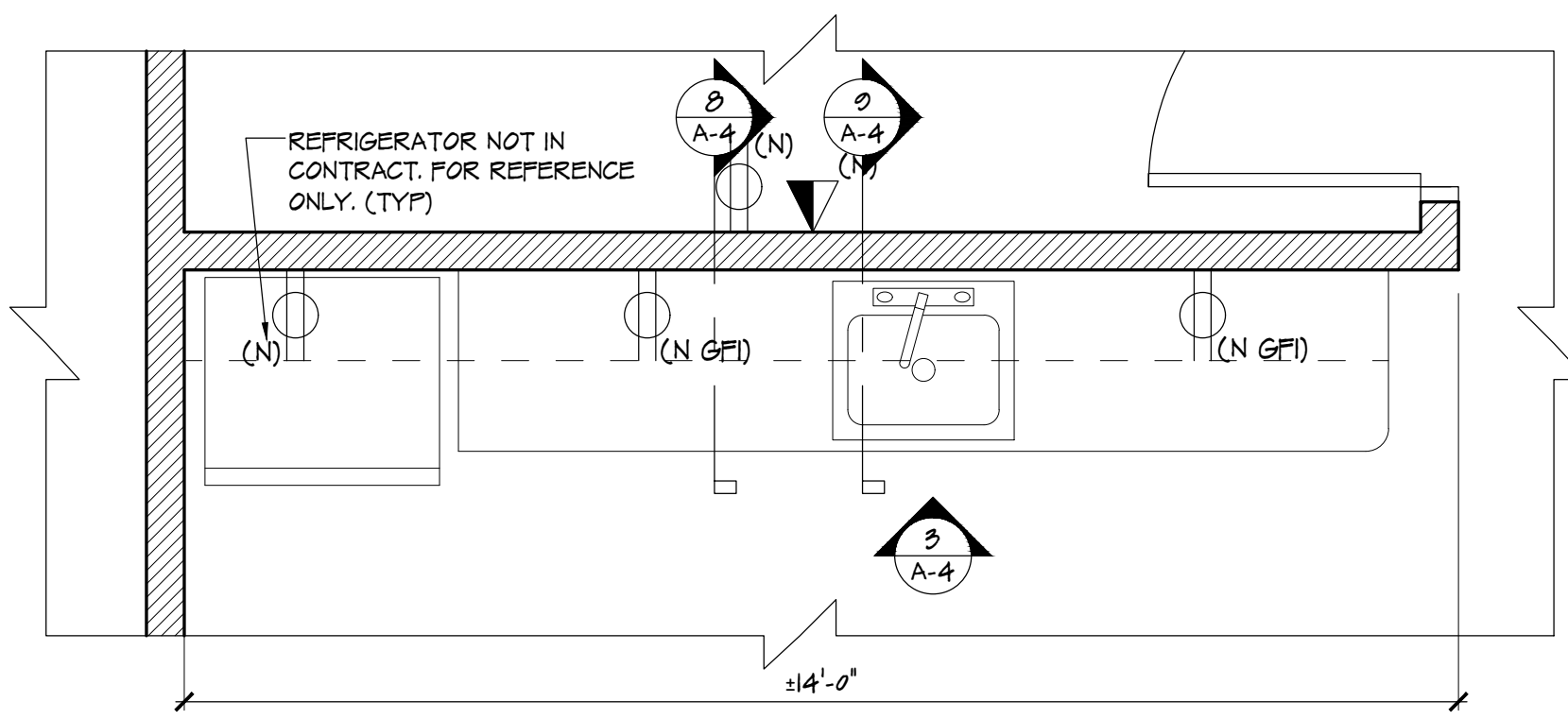
Drawn By: SR
Checked By: MPY

Scale: 1/4" = 1'-0"

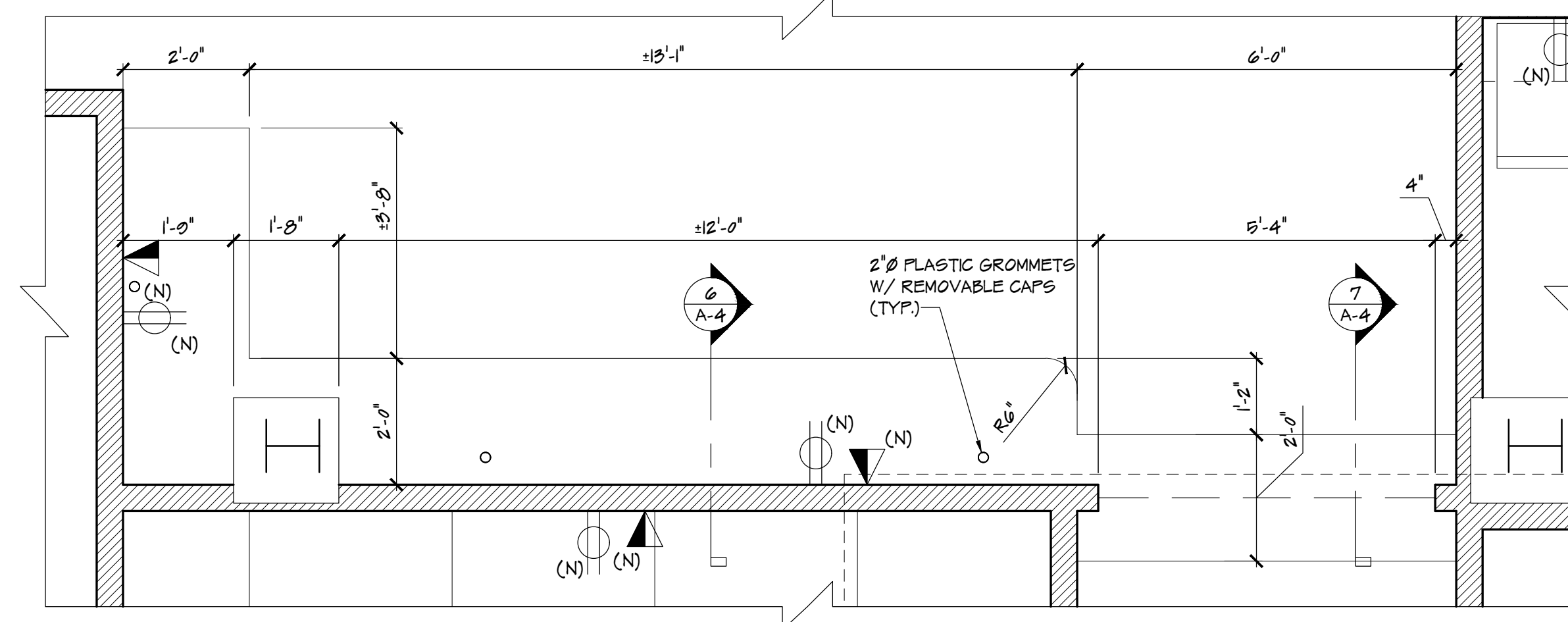
Sheet No. A-3

Project No. YC22121

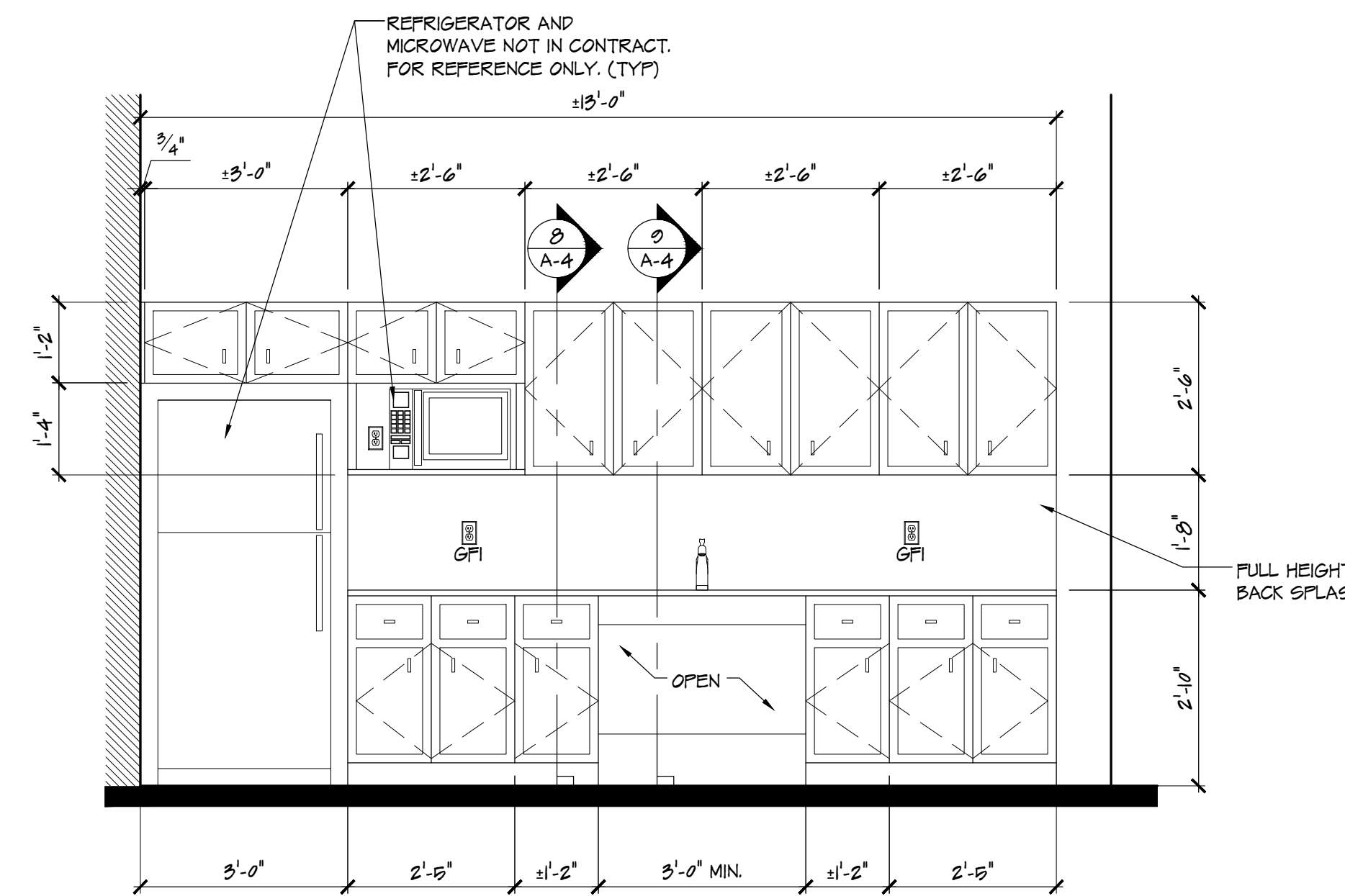
- GENERAL CASEWORK NOTES**
- G.C. TO SUBMIT FULL SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION (TYP.)
 - G.C. TO FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO CONSTRUCTION (TYP.)
 - PLASTIC LAMINATE AT COUNTERS ARE TO HAVE FULL RUNS, NO JOINTS (TYP.)
 - ALL CASE WORK IS TO HAVE ROLLED CORNERS (TYP.)
 - ALL CASEWORK IS TO BE INSTALLED IN COMPLIANCE WITH ICC/ANSI A117-2009 AND N.J.U.C.C. "BARRIER FREE" AND ADA REQUIREMENTS (TYP.)
 - ALL CASEWORK IS TO HAVE 3MM PVC EDGE BANDING (TYP.)
 - REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION & REQUIREMENTS (TYP.)



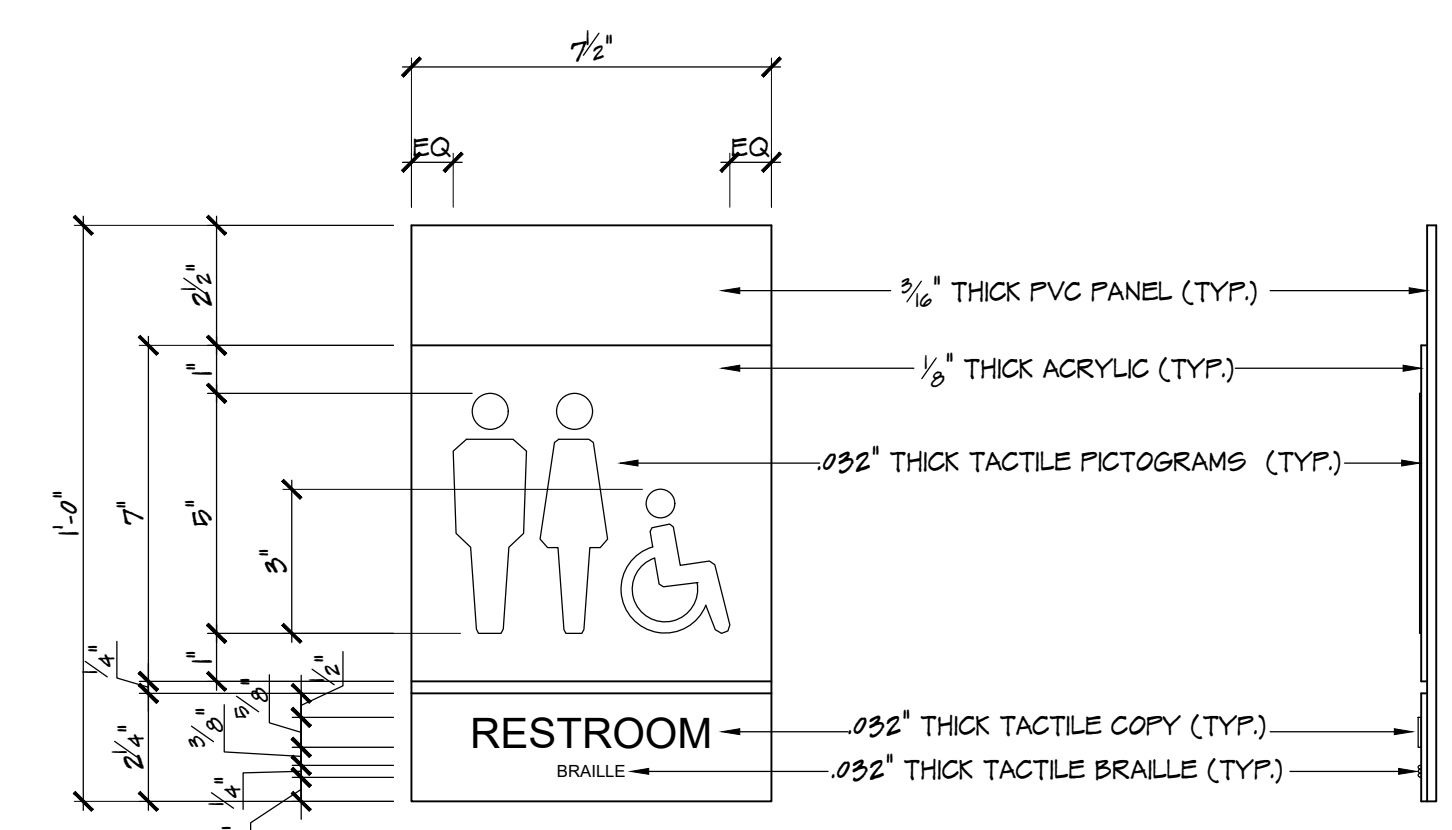
1 ENLARGED PLAN @ GENERAL OFFICE #101
SCALE: 1/2" = 1'-0"



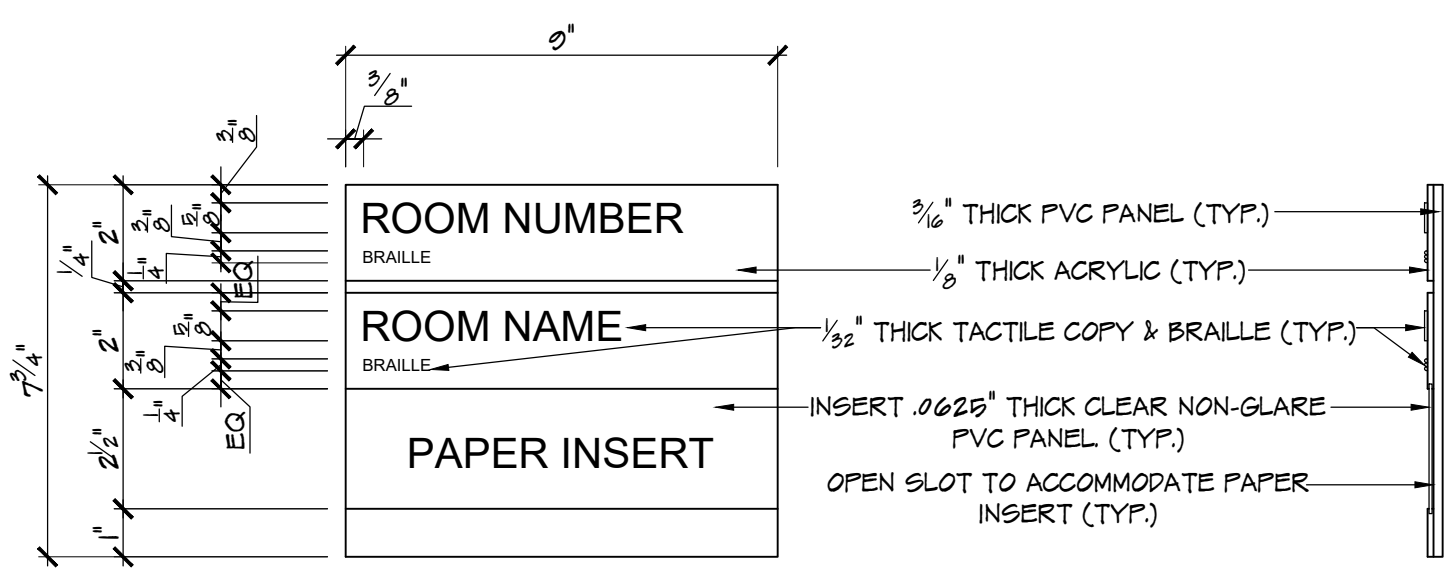
2 ENLARGED PLAN @ MAILROOM OFFICE #106
SCALE: 1/2" = 1'-0"



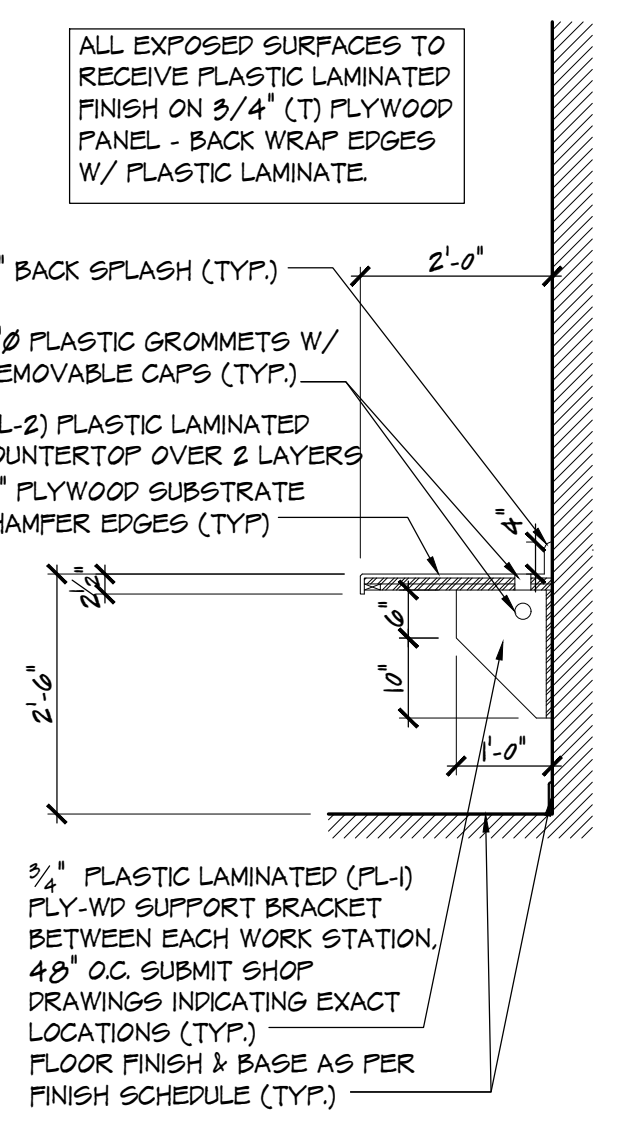
3 CASEWORK ELEVATION
SCALE: 1/2" = 1'-0"



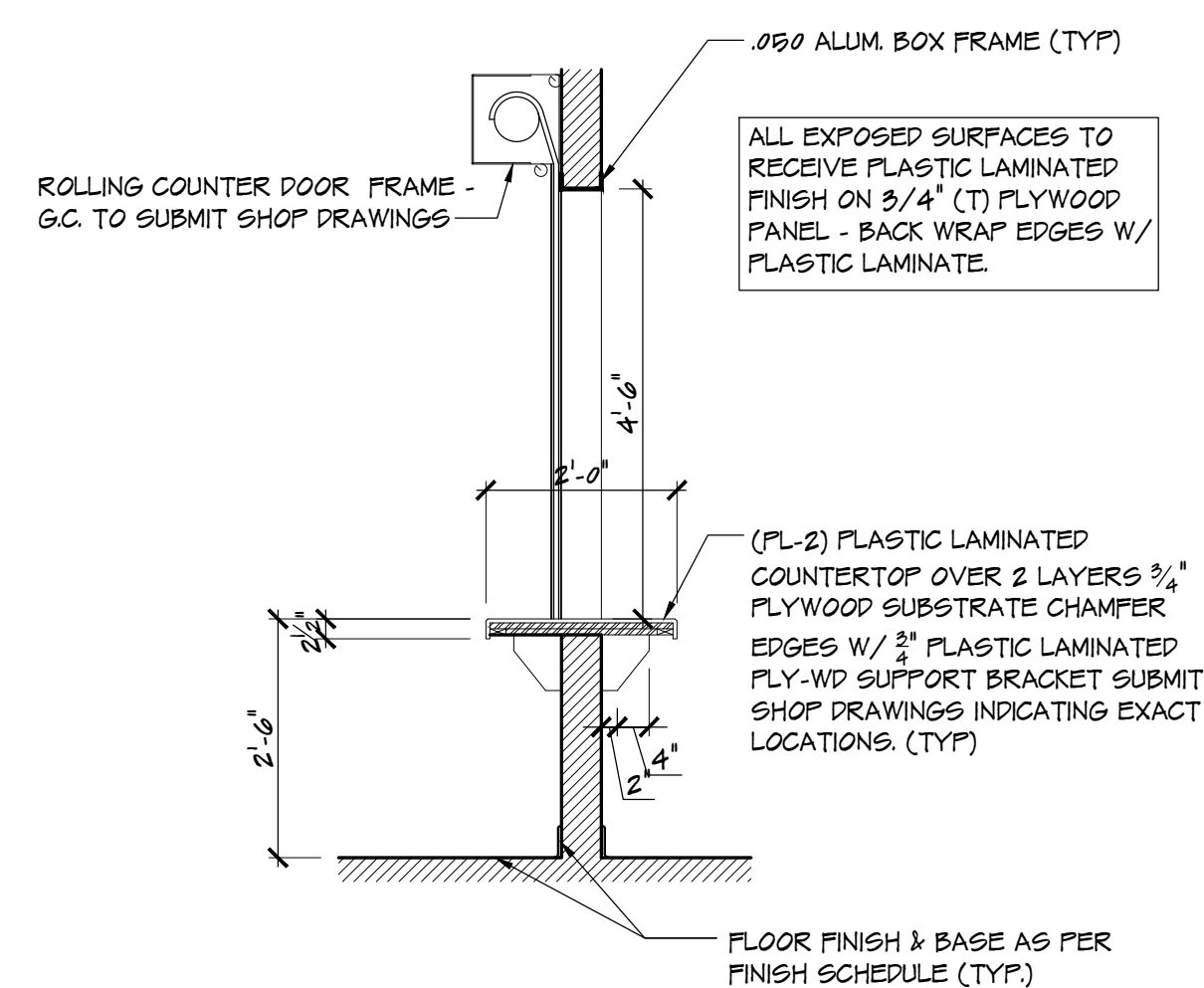
4 RESTROOM SIGN DETAIL (TYP.)
SCALE: 3" = 1'-0"



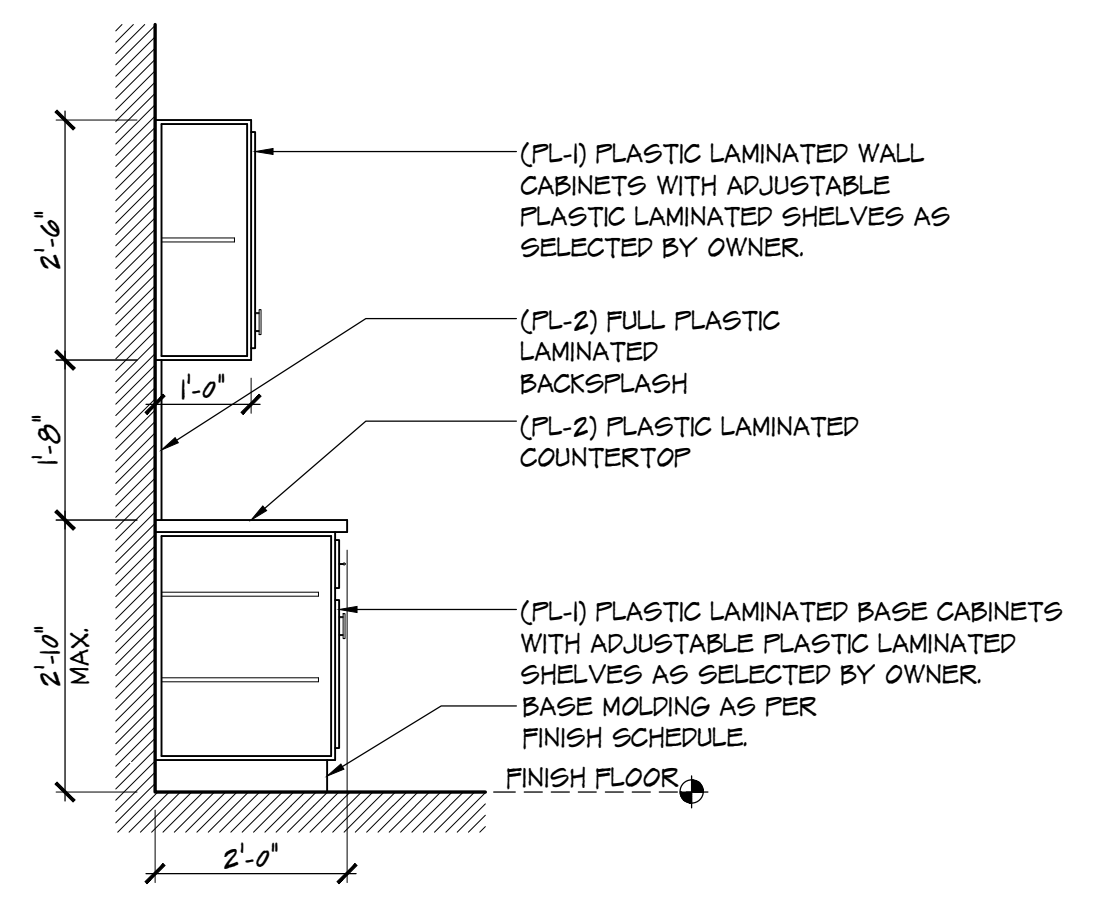
5 INTERIOR SIGN DETAIL (TYP.)
SCALE: 3" = 1'-0"



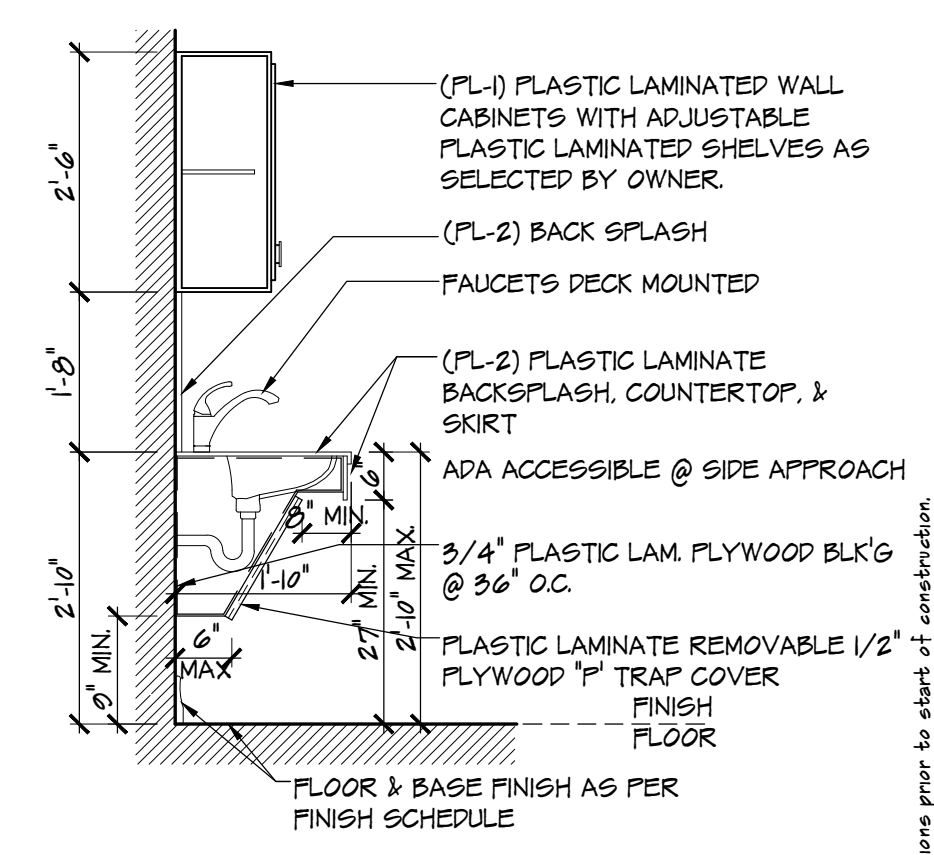
6 CASEWORK SECTION
SCALE: 1/2" = 1'-0"



7 CASEWORK SECTION
SCALE: 1/2" = 1'-0"



8 CASEWORK SECTION
SCALE: 1/2" = 1'-0"



9 CASEWORK SECTION
SCALE: 1/2" = 1'-0"



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PROPOSED RENOVATIONS TO THE:
**STOCKTON UNIVERSITY
RESIDENTIAL BUILDING
PROPOSED MAIL ROOM &
TENANT SPACE**
SOUTH ALBANY AVE.
ATLANTIC CITY
NEW JERSEY

Project: 11/07/22

Revised By: Date

Sheet Title: CASEWORK DETAILS

Drawn By: SR 0

Checked By: MPY 10

Sheet No. A-4

Project No. YC22121

MECHANICAL GENERAL NOTES:

1. WORK IN THIS SECTION INCLUDES THE PROVIDING OF LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND AUTHORITIES HAVING JURISDICTION.
2. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS, MAINTAIN HEADROOM AND SPACE CONDITIONS.
3. SCALED AND FIGURED DIMENSIONS ARE APPROXIMATE AND ARE FOR ESTIMATING PURPOSES ONLY. BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY ALL DIMENSIONS.
4. MAKE ADJUSTMENTS THAT MAY BE NECESSARY OR REQUIRED IN ORDER TO RESOLVE SPACE PROBLEMS.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ADOPTED (AS AMENDED) SUB CODES STANDARDS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - INTERNATIONAL BUILDING CODE NEW JERSEY EDITION/ 2021
 - NAPHC NATIONAL STANDARD PLUMBING CODE / 2021
 - NFPA 70 NATIONAL ELECTRIC CODE / 2020
 - ASHRAE 90.1-2019 ENERGY CODE
 - INTERNATIONAL MECHANICAL CODE / 2021
 - INTERNATIONAL FUEL GAS CODE / 2021

6. CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR AND PROCURE ALL REQUIRED PERMITS, CERTIFICATES AND AGENCY APPROVALS. ALL DOCUMENTS REQUIRED IN ADDITION TO THE CONTRACT DOCUMENTS SHALL BE PROVIDED BY THE CONTRACTOR. PROVIDE COPIES OF ALL REQUIRED CERTIFICATIONS AND APPROVALS TO THE OWNER.
7. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH ALL APPLICABLE INDUSTRY STANDARDS. SYSTEM INSTALLATIONS SHALL CONFORM WITH ALL APPLICABLE INDUSTRY STANDARDS.

8. BEFORE SUBMITTING PROPOSAL THE CONTRACTOR SHALL VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AND/OR PRESENT BUILDINGS AFFECTED BY THIS WORK SO AS TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND THE DIFFICULTIES ASSOCIATED WITH THE EXECUTION OF THE WORK. THESE DIFFICULTIES INCLUDE AVAILABILITY OF THE EQUIPMENT AND MATERIALS. REPORT IN WRITING ANY CONDITIONS WHICH MIGHT ADVERSELY AFFECT THEIR WORK.
9. NO CONSIDERATION OR ADDITIONAL PAYMENTS WILL BE GRANTED FOR ANY ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR WORK TO BE DONE, IT BEING UNDERSTOOD THAT THE SUBMISSION OF A PROPOSAL IS AN AGREEMENT TO ALL CONDITIONS REFERRED TO HEREIN OR INDICATED ON THE PLANS.

10. COORDINATE WITH OWNER AND GENERAL CONTRACTOR SCHEDULING OF ALL WORK SUCH THAT ANY REQUIRED OVERTIME IS INCLUDED AT NO ADDITIONAL COST.
11. PROVIDE THREE SETS OF OPERATION AND MAINTENANCE MANUALS COVERING ALL INSTALLED EQUIPMENT ITEMS TO THE OWNER. THE O&M MANUALS SHALL ALSO INCLUDE AS-BUILT DRAWINGS AND BALANCING REPORT.

12. CONTRACTOR SHALL ENGAGE THE SERVICES OF AN APPROVED TESTING AND BALANCING CONTRACTOR WITH NEBB OR AASB CERTIFICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ADJUSTMENTS TO OBTAIN FLOW RATES AS INDICATED ON DRAWINGS. PROVIDE A FINAL TEST REPORT INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CFM, STATIC PRESSURE, COOLING/HEATING COIL DISCHARGE TEMPERATURE, & FINAL FAN RPM.

13. THE CONTRACTOR SHALL LABEL ALL PIPING AND EQUIPMENT.
14. CONTRACTOR SHALL MAKE TESTS AT HIS OWN EXPENSE, AS REQUIRED BY OWNER AND/OR ANY INSPECTION DEPARTMENT. TEST SHALL BE MADE TO VERIFY WHETHER THE SYSTEM AND EQUIPMENT INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN PROPER WORKING ORDER.

15. AS A PART OF THIS CONTRACT, ALL WORK AND EQUIPMENT FURNISHED AND INSTALLED SHALL BE COVERED UNDER A FULL TWO YEAR GUARANTEE. THE WARRANTY SHALL COMMENCE ON THE DATE OF THE OWNER'S FINAL ACCEPTANCE.
16. PROVIDE DIELECTRIC ISOLATORS BETWEEN DISSIMILAR METALS.

17. IT IS NOT INTENDED THAT THE PLANS OR SPECIFICATIONS SHOW OR STATE EVERY DETAILED REQUIREMENT OF THE WORK, BUT RATHER THAT THEY FURNISH ADEQUATE INFORMATION FOR THE CONTRACTOR TO MAKE COMPLETELY APPROVED INSTALLATION.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, WITHOUT ADDITIONAL CHARGE, ANY EXISTING WORK DAMAGED BY HIM DURING THE COURSE OF THIS CONSTRUCTION.

19. MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CONTROLS AND INSTALLATION OF EQUIPMENT SUPPLIED BY THE UNIT MANUFACTURER TO MEET THE OPERATIONAL REQUIREMENTS OF THE MANUFACTURER SPECIFICATION. THE BAS MANUFACTURER WILL PROVIDE THE CONTROLS AND INSTALLATION REQUIRED TO MEET THE SEQUENCE OF OPERATION. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE IBS CONTRACTOR TO PROVIDE A COMPLETE FUNCTIONING SYSTEM.

20. CONTRACTOR SHALL LEAVE ALL SYSTEMS IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED BY HIM UNDER HIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

21. COORDINATE ALL WALL & ROOF PENETRATIONS WITH THE GENERAL CONTRACTOR.
22. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AS PER THE DIRECTION OF OWNER.

23. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MAJOR MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. A MINIMUM OF 4 COPIES SHALL BE SUBMITTED. PURCHASE OR INSTALLATION OF EQUIPMENT OR SYSTEM COMPONENTS PRIOR TO APPROVAL OF SHOP DRAWINGS IS PROHIBITED. APPROVAL OF SHOP OR SETTING DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE TO THE DESIGN CONCEPT OF THE PROJECT AND FOR COMPLIANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL REMAIN THE CONTRACTOR'S UNLESS HE HAS, IN WRITING, SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED WRITTEN APPROVAL OF SUCH DEVIATIONS FROM THE OWNER.

24. CONTRACTOR SHALL PROVIDE PRODUCT DATA INCLUDING INSTALLATION AND STARTUP INSTRUCTIONS FOR ALL EQUIPMENT PROVIDED BY HIM. SUBMITTALS SHALL INCLUDE PERFORMANCE DATA, DETAILED SHOP DRAWINGS, WIRING DIAGRAMS AND MAINTENANCE INSTRUCTIONS.

25. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
26. CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS STEEL SHAPES, HANGER RODS, STRAPS, ETC. REQUIRED FOR ALL SYSTEM INSTALLATIONS. PROVIDE ALL SEISMIC RESTRAINTS AS REQUIRED BY THE INTERNATIONAL BUILDING CODE.

27. PROVIDE ALL CUTTING AND PATCHING AS REQUIRED. COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR AND/OR CONSTRUCTION MANAGER.
28. SEAL ALL EXTERIOR WALL PENETRATIONS WEATHER TIGHT. PROVIDE FIRE RATED SLEEVES AT ALL FIRE WALL PENETRATIONS AND SEAL AROUND ALL PIPE WITH FIRE STOP SEALANT. COORDINATE PENETRATIONS AND FIRE STOPPING WITH THE GENERAL CONTRACTOR AND/OR CONSTRUCTION MANAGER.

29. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO THE OWNER COMPLETE AND ACCURATE "AS CONSTRUCTED DOCUMENTATION" FOR ALL SYSTEMS INSTALLED OR ALTERED UNDER THIS CONTRACT.

MECHANICAL GENERAL SPECIFICATIONS:

PART 1 - GENERAL

GENERAL:

- THE MECHANICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION, EQUIPMENT, SERVICES AND FACILITIES REQUIRED FOR THE HVAC MODIFICATION WORK AND OTHER MECHANICAL WORK AS SHOWN ON THIS DOCUMENTS. ALL FIXTURES, DEVICES AND EQUIPMENT SHOWN, NOTED OR REQUIRED ON THE DRAWINGS, AND/OR CONTAINED HEREIN SHALL BE FURNISHED, INSTALLED, TESTED AND MADE READY FOR SATISFACTORY OPERATION.
- THE MECHANICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AND OWNER FOR EQUIPMENT LOCATIONS AND CLEARANCES REQUIRED FOR EQUIPMENT. CONTRACTOR TO COORDINATE AND MODIFY LAYOUT ACCORDINGLY.
- THE MECHANICAL CONTRACTOR SHALL FURNISH ALL PERMITS, CERTIFICATES, INSPECTIONS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK DONE UNDER THIS CONTRACT.

SHOP DRAWING SUBMITTAL:

- THE CONTRACTOR SHALL SUBMIT, IN A TIMELY MANNER, ALL SUBMITTALS FOR APPROVAL BY THE ENGINEER. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INSTALL ANY MATERIALS UNTIL THE ENGINEER HAS MADE FINAL APPROVAL ON THE SUBMITTALS.
- PREPARE COORDINATION DRAWINGS TO A SCALE OF 1/4"=1'-0" OR LARGER, DETAILING MAJOR ELEMENTS, COMPONENTS, AND SYSTEMS OR MECHANICAL EQUIPMENT AND MATERIALS IN RELATIONSHIP WITH OTHER SYSTEMS, INSTALLATIONS, AND BUILDING COMPONENTS.
- SUBMIT THREE (3) SETS OF SHOP DRAWING FOR THE FOLLOWING:
 1. HVAC EQUIPMENT
 2. DIFFUSERS AND FIRE DAMPERS
 3. DUCTWORK

COORDINATION:

- POWER WIRING TO MECHANICAL EQUIPMENT, MOTOR CONTROLLERS AND CONTROL PANELS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- HVAC CONTROL WIRING SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
- ALL NON-FACTORY FURNISHED MOTOR CONTROLLERS, MOTOR STARTERS AND DISCONNECTS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
- DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE WITH LOCKABLE HANDLE. DISCONNECTS FOR ALL ELECTRICALLY DRIVEN HVAC EQUIPMENT SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

PART 2 - PRODUCT

REFER TO BOOK SPECIFICATION.

PART 3 - TESTING, ADJUSTING AND BALANCING

- BEFORE COMMENCING WITH THE BALANCING OF THE EXISTING BUILDING HOT WATER/CHILLED SYSTEM, THE SYSTEM SHALL BE THOROUGHLY LEAK FREE AND ANY AIR PRESENT SHALL BE VENTED AND PURGED.
- CLEANING THE AIR SYSTEMS:
 - BEFORE FINAL ADJUSTMENT AND BALANCING, CHEESE CLOTH SHALL BE PLACED OVER EACH DUCT OPENING FOR ENTRAINING PARTICLES DURING THE CLEANING OPERATION. OPERATE ALL SYSTEMS FOR A MINIMUM OF FOUR (4) HOURS. AFTER THIS PERIOD, REMOVE ALL FILTERS, CLEAN ALL SUPPLY DUCTS, GRILLES AND REGISTERS, IN ALL UNITS, USING A VACUUM CLEANER AND BRUSH. FILTERS SHALL BE REPLACED.
- BALANCING THE AIR SYSTEMS:
 - OPERATE ALL SYSTEMS FOR AS LONG AS NECESSARY TO TEST AIR FLOW AT ALL OPENINGS. ADJUST DAMPERS, FANS, AND SHEAVES UNTIL EVEN DISTRIBUTION AND REQUIRED CFM OF AIR IS OBTAINED THROUGHOUT. SUBMIT FOR APPROVAL FOUR (4) TEST REPORTS SHOWING ALL PERTINENT OPERATING DATA SUCH AS CFM AND FPM AT EACH OUTLET. FAN RPM, MOTOR CURRENT, ETC., SHALL BE SUBMITTED FOR PERMANENT RECORD. DURING ADJUSTING PERIOD, MAKE ALL NECESSARY SETTINGS AND ADJUSTMENTS OF TEMPERATURE REGULATING EQUIPMENT. TEST REPORTS SHALL BE CERTIFIED BY A NEBB OR AASB LICENSED PROFESSIONAL ENGINEER WHO SHALL BE A MEMBER OF THE BALANCING FIRM.
 - PERFORMANCE:
 - AIR DISTRIBUTION DEVICES OF MANUFACTURERS OTHER THAN THOSE SCHEDULED SHALL MATCH DESIGN, FEATURES, CAPACITY AND DIMENSIONS OF MODEL NUMBER SCHEDULED. AIR DISTRIBUTION DEVICES SHALL BE SELECTED FOR PROPER THROW WITH A MAXIMUM NC LEVEL OF 35. BALANCE ALL NEW DIFFUSERS TO AIR QUANTITIES INDICATED. ALL DIFFUSERS ARE INDICATED BY A TAG INDICATING THE DIFFUSER MARK, NECK SIZE, AND CFM. DIFFUSERS SHALL BE AS SCHEDULED ON THE MECHANICAL DRAWINGS AND/OR ON THE AIR DISTRIBUTION DEVICE SCHEDULE.

PART 4 - INSTALLATION

EQUIPMENT INSTALLATION:

- INSTALL EQUIPMENT IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION.
- INSTALL EQUIPMENT IN STRICT COMPLIANCE WITH STATE AND LOCAL CODES AND APPLICABLE NFPA STANDARDS.
- MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES AROUND SIDES AND OVER TOP OF EQUIPMENT.
- INSTALL COMPONENTS THAT WERE REMOVED FROM EQUIPMENT FOR SHIPPING PURPOSES.
- INSTALL COMPONENTS THAT WERE FURNISHED LOOSE WITH EQUIPMENT FOR FIELD INSTALLATION.
- PROVIDE ALL ELECTRICAL CONTROL AND POWER INTERCONNECT WIRING.
- COORDINATE EXACT LOCATION OF ALL THERMOSTATS WITH OWNER.

ABBREVIATIONS

AL	ACOUSTICAL LINING	LD	LINEAR DIFFUSER
AC	AIR CONDITIONING	LF	LINEAR FEET
AD	ACCESS DOOR	LWT	LEAVING WATER TEMPERATURE
AFB	ABOVE FINISHED FLOOR	MC	MECHANICAL CONTRACTOR
AHU	AIR HANDLING UNIT	MAX	MAXIMUM
APPROX	APPROXIMATE	MBH	BTU PER HOUR (THOUSAND)
ATC	AUTOMATIC TEMPERATURE CONTROL	MD	MOTORIZED DAMPER
ATM	ATMOSPHERE	MECH	MECHANICAL
AVG	AVERAGE	MER	MECHANICAL EQUIPMENT ROOM
AWG	AMERICAN WIRE GAUGE	MIN	MINIMUM
BAS	BUILDING AUTOMATION SYSTEM	NC	NORMALLY CLOSED
BHP	BRAKE HORSEPOWER	NIC	NOT IN CONTRACT
BTU	BRITISH THERMAL UNITS	N.O.	NORMALLY OPEN
CA	COMPRESSED AIR	N.T.S.	NOT TO SCALE
CD	CEILING DIFFUSER	N/A	NOT APPLICABLE
CFM	CUBIC FEET OF AIR PER MINUTE	NC	NOISE CRITERIA
CHW	CHILLED WATER	OA	OUTSIDE AIR
CHWR	CHILLED WATER RETURN	P	PUMP
CHWS	CHILLED WATER SUPPLY	PC	PUMPED CONDENSATE
CL EL	CENTERLINE ELEVATION	PD	PRESSURE DROP
CMFR	COMPRESSOR	PER	PERFORATED CEILING DIFFUSER
COND	CONDENSER	PH	PHASE
CP	CONTROL PANEL	PRESS	PRESSURE
CT	COOLING TOWER	PSI	POUNDS PER SQUARE INCH
CW	COLD WATER	PVC	POLYVINYL CHLORIDE
CWR	CONDENSER WATER RETURN	R&B	REMOVE AND BLANK OFF
CWS	CONDENSER WATER SUPPLY	RA	RETURN AIR
D	DRAIN	RAG	RETURN AIR GRILL
DB	DEGREE	RCVR	RECEIVER
DB	DRY BULB	RD	RETURN AIR DIFFUSER
DEG	DEGREE	RECIRC	RECIROULATE
DIA, Ø	DIAMETER	REG	REGISTER
EC	ELECTRICAL CONTRACTOR	REV	REVISIONS
EPH	ELECTRIC DUCT HEATER	RH	RELATIVE HUMIDITY
EF	EXHAUST FAN	RLA	RUNNING LOAD AMPS
EFF	EFFICIENCY	RFM	REVISIONS PER MINUTE
ENT	ENTERING	SA	SUPPLY AIR
ER	EXHAUST REGISTER	SAD	SUPPLY AIR DIFFUSER
ERHC	ELECTRIC REHEAT COIL	SAG	SUPPLY AIR GRILLE
EWT	ENTERING WATER TEMPERATURE	SAR	SUPPLY AIR REGISTER
EX	EXHAUST	SD	SUPPLY AIR DIFFUSER
EXIST.	EXISTING	SF	SUPPLY FAN
EXP	EXPANSION	SP	STATIC PRESSURE
F	FAHRENHEIT	T	THERMOSTAT
FA	FACE AREA	TAP	TRANSFER AIR DIFFUSER
FC	FLEXIBLE CONNECTION	TEMP	TEMPERATURE
FD	FLOOR DRAIN	TG	TRANSFER GRILLE
FD	FIRE DAMPER	TYP.	TYPICAL
FLA	FULL LOAD AMPS	U.O.N.	UNLESS OTHERWISE NOTED
FP	FREEZING POINT	V	VOLT
FFM	FEET PER MINUTE	VAV	VENT
FFU	FAN POWERED UNIT	VEL	VARIABLE AIR VOLUME
FFP	FIBERGLASS REINFORCED PLASTIC	VOL	VOLUME DAMPER
FSF	FIRE AND SMOKE DAMPER	W	WATT
FT	FEET	W	WASTE
G.C.	GENERAL CONTRACTOR	W/M	WIRE MESH
GA	GAGE OR GAUGE	WB	WET BULB
GPM	GALLONS PER MINUTE	WT	WEIGHT
HE	HEAT EXCHANGER		
HF	HORSEPOWER		
HW	HOT WATER		
HWR	HOT WATER RETURN		
HWS	HOT WATER SUPPLY		
HZ	HERTZ		
IN.	INCHES		
KWH	KILOWATT HOUR		
LBS	POUNDS		

HVAC SYMBOL LEGEND

	DEMOLITION WORK NOTES
	NEW WORK NOTES
	SUPPLY AIR DUCT
	RETURN AIR DUCT
	NEW AIR DIFFUSER
	EXISTING AIR DIFFUSER
	2-WAY AIR DIFFUSER
	2-WAY AIR DIFFUSER
	EXISTING SUPPLY AIR DIFFUSER TO BE REMOVED
	NEW RETURN AIR REGISTER
	NEW CONNECTION
	THERMOSTAT (T-STAT)
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW WORK
	PIPE DROP
	FLEXIBLE DUCT
	FIRE ALARM SYSTEM DUCT MOUNTED PHOTOELECTRIC SMOKE DETECTOR, FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
	POINT OF TERMINATION
	FIRE DAMPER
	VOLUME DAMPER



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Seal

PROJECT RENOVATIONS TO
STOCKTON UNIVERSITY
RESIDENTIAL BUILDING
PROPOSED MAIL ROOM &
TENANT SPACE
SOUTH ALBANY AVE
ATLANTIC CITY
NEW JERSEY

Issued For Bid 11/03/22

Revised By Date ISSUED FOR BIDD 11/14/22

MECHANICAL COVER SHEET

Drawn By	CE/GB	10
Checked By	GB/MW	07
Sheet No.		10

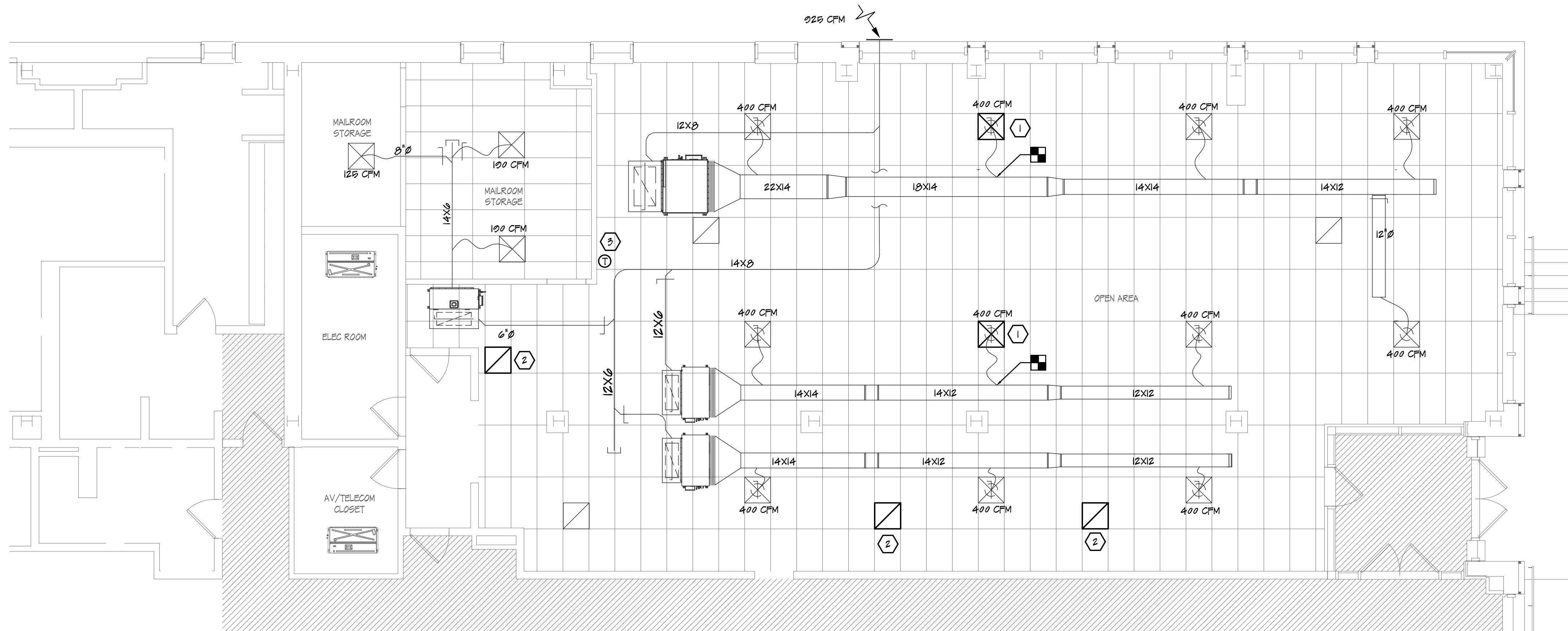
MATTHEW DAVID WELLS, N.J.P.E.
PROFESSIONAL ENGINEER, LIC. NO. 246589400

M-0

Project No. YC22121

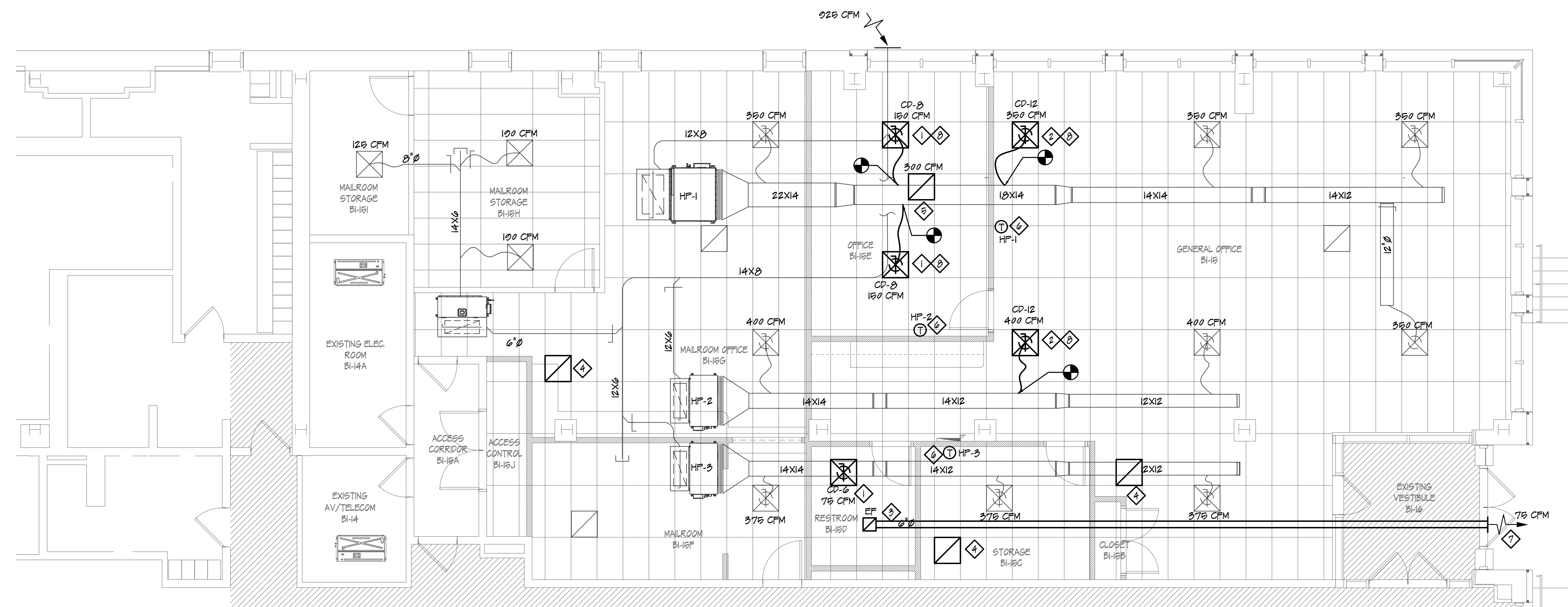
HRG
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WWW.HRG-LLC.COM | 856-448-5476 | 856-404-0372
CERTIFICATE OF AUTHORIZATION: 04043813020

SIGNATURE NOT VALID WITHOUT RAISED SEAL DATE



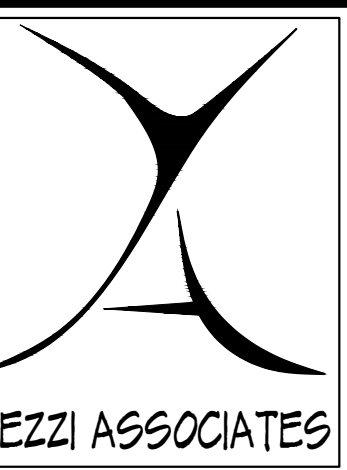
1 MECHANICAL DEMOLITION WORK PLAN
M-1 SCALE: 3/16" = 1'-0"

- DEMOLITION WORK NOTES
- 1 REMOVE EXISTING 24X24 SUPPLY AIR DIFFUSER AND FLEXIBLE DUCT RUN-OUT FROM THE SHEET METAL DUCT COLLAR TO THE DIFFUSER TO PREPARE FOR REINSTALLATION OF EXISTING DIFFUSERS AND INSTALLATION OF NEW DIFFUSERS AS PART OF PROPOSED WORK.
 - 2 REMOVE EXISTING 24X24 PLENUM RETURN AIR GRILLE.
 - 3 REMOVE EXISTING THERMOSTAT AND ASSOCIATED WIRING BACK TO THE HEAT PUMPS.



2 MECHANICAL PROPOSED WORK PLAN
M-1 SCALE: 3/16" = 1'-0"

- NEW WORK NOTES
- 1 INSTALL NEW 24X24 SUPPLY AIR DIFFUSERS (CARNES MODEL SKGA WITH ROUND NECK) INCLUDING 8" FLEXIBLE DUCT RUNOUTS WITH MANUAL VOLUME DAMPER AT DUCT COLLAR CONNECTION.
 - 2 INSTALL RELOCATED 24X24 SUPPLY AIR DIFFUSERS INCLUDING 12" FLEXIBLE DUCT RUNOUTS WITH MANUAL VOLUME DAMPER AT DUCT COLLAR CONNECTION.
 - 3 INSTALL NEW TOILET ROOM EXHAUST FAN (GREENHECK MODEL SF-A50-00-VG-QD, 120V, SINGLE PHASE).
 - 4 INSTALL RELOCATED 24X24 PLENUM RETURN AIR GRILLES AS SHOWN.
 - 5 INSTALL NEW 24X24 PLENUM RETURN AIR GRILLE (CARNES MODEL RSAB) AS SHOWN.
 - 6 INSTALL NEW PROGRAMMABLE THERMOSTAT WITH LOCKABLE COVER. ROUTE CONTROL WIRING (24V) TO ASSOCIATED EXISTING HEAT PUMPS AS SHOWN.
 - 7 TERMINATE 6" EXHAUST DUCT IMMEDIATELY BEHIND EXISTING LOUVERED OPENING ON EXTERIOR WALL.
 - 8 REBALANCE SYSTEMS TO ACHIEVE AIRFLOWS INDICATED.



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Revised By Date
ISSUED FOR DCA 11/14/22

Sheet Title
MECHANICAL
DEMOLITION AND
PROPOSED WORK PLAN

Drawn By
CE/GS II

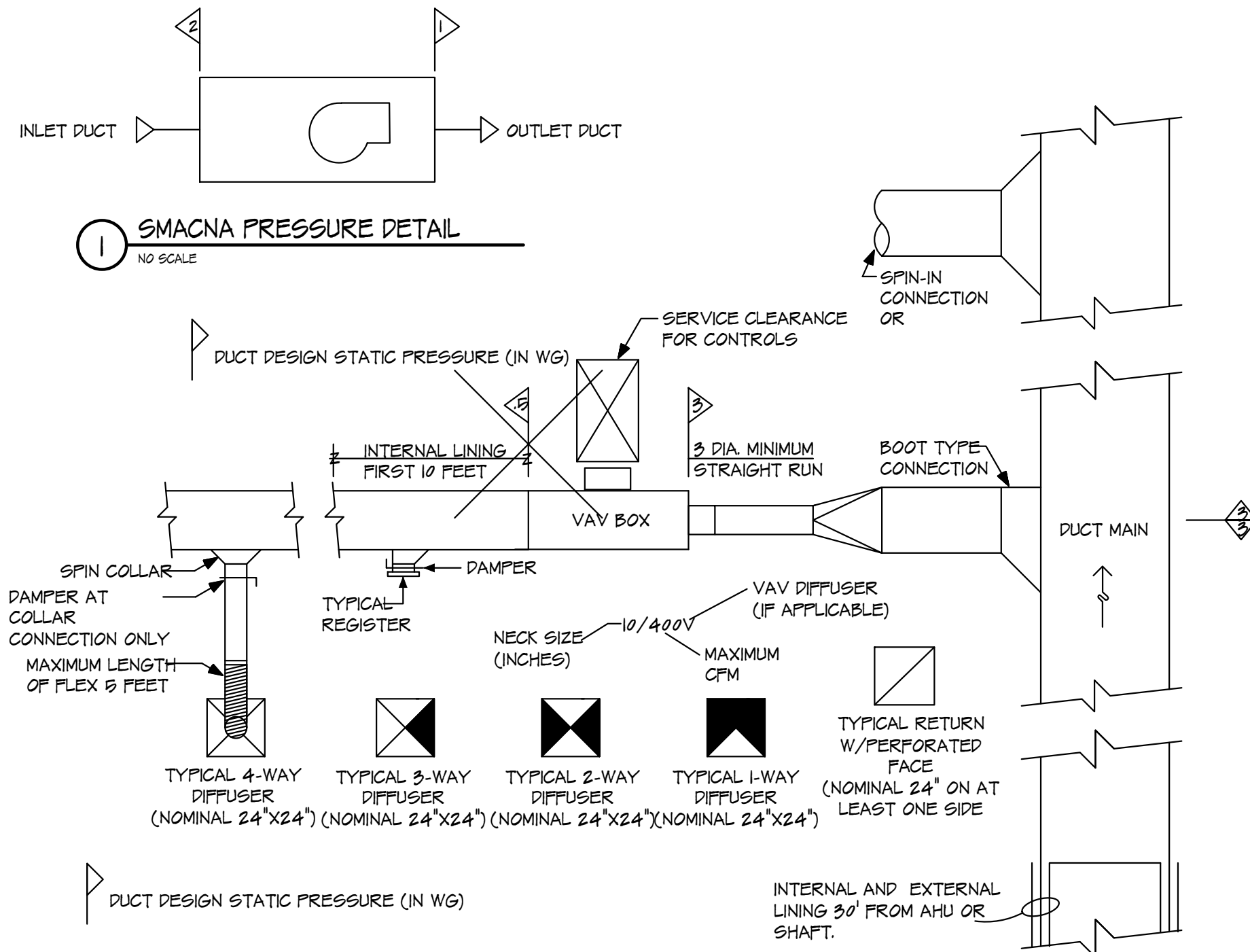
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GS/MW 10

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M-1

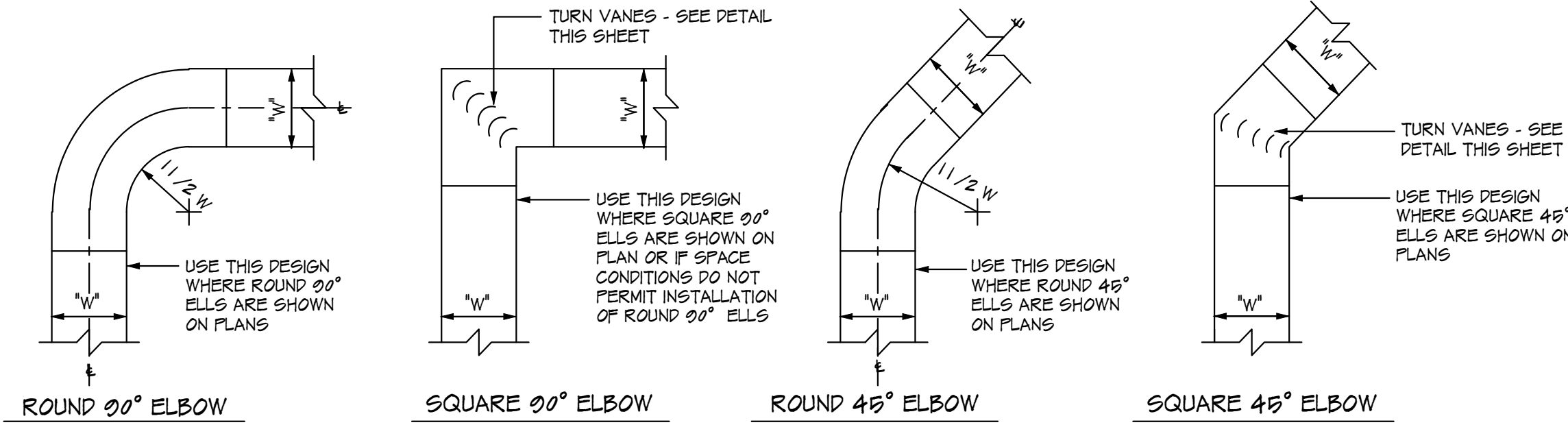
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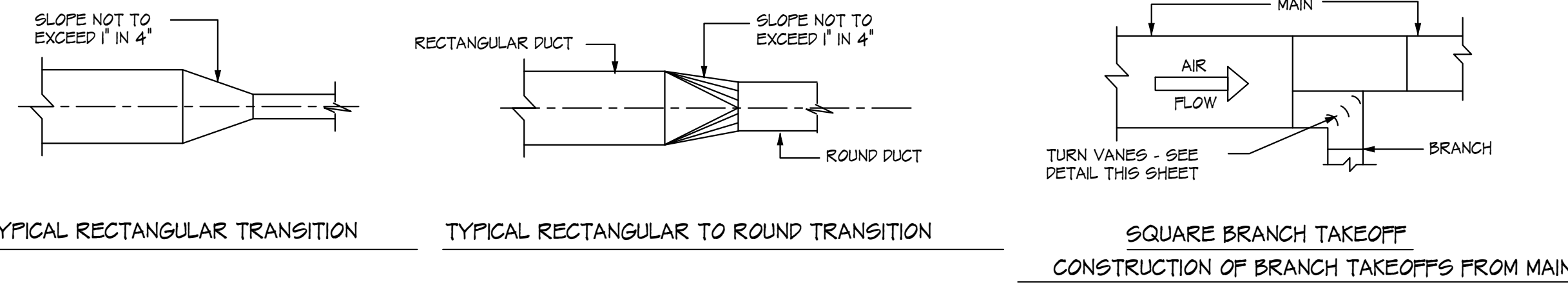


2 HVAC CONSTRUCTION DETAIL
NO SCALE



CONSTRUCTION OF 90° ELBOWS

CONSTRUCTION OF 45° ELBOWS



6 DUCTWORK TURNING VANE DETAIL
NO SCALE

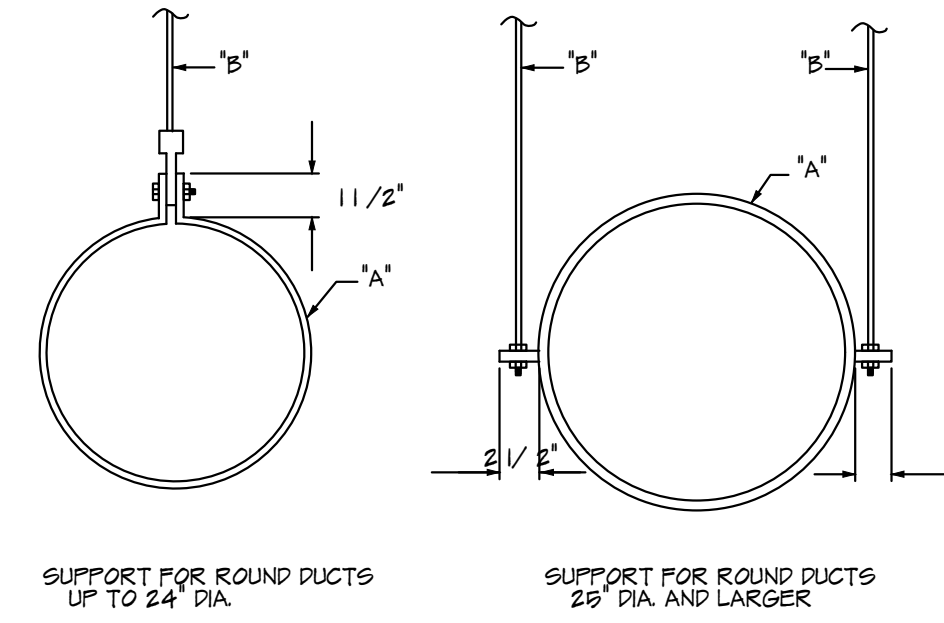
5 LOW VELOCITY DUCTWORK DETAILS
NO SCALE

Ventilation Schedule								
Room	Area (SF)	Space Use	People/1000 SF	People	CFM/Person	CFM/SF	Total OA CFM	Exhaust
General Office - B1-15	1400	Office	5	7	5	0.06	119	-
Access Corridor - B1-15A	66	Corridor	0	0	-	0.06	3.96	-
Closet - B1-15B	12	Storage	0	0	-	0.12	1.44	-
Storage - B1-15C	133	Storage	0	0	-	0.12	15.96	-
Restroom - B1-15D	73	Restroom	-	1	-	-	-	50
Office - B1-15E	275	Office	5	2	5	0.06	26.5	-
Mailroom - B1-15F	221	Reception	30	7	5	0.06	48.26	-
Mailroom Office - B1-15G	540	Office	5	3	5	0.06	47.4	-
Mailroom Storage - B1-15H	234	Storage	0	0	-	0.12	28.08	-
Mailroom Storage - B1-15I	95	Storage	0	0	-	0.12	11.4	-
Access Control - B1-15J	42	Storage	0	0	-	0.06	2.52	-

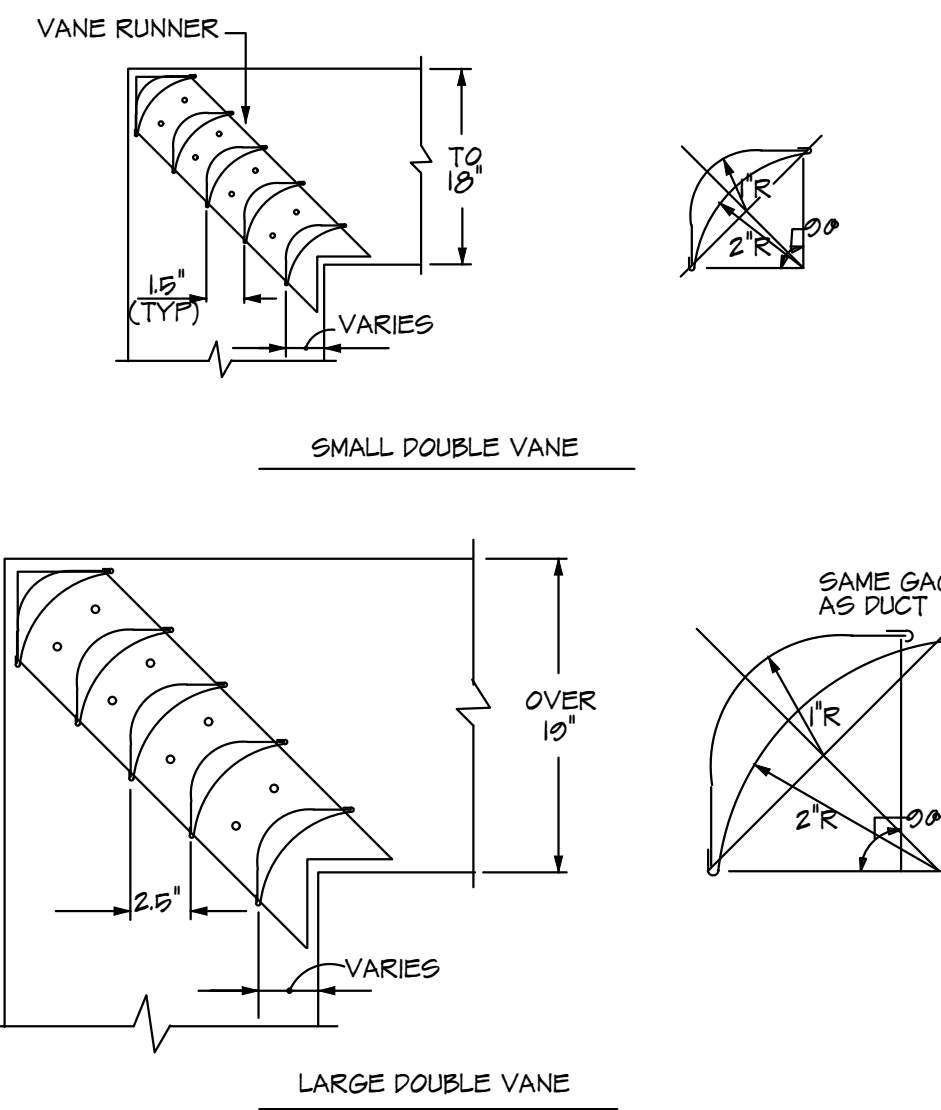
Note: Space currently is served by 4 Heat Pumps with 925 CFM of Outside Air

8 VENTILATION SCHEDULE
NO SCALE

DUCT SIZE	"A" FLAT BAR	"B" ROD DIA.
UP TO 24"	1" x 1/8"	5/8"
25" TO 41"	1" x 1/8"	5/8"
42" AND UP	1 1/2" x 3/16"	1/2"



3 DUCTWORK HANGER (ROUND DUCTWORK)
NO SCALE



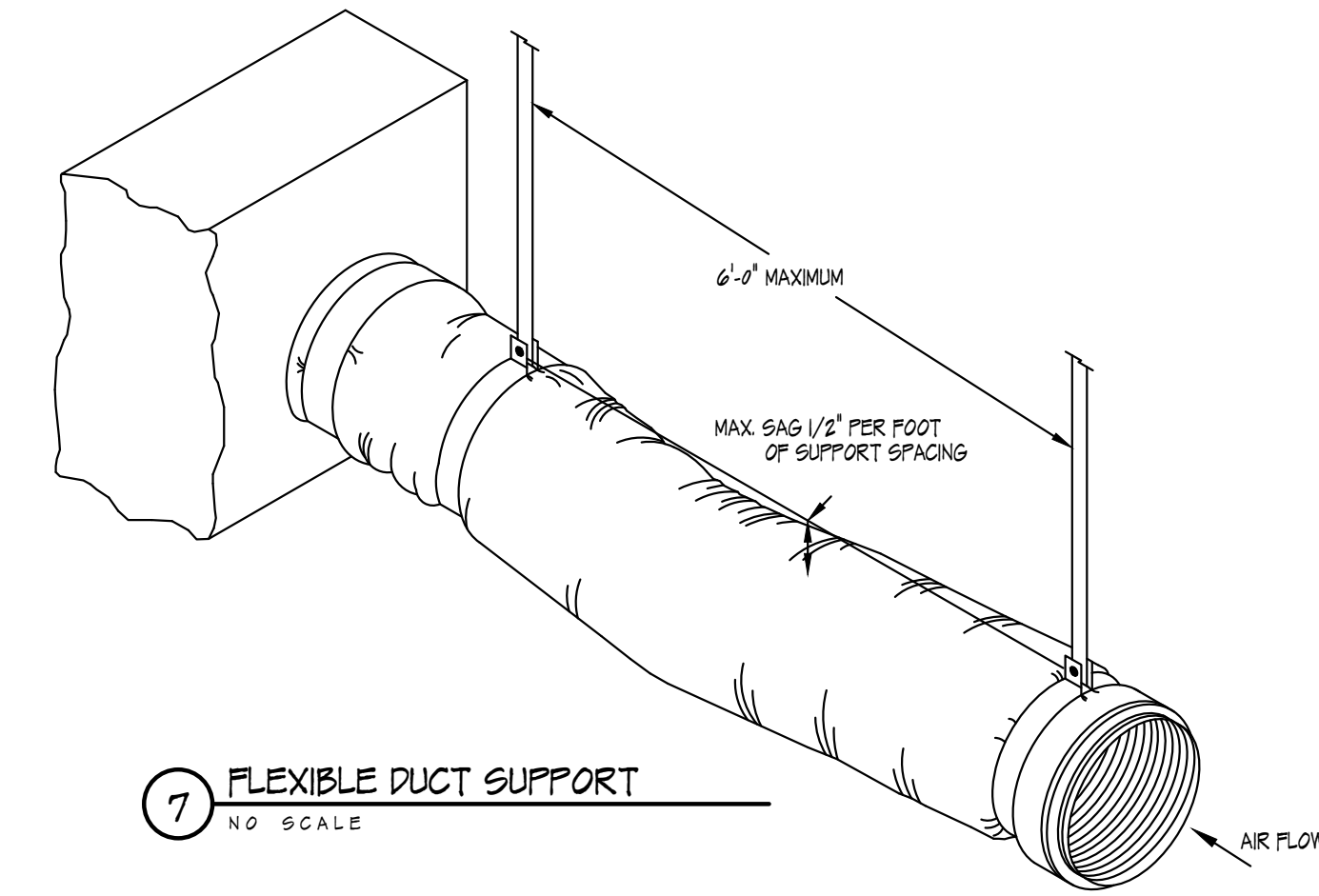
6 DUCTWORK TURNING VANE DETAIL
NO SCALE

TYPICAL RECTANGULAR DUCT JOINTS AND REINFORCING

JOINT DETAIL	MAX. DUCT DIMENSION	MAX. DISTANCE BETWEEN JOINTS	REINFORCING AT JOINTS
	12"	8'	NONE
	15"	8'	NONE
	H = 1' 10" TO 42"	4'	NONE
	H = 1 1/2' 43" TO 60"	3'	NONE
	6" TO 24"	2'	1 1/2" x 1/2" x 1/8"
	25" TO 36"	2'	1 1/2" x 1/2" x 3/16"
	37" TO 48"	2'	2 x 1/4"
	OVER 48"	2'	2 x 1/4"
	6" TO 24"	5'	1 1/2" x 1/2" x 3/16"
	25" TO 36"	5'	2 x 1/4"
LONGITUDINAL JOINTS AT CORNERS			
LONGITUDINAL JOINTS ON FLAT SIDES			

WHEN USING ANGLE COMPANION JOINTS, PROVIDE ANGLE REINFORCING ON 2FT. CENTER BETWEEN JOINTS OF THE SAME SIZE ANGLE AS USED FOR JOINT

4 LOW PRESSURE SHEETMETAL DUCTWORK
NO SCALE



7 FLEXIBLE DUCT SUPPORT
NO SCALE



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Stockton University
Residential Building
Proposed Mail Room &
Tenant Space
South Albany Ave
Atlantic City
New Jersey

PROJECT
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SOUTH ALBANY AVE
ATLANTIC CITY
NEW JERSEY

ISSUED FOR DCA 11/14/22

MECHANICAL
EQUIPMENT SCHEDULES
AND DETAILS

12
07
10

M-2
YC22121



MATTHEW DAVID WELLS, N.J.P.E.
PROFESSIONAL ENGINEER, LIC. NO. 2406494000

ELECTRICAL GENERAL NOTES & SPECIFICATIONS

1. UNLESS ITEMS OF MATERIAL, EQUIPMENT OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THIS CONTRACTOR TO PERFORM THE WORK AS SHOWN AND DESCRIBED ON THE DRAWINGS. ITEMS NOTED AS "FURNISHED BY OWNER" SHALL BE INSTALLED BY THIS CONTRACTOR.

2. WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION (2020) OF THE NATIONAL ELECTRICAL CODE (NFPA 70), UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE AND ALL APPLICABLE STATE AND LOCAL CODES.

3. WORK SHALL BE INSTALLED AND PERFORMED IN A WORKMAN LIKE MANNER CONSISTENT WITH APPLICABLE INDUSTRY STANDARDS.

4. EQUIPMENT INSTALLATIONS SHALL CONFORM TO THE EQUIPMENT MANUFACTURER'S WRITTEN INSTRUCTIONS AND ALL APPLICABLE INDUSTRY STANDARDS. INSTALL EQUIPMENT IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

5. BY SUBMITTING THEIR BID, THIS CONTRACTOR WARRANTS THAT HE HAS VISITED THE PROJECT SITE, VIEWED CONDITIONS, MATERIALS AND EQUIPMENT THAT EXIST AND WARRANTS THAT HE IS THOROUGHLY FAMILIAR WITH THE SCOPE OF WORK REQUIRED TO PROVIDE A COMPLETE, FULLY FUNCTIONAL, CODE ACCEPTABLE SYSTEM.

6. COORDINATE INSTALLATION OF WORK WITH EXISTING CONDITIONS AND ALL OTHER SYSTEMS BEING INSTALLED PRIOR TO START OF WORK. ALL SYSTEMS REQUIRED TO BE REMOVED AND REINSTALLED DUE TO THE LACK OF COORDINATION BY THIS CONTRACTOR SHALL BE DONE AT THIS CONTRACTOR'S EXPENSE. WHERE SYSTEMS OR ITEMS ARE INDICATED ON THE DRAWINGS, OR DURING THE COURSE OF CONSTRUCTION ARE FOUND NECESSARY TO BE RELOCATED, REROUTED OR REMOVED AND REINSTALLED, CONTRACTOR SHALL PROVIDE NEW MATERIALS TO MATCH EXISTING MATERIALS, EQUIPMENT, ETC. AS REQUIRED TO PERFORM TASKS INDICATED.

7. WORK REQUIRING THE SHUTDOWN OF ANY EXISTING SYSTEMS SHALL BE COORDINATED SO LENGTH OF DOWN TIME IS MINIMIZED. ALL SYSTEM SHUTDOWNS SHALL BE COORDINATED WITH OWNER PRIOR TO START OF CONSTRUCTION.

8. SYSTEMS SHALL BE LEFT IN PROPER WORKING ORDER. WORK, MATERIALS OR EQUIPMENT FURNISHED AND INSTALLED BY THIS CONTRACTOR UNDER THIS CONTRACT THAT DEVELOPS DEFECTS WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER, OTHER THAN NORMAL WEAR AND TEAR, SHALL BE REPLACED WITHOUT ADDITIONAL CHARGE.

9. IN FINISHED AREAS, CONCEAL RACEWAYS AND WIRING IN WALLS, PIPE CHASES, ABOVE CEILINGS OR UTILITY SPACES, UNLESS INSTALLATION OF SURFACE MOUNTED RACEWAYS HAS THE PRIOR APPROVAL OF THE OWNER.

10. INSTALL RACEWAYS TIGHT TO SLABS, BEAMS, JOISTS, COLLUMS, WALLS, AND OTHER PERMANENT ELEMENTS OF THE BUILDING. ALLOW SUFFICIENT SPACE ABOVE REMOVABLE CEILING PANELS TO ALLOW FOR PANEL REMOVAL.

11. PROVIDE GROUNDING FOR ALL ELECTRICAL ENCLOSURES AND EQUIPMENT AND FOR ALL METAL PIPING IN THE BUILDING (ELECTRICAL CONDUIT, WATER PIPING, SPRINKLER PIPING, ETC.) IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70). CONNECT THE GROUNDING FOR THIS EQUIPMENT TO THE BUILDING'S EXISTING GROUND SYSTEM.

12. PROVIDE LATERAL SEISMIC RESTRAINTS AS REQUIRED IN ACCORDANCE WITH THE LATEST EDITION OF APPLICABLE BUILDING CODE FOR ALL EQUIPMENT AND RACEWAYS AS DESCRIBED WITHIN THE CODE.

13. PROVIDE ALL MISCELLANEOUS STEEL SHAPES, HANGERS, RODS, STRAPS, ETC. REQUIRED FOR THE INSTALLATION OF EQUIPMENT UNDER THIS CONTRACT.

14. PROVIDE APPLICABLE PLUGS OR COVERS FOR ALL OPENINGS IN CONDUIT FITTINGS, J-BOXES, ETC.

15. PROVIDE TEMPORARY LIGHTING AND POWER, AS REQUIRED, DURING CONSTRUCTION. REMOVE WIRING AND DEVICES AT END OF CONSTRUCTION.

16. PROVIDE FIRE RATED SLEEVES AT ALL FIREWALL PENETRATIONS AND SEAL AROUND SLEEVES AND PIPES WITH FIRE STOP SEALANT. THIS CONTRACTOR SHALL HIRE INDIVIDUALS SKILLED IN SUCH WORK TO DO THE SEALING AND FIREPROOFING. THESE INDIVIDUALS HIRED SHALL NORMALLY AND ROUTINELY BE EMPLOYED IN THE SEALING AND FIREPROOFING OCCUPATION.

17. UNLESS DIRECTED OTHERWISE, ALL CUTTING AND PATCHING OF NEW AND EXISTING WALLS, CEILINGS OR FLOORS FOR REMOVALS OR INSTALLATION OF EQUIPMENT IS THE RESPONSIBILITY OF THE CONTRACTOR WHOSE WORK PENETRATES THE OPENING. THE CONTRACTOR RESPONSIBLE SHALL HIRE INDIVIDUALS SKILLED IN SUCH WORK TO DO THE PATCHING AND PAINTING. THESE INDIVIDUALS HIRED SHALL NORMALLY AND ROUTINELY BE EMPLOYED IN THE PATCHING AND PAINTING OCCUPATION. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, WITHOUT ADDITIONAL CHARGE, ANY EXISTING WORK DAMAGED BY HIM DURING THE COURSE OF THIS CONSTRUCTION.

18. VERIFY AFTER ALL WORK IS COMPLETED THAT ALL OPENINGS IN WALLS AND CEILINGS ARE PATCHED AND PAINTED TO MATCH EXISTING SURFACES.

19. APPLY FOR AND PROCURE ALL REQUIRED PERMITS, CERTIFICATES, AND AGENCY APPROVALS REQUIRED FOR THE LAWFUL PROSECUTION OF THE WORK UNLESS OTHERWISE DIRECTED. PROVIDE THE OWNER WITH COPIES OF ALL REQUIRED CERTIFICATIONS AND APPROVALS.

20. PROVIDE THE OWNER WITH COMPLETE AND ACCURATE "AS INSTALLED DOCUMENTATION" AT THE COMPLETION OF THE PROJECT.

21. PROVIDE TESTS AS REQUIRED BY THE OWNER OR ANY INSPECTION DEPARTMENT. TESTS SHALL VERIFY WHETHER THE EQUIPMENT AND SYSTEMS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN PROPER WORKING ORDER. PROVIDE TEST RESULTS TO THE OWNER.

22. EQUIPMENT LISTED IN THESE DOCUMENTS BY MANUFACTURE AND MODEL NUMBER ESTABLISHES A STANDARD OF QUALITY FOR THE EQUIPMENT. EQUAL SUBSTITUTES MAY BE ACCEPTABLE. WRITTEN APPROVAL OF THE PROPOSED SUBSTITUTION IS REQUIRED PRIOR TO PURCHASE OR INSTALLATION.

23. SUBMIT SHOP DRAWINGS FOR ALL MAJOR MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. A MINIMUM OF 4 COPIES SHALL BE SUBMITTED. EQUIPMENT OR SYSTEM COMPONENTS SHALL NOT BE PURCHASED OR INSTALLED PRIOR TO CONTRACTOR'S RECEIPT OF THE REVIEWED SHOP DRAWINGS. REVIEW OF SHOP OR INSTALLATION DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE OF THE EQUIPMENT TO THE DESIGN CONCEPT OF THE PROJECT AND FOR CONFORMANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE THE CONTRACTOR'S UNLESS THE CONTRACTOR HAS, IN WRITING, SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED WRITTEN APPROVAL OF SUCH DEVIATIONS FROM THE OWNER.

24. PROVIDE PRODUCT DATA INCLUDING INSTALLATION AND STARTUP INSTRUCTIONS FOR ALL EQUIPMENT SUPPLIED UNDER THIS CONTRACT PRIOR TO PURCHASE. SUBMITTALS SHALL INCLUDE PERFORMANCE DATA, WIRING DIAGRAMS, AND MAINTENANCE INSTRUCTIONS.

25. ALL WIRING SHALL BE COPPER TYPE THHN (INTERIOR) AND THWN (EXTERIOR).

26. ALL LIGHTING CIRCUIT HOMERUNS SHALL BE MINIMUM #10 AWG.

27. WIRING AND ASSOCIATED RACEWAYS NOT SHOWN ON THE DRAWINGS SHALL BE SIZED PER THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70) UNLESS NOTED OTHERWISE.

28. RACEWAYS:

- EXPOSED INDOOR: ELECTRICAL METALLIC TUBING (EMT) OR AS INDICATED
- CONCEALED INDOOR: EMT, FLEXIBLE METAL CONDUIT OR AS INDICATED
- IN CONCRETE SLAB: GALVANIZED RIGID STEEL, PVC, OR AS INDICATED
- FINAL CONNECTIONS TO EQUIPMENT SUBJECT TO VIBRATION, MOVEMENT, OR ADJUSTMENT: 3'-0" MINIMUM LENGTH OF LIQUID TIGHT FLEXIBLE METAL CONDUIT.
- CONNECTION TO LIGHT FIXTURES: 6'-0" MAXIMUM LENGTH OF FLEXIBLE ARMOR CLAD CABLE, TYPE AC OR MC.
- MINIMUM RACEWAY SIZE IS: 3/4" FOR POWER WIRING
1/2" FOR SIGNAL & CONTROL CABLING

29. ALL SIZING OF EQUIPMENT FOR CONNECTION TO MECHANICAL EQUIPMENT IS BASED ON MECHANICAL EQUIPMENT THAT IS SPECIFIED. THIS CONTRACTOR SHALL VERIFY ALL POWER REQUIREMENTS FOR ACTUAL EQUIPMENT INSTALLED. COORDINATE ANY MODIFICATIONS WITH THE ENGINEER PRIOR TO INSTALLATION.

30. ALL CUTTING AND PATCHING OF ROOF SHALL BE PROVIDED BY THE GENERAL CONTRACTOR UNLESS DIRECTED OTHERWISE. RESPONSIBLE CONTRACTOR SHALL SECURE THE SERVICES OF THE INSTALLED ROOFING MANUFACTURER'S CERTIFIED ROOFING TECHNICIAN PRIOR TO ANY PENETRATIONS OF EXISTING ROOFINGS ARE MADE TO MAINTAIN ANY WARRANTIES OF NEW OR EXISTING ROOF SYSTEM. ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT.

31. ALL ELECTRICAL PANELS WITHIN CONTRACT AREA SHALL BE PROVIDED WITH UP-TO-DATE, TYPED INDEX CARDS MOUNTED IN PLASTIC HOLDERS ON THE INSIDE OF EACH ENCLOSURE DOOR.

32. THE FACILITY OPERATIONS SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION. THIS CONTRACTOR SHALL PROVIDE FULL DUST BARRIER ENCLOSURES AROUND ALL CONSTRUCTION, AND KEEP ALL AREAS CLEAR OF ALL DIRT AND DEBRIS. THIS CONTRACTOR SHALL THOROUGHLY COORDINATE, AND SCHEDULE CONSTRUCTION WITH GENERAL CONTRACTOR AND THE OWNER PRIOR TO COMMENCING CONSTRUCTION.

33. PROVIDE NAMEPLATES CONSTRUCTED OF 1/16" INCH THICK LAMINATED MATERIAL. ENGRAVE THROUGH COLORED SURFACE MATERIAL TO CONTRASTING COLORED SUB-LAYER. USE RECEPCTACLE LABELS BY ELECTRONIC LABELER BROTHER P-TOUCH, MODEL PT-20/25, DYMO TAPE OR APPROVED EQUAL. ALSO, UTILIZE BLACK NON-ERASE MARKER TO PRINT INFO ON INSIDE OF RESPECTIVE FACEPLATES.

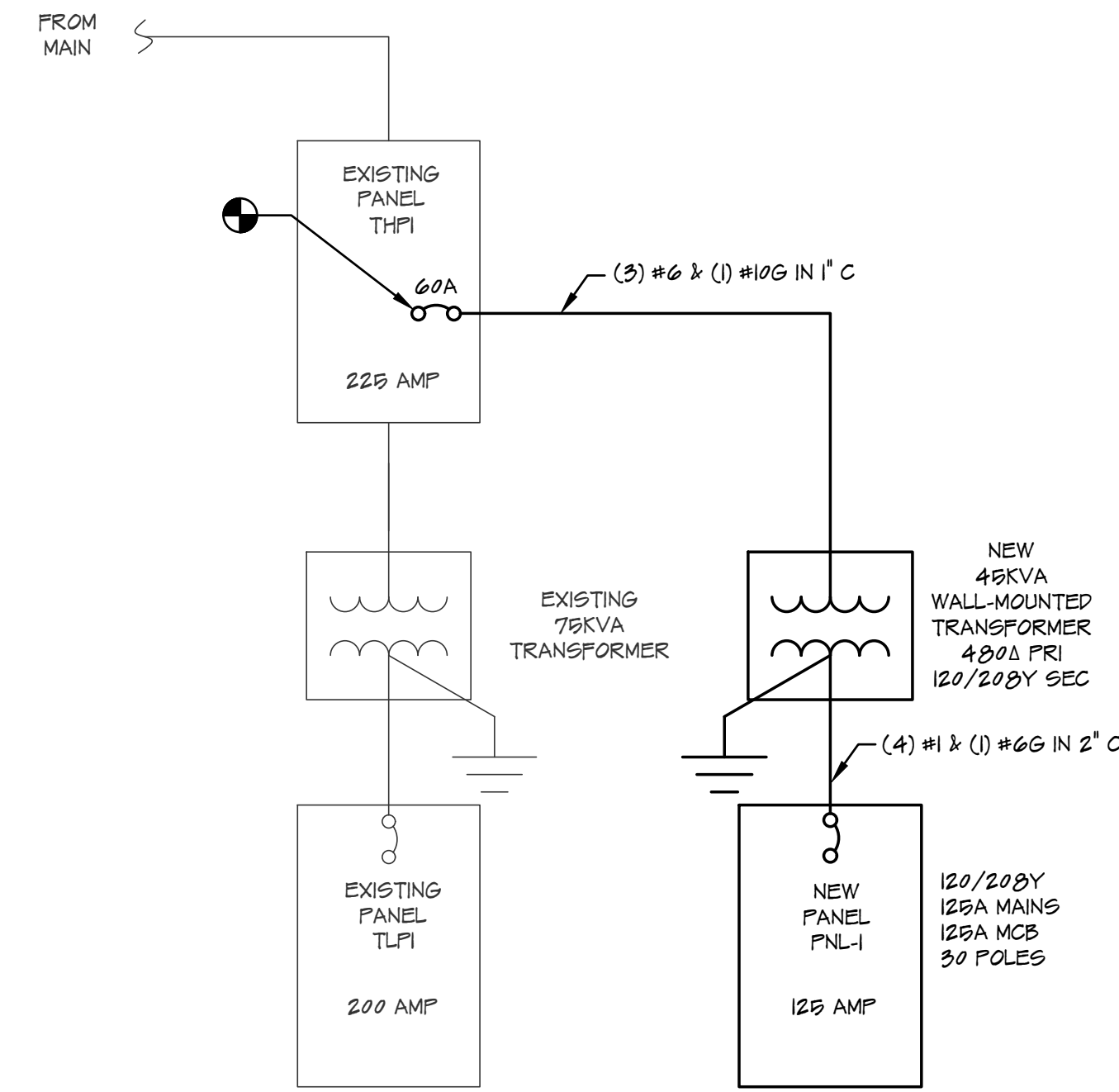
- ELECTRICAL FACEPLATE PROVIDE PANEL & CIRCUIT NUMBER
- IT OUTLET PROVIDE PROP IDENTIFICATION. COORDINATE ID WITH STOCKTON IT PERSONNEL.

ELECTRICAL SYMBOLS LEGEND

	CONDUIT AND/OR WIRING HOMERUN TO PANELBOARD. TEXT INDICATES PANEL DESIGNATION AND CIRCUIT NUMBER.
	CONDUIT TURNING UP
	CONDUIT TURNING DOWN
	CONDUIT WITH CAP UNLESS OTHERWISE NOTED
	DEMOLITION OR NEW WORK
	EXISTING TO REMAIN
	UNUSED DISCONNECT SWITCH
	FLUSH WALL MOUNTED JUNCTION BOX OR JUNCTION BOX ABOVE CEILING
	WALL OUTLET BOX FOR DATA/TELEPHONE W/ 1/2" (W/ FULL CORD) TO ABOVE ACCESSIBLE FINISHED CEILING MOUNTED AT 18" AFF UNLESS OTHERWISE NOTED
	FIRE ALARM SYSTEM SMOKE DETECTOR - SIMPLEX MODEL #4098-9787 SUPPLIED W/ 4098-9788 2-WIRE BASE W/ REMOTE LED OUTPUT
	FIRE ALARM SYSTEM HEAT DETECTOR - SIMPLEX MODEL #4098-9789 SUPPLIED W/ 4098-9792 TRUEALARM BASE FIRE ALARM
	SYSTEM DUCT DETECTOR - SIMPLEX MODEL #4098-9786 W/ 4098-9843 PROGRAMMABLE RELAY, TYPE 2098-9797 SAMPLING TUBES & 2098-9806 REMOTE TEST STATION, RED LED, KEY SWITCH
	FIRE ALARM SYSTEM ADDRESSABLE MANUAL PULL STATION - SIMPLEX MODEL #4098-9801
	FIRE ALARM SYSTEM AUDIO/VISUAL UNIT - SIMPLEX MODEL 4098-9426 (*# INDICATES CANDELLA LEVEL)
	FIRE ALARM SYSTEM VISUAL UNIT - SIMPLEX MODEL #4094-9169 (*# INDICATES CANDELLA LEVEL)
	200/120V BRANCH CIRCUIT PANELBOARD - FLUSH MOUNTED
	WALL OUTLET BOX AND 120V, 20 AMP DUPLEX CONVENIENCE RECEPTACLE MOUNTED 18" ABOVE FINISHED UNLESS OTHERWISE NOTED. (+ INDICATES MOUNTED AT COUNTERTOP HEIGHT) COORDINATE LOCATION WITH ARCHITECTURAL PLANS
	WALL OUTLET BOX AND 120V, 20 AMP GFI RECEPTACLE (GFI INDICATES MOUNTED AT COUNTERTOP HEIGHT. COORDINATE LOCATION WITH ARCHITECTURAL PLANS
	WALL OUTLET BOX AND 120V, 20 AMP QUADPLEX RECEPTACLE MOUNTED 18" AFF UNLESS OTHERWISE NOTED. (+ INDICATES MOUNTED AT COUNTERTOP HEIGHT. COORDINATE LOCATION WITH ARCHITECTURAL PLANS
	2x4 FLUORESCENT LIGHTING FIXTURE - LETTER "A" INDICATES TYPE
	2x4 FLUORESCENT LIGHTING FIXTURE ON UNSWITCHED CIRCUIT FOR NIGHT LIGHTING - LETTER INDICATES TYPE
	1x4 FLUORESCENT LIGHTING FIXTURE - LETTER "A" INDICATES TYPE
	RECESSED DOWNLIGHT LIGHT (U&N) - LETTER "A" INDICATES TYPE
	CEILING OUTLET BOX AND ILLUMINATED EXIT SIGN (SHAPED QUADRANT INDICATES FACE). DIRECTIONAL ARROWS AS INDICATED ON PLANS. LETTER "A" INDICATES TYPE
	BATTERY OPERATED EMERGENCY LIGHTING UNIT, NUMBER OF HEADS AS INDICATED ON PLANS
	REMOTE HEAD FOR BATTERY OPERATED EMERGENCY LIGHTING UNIT. LETTER "A" INDICATES TYPE
	WALL OUTLET BOX AND SINGLE POLE TOGGLE TYPE SWITCH - 20 AMP, MOUNTED 94" AFF UNLESS OTHERWISE NOTED. LOWER CASE LETTER INDICATES LIGHTS TO BE CONTROLLED. IF NO LETTER IS INDICATED, ALL LIGHTS IN ROOM SHALL BE CONTROLLED
	WALL OUTLET BOX AND THREE-WAY TOGGLE TYPE SWITCH - 20 AMP, MOUNTED 94" AFF UNLESS OTHERWISE NOTED. LOWER CASE LETTER INDICATES LIGHTS TO BE CONTROLLED. IF NO LETTER IS INDICATED, ALL LIGHTS IN ROOM SHALL BE CONTROLLED
	4"SQ. OUTLET BOX AND OCCUPANCY SENSOR (DUAL TECHNOLOGY TYPE) MOUNTED ON CEILING UNLESS OTHERWISE NOTED.
	SECURITY SYSTEM MOTION SENSOR
	SECURITY SYSTEM DOOR CONTACTOR
	SECURITY SYSTEM EXTERIOR (WP - WEATHERPROOF SPEAKER)
	EMERGENCY BATTERY PACK
	EMERGENCY LIGHTING REMOTE HEAD
	SECURITY SYSTEM KEY PAD
	GRADE MOUNTED OUTLET BOX AND 120V, 20 AMP GFI DUPLEX RECEPTACLE WITH WEATHER PROOF, LOCKING COVER. COORDINATE LOCATION WITH ARCHITECTURAL PLANS.
	WIRELESS ACCESS POINT
	DOOR ACCESS CONTROL CREDENTIAL READER

ABBREVIATIONS LEGEND

ABBREVIATION	DESCRIPTION
A	AMPERES
AC	AIR CONDITIONING
ACC	AIR COOLED CONDENSER
ACCU	AIR COOLED CONDENSING UNIT
AHU	AIR HANDLING UNIT
APP	ABOVE FINISHED FLOOR
ARCH	ARCHITECT
AWG	AMERICAN WIRE GAUGE
ATS	AUTOMATIC TRANSFER SWITCH
CB	CONDUIT - RACEWAY
CB	CIRCUIT BREAKER
CP	CONTRACT DOCUMENTS
CKT	CIRCUIT
CLG	CEILING
CM	CONSTRUCTION MANAGER
CU	COPPER
DWG	DRAWING
EM	EMERGENCY
EC	ELECTRICAL CONTRACTOR
EP	EXHAUST FAN
EOL	END OF LINE
EWH	ELECTRIC WATER HEATER
EWC	ELECTRIC WATER COOLER
E/R	EXISTING TO REMAIN
F	FAHRENHEIT
FXT	FIXTURE
FLA	FULL LOAD AMPS
G	GROUND OR GROUNDING
GC	GENERAL CONTRACTOR
GEN	GENERATOR
GFI	GROUND FAULT INTERRUPT
HZ	HERTZ
HP	HORSE POWER
ISCA	SHORT CIRCUIT CURRENT RATING
KVA	KILOVOLT AMPERES
KW	KILOWATTS
KWH	KILOWATT HOUR
LSG	LONG TIME, SHORT TIME, GROUND FAULT
MC	MECHANICAL CONTRACTOR
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MH	MOUNTING HEIGHT
MIS	MISCELLANEOUS
MLO	MAIN LUGS ONLY
N	NEUTRAL
NEC	NATIONAL ELECTRICAL CODE
NL	NIGHT LIGHT
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
PNL	PANEL OR PANELBOARD
Ø	PH PHASE
RTU	ROOF TOP UNIT
SP	SPARE
TBD	TO BE DECIDED
TEL	TELEPHONE
TW/SH	TWISTED/SHIELDED
UH	UNIT HEATER
U&N	UNLESS OTHERWISE NOTED
V	VOLT
VAV	VARIABLE AIR VOLUME
VFD	VARIABLE FREQUENCY DRIVE
WP	WEATHERPROOF
WH	WATER HEATER
XPMR	TRANSFORMER



1 ELECTRICAL ONE-LINE DIAGRAM
SCALE: NO SCALE

DESIGNATION:	MAINS: 125A	VOLTAGE: 120/200V-3PH-4W	LOCATION: GENERAL OFFICE	■ SINGLE PANEL							
PNL-1	TYPE: EATON PRL1A W/ 125A MCB	MINIMUM O.C. DEVICE: 20A	FED BY: 48KVA XPMR	□ DOUBLE PANEL							
O.C. DEVICE: 3P-125A	INTERRUPTING RATING: 22 KAC	DESCRIPTION	P	O.C. AMP	CKT.						
1	20	OFFICE	0.0	0.0	---	---	GENERAL OFFICE	1	20	2	
3	20	GENERAL OFFICE ENTRY	---	0.720	0.840	---	STORAGE ROOM	1	20	4	
5	20	RESTROOM	---	---	---	1	0.6	REFRIGERATOR	1	20	6
7	20	KITCHENETTE 1	1.5	0.0	---	---	KITCHENETTE 2	1	20	8	
9	20	PRINTER	---	0.0	1.2	---	MICROWAVE	1	20	10	
11	20	RESTROOM EXHAUST FAN	---	---	0.020	---	SPARE	1	20	12	
13	20	SPARE	---	---	---	---	SPARE	1	20	14	
15	20	SPARE	---	---	---	---	SPARE	1	20	16	
17	20	SPARE	---	---	---	---	SPACE	1	20	18	
19	20	SPARE	---	---	---	---	SPACE	1	20	20	
21	20	SPARE	---	---	---	---	SPACE	1	20	22	
23	20	SPARE	---	---	---	---	SPACE	1	20	24	
25	20	SPARE	---	---	---	---	SPACE	1	20	26	
27	20	SPARE	---	---	---	---	SPACE	1	20	28	
29	20	SPARE	---	---	---	---	SPACE	1	20	30	

2 ELECTRICAL PANEL SCHEDULE
SCALE: NO SCALE

DOOR ACCESS CONTROL SCOPE NOTES:

THE SCOPE FOR THE ACCESS CONTROL SYSTEM PROVIDED UNDER THIS CONTRACT IS AS FOLLOWS:

1. THE ACCESS CONTROL SYSTEM INSTALLED ON THE STOCKTON CAMPUS IS A LEVEL SYSTEM. THERE WILL BE NO SUBSTITUTES. PROVIDE ALL NEW REQUIRED DOOR FIELD DEVICES, REQUEST-TO-EXIT DEVICES, CARD READERS, CONTROL/MONITORING HARDWARE AND ASSOCIATED CABLING FOR A COMPLETE \$ OPERATIONAL SYSTEM.
2. PROCURE THE SERVICES OF THE UNIVERSITY'S PREFERRED ACCESS CONTROL SYSTEM VENDOR (TRI-M GROUP, LLC - JEREMY ADAMS - CELL #610-666-2701) FOR ALL SYSTEM DESIGN, COMPONENTS, LAYOUTS, INSTALLATION & PRICING.
3. COORDINATE THE INSTALLATION OF DEVICES, RACEWAYS, CABLING, ETC. AT EACH DOOR WITH THE DOOR HARDWARE INSTALLER AND DOOR HARDWARE SCHEDULE.
4. ALL CONTROL & MONITORING PANELS & ASSOCIATED HARDWARE SHALL RESIDE IN THE ACCESS CONTROL ROOM (B16J). THE ELECTRICAL CONTRACTOR SHALL PROVIDE WITH THEIR SHOP DRAWING SUBMITTAL A DETAILED LAYOUT OF THEIR PROPOSED LAYOUT OF THE EQUIPMENT IN THE ROOM INCLUDING WALL ELEVATIONS FOR REVIEW AND APPROVAL.
5. ALL REQUIRED SERVICES (IE. POWER, SIGNALS, ETC) FOR FIELD INSTALLED DEVICES SHALL ORIGINATE IN THE ACCESS CONTROL ROOM.
6. PROVIDE A SUFFICIENT NUMBER OF ACCESS CONTROL CABINETS TO HOUSE THE FOLLOWING COMPONENTS, INSTALLED IN THE ACCESS CONTROL ROOM ALL PROVIDED AND INSTALLED BY THIS CONTRACTOR.
 - LIFE SAFETY POWER SUPPLY ENCLOSURE (LSP-16GR-EGM).
 - MINIMUM OF ONE LNL-X9300 LEVEL INTELLIGENT CONTROLLER.
 - MINIMUM OF TWO LNL-X920-03 READER EXPANDER MODULES.
 - CONNECTING EACH POWER SUPPLY TO EMERGENCY OR STANDBY POWER AND INSTALLATION OF MINIMUM 12AH OF BATTERY RESERVE FOR EACH.
7. INSTALLATION REQUIREMENTS (AT A MINIMUM):
 - ALL CABLING FROM DOORS TO ACCESS CONTROL HARDWARE IN RM. B16J SHALL BE HOMERUNS AND INSTALLED BY THIS CONTRACTOR.
 - ALL CABLING TO BE 0.99AU CABLE, JACKETED, PLENUM RATED, AND EXTENDED DISTANCE.
 - PROVIDE ALL LABOR AND MATERIALS TO TIE-IN ALL CABLING TO THE DOOR HARDWARE COMPONENTS & THE ACCESS CONTROL PANEL.
 - PROVIDE ALL REQUIRED PROGRAMING.
 - THE ASSEMBLY, INSTALLATION AND CONNECTION OF THE ACCESS CONTROL PANELS AND POWER SUPPLIES.
 - ALL TECHNICIANS AND INTEGRATORS WORKING ON THE INSTALLATION OF THE CARD ACCESS SYSTEM SHALL BE A LEVEL CERTIFIED TECHNICIAN OR LEVEL APPROVED INTEGRATOR.



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Stockton University
Residential Building
Proposed Mail Room & Tenant Space

SOUTH ALBANY AVE
ATLANTIC CITY
NEW JERSEY

PROPOSED RENOVATIONS TO
Project: Stockton University Residential Building Proposed Mail Room & Tenant Space
Issued For Bid: 11/03/22

Revised By: Date: 11/14/22
ISSUED FOR BIDDING

Sheet Title: ELECTRICAL COVER SHEET

Drawn By: CE/GB
Checked By: OF

GB/MW 10

Sheet No. E-0

Project No. YC22121

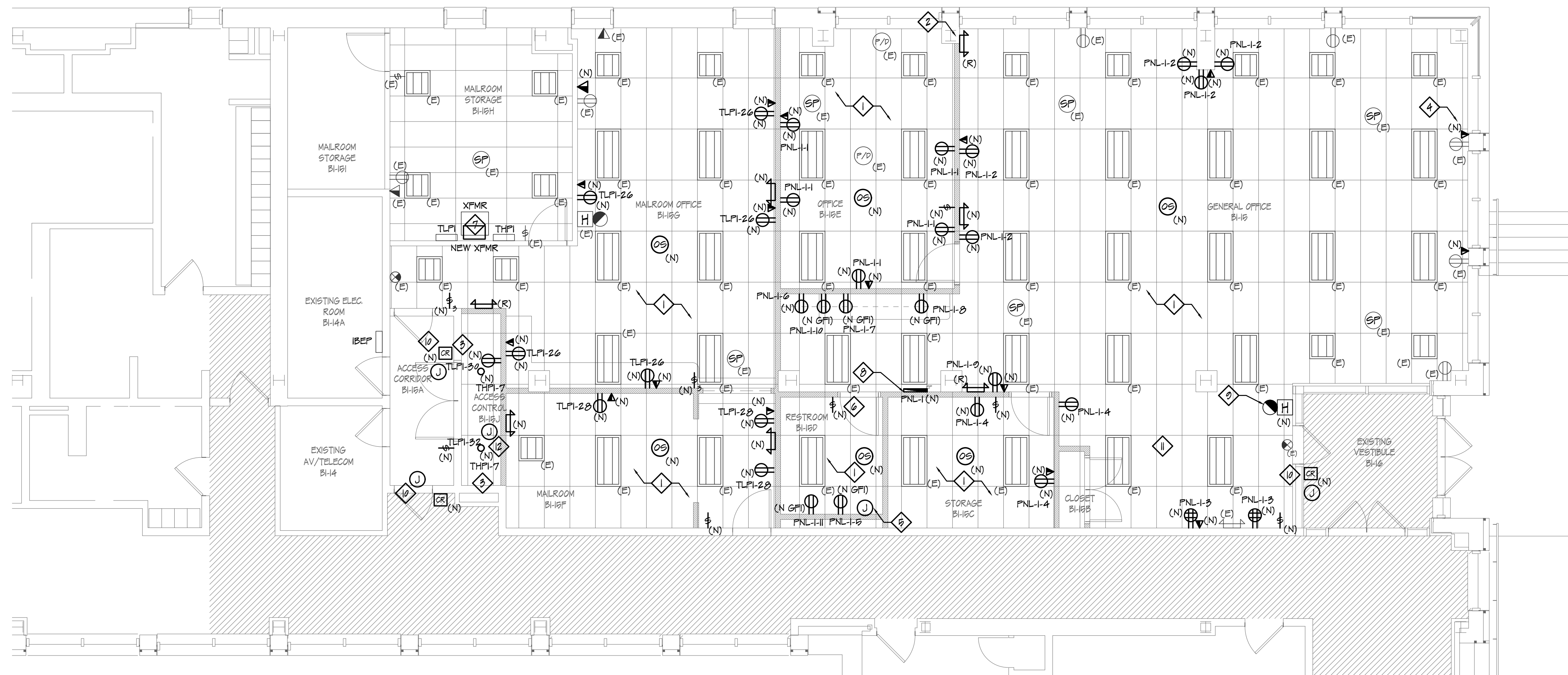
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DEMOLITION WORK NOTES

- 1 DEMOLISH ALL EXISTING RECEPTACLES AND CIRCUITRY LOCATED ON THIS WALL BACK TO PANEL TLP1 (TYPICAL FOR 10).
- 2 REMOVE LIGHT FIXTURE AS INDICATED. MAINTAIN INTEGRITY OF LIGHTING POWER CIRCUIT.
- 3 REMOVE LIGHT FIXTURE AND PREPARE FOR REINSTALLATION IN NEW LOCATION/ORIENTATION AS SHOWN ON PROPOSED WORK PLAN.
- 4 REMOVE EXIST FIRE ALARM HORN/STROBE DEVICE.

1 ELECTRICAL DEMOLITION PLAN
E-1 SCALE: 3/16" = 1'-0"



NEW WORK NOTES

- 1 PROVIDE LOCAL LIGHTING SWITCH LEG AND WIRE NEW WALL-MOUNTED TOGGLE SWITCH/OCCUPANCY SENSOR TO PROVIDE ON/OFF CONTROL OF LOCAL LIGHT FIXTURES (TYP.)
- 2 CONNECT EMERGENCY EGRESS LIGHT FIXTURES TO THE UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT (TYP.)
- 3 INSTALL NEW 6" RECESSED DOWNLIGHT FIXTURE (TYPICAL FOR 2). FIXTURE TO BE RAB C6R1005UNVW. PROVIDE NEW WALL-MOUNTED TOGGLE SWITCH FOR LIGHT FIXTURE ON/OFF CONTROL WIRE TO LOCAL LIGHTING CIRCUIT.
- 4 PROVIDE 2"x4" WALL OUTLET BOX WITH BLANK COVER FOR TELEPHONE/DATA WITH 1" CONDUIT (WITH DRAG LINE) EXTENDING TO PLENUM SPACE ABOVE FINISHED CEILING MOUNT WALL BOX AT 10" AFF UNLESS OTHERWISE NOTED (TYP.)
- 5 JUNCTION BOX SHOWN IS FOR POWER CIRCUIT FOR 120V/24V TRANSFORMER FOR WATER CLOSET FLUSH VALVE AND POWER CONVERTER FOR LAVATORY FAUCET VALVE/SENSOR. NOTE THAT THE PLUMBING CONTRACTOR WILL PROVIDE THE 120V/24V TRANSFORMER AND POWER CONVERTER, BUT THE ELECTRICIAN MUST WIRE AND CONNECT BOTH THE LINE VOLTAGE SIDE, AND THE LOW VOLTAGE SIDE OF THESE DEVICES.
- 6 PROVIDE ELECTRICAL CIRCUIT WITH LOCAL, SINGLE POLE DISCONNECT SWITCH FOR CEILING-MOUNTED EXHAUST FAN. PROVIDE A WALL-MOUNTED TOGGLE SWITCH (LOCATED NEXT TO THE LIGHT SWITCH) FOR EXHAUST FAN ON/OFF CONTROL.
- 7 PROVIDE NEW 45 KVA WALL-HUNG TRANSFORMER ABOVE EXISTING TRANSFORMER FEED FROM EXISTING PANEL TLP1.
- 8 PROVIDE NEW 125 AMP RECESSED ELECTRICAL PANEL (PNL-1) FED BY NEW 45 KVA TRANSFORMER (REFER TO ONE-LINE DIAGRAM).
- 9 INSTALL NEW WALL-MOUNTED HORN-STROBE INTEGRATE FUNCTIONALITY WITH EXISTING FIRE ALARM SYSTEM.
- 10 PROVIDE POWER SOURCE FROM ACCESS CONTROL PANEL IN ROOM B1-16J FOR DOOR ACCESS CONTROL DEVICES. COORDINATE WORK WITH STOCKTON APPROVED DOOR ACCESS CONTROL VENDOR. PROVIDE APPROPRIATE REQUEST TO EXIT DEVICES (GRI REX D5160), CREDENTIAL READERS (SCHLAGE MTMSK10), ELECTRIC STRIKES (ASSA ABLOY HES 0600-030), DOOR SWITCH ASSEMBLIES (GRI DPS 104-12WG-W), AND OTHER DEVICES AS REQUIRED FOR PROPER DOOR OPERATION.
- 11 PROVIDE REMOTE DOOR RELEASE BUTTON AT RECEPTION DESK.
- 12 PROVIDE 120 VOLT, 20 AMP POWER CIRCUIT FOR DOOR ACCESS CONTROL SYSTEM POWER SUPPLY.

2 ELECTRICAL PROPOSED WORK PLAN
E-1 SCALE: 3/16" = 1'-0"

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PROJECT RENOVATIONS TO
**STOCKTON UNIVERSITY
RESIDENTIAL BUILDING &
PROPOSED MAIL ROOM &
TENANT SPACE**
ATLANTIC CITY
NEW JERSEY
SOUTH ALBANY AVE
ATLANTIC COUNTY

Project

Issued For Bid 11/03/22
Revised By Date 11/14/22
ISSUED FOR DCA

Sheet Title
**ELECTRICAL
DEMOLITION AND
PROPOSED WORK PLAN**

Drawn By CE/GB
Checked By GB/MW

Sheet No. 14
10

Sheet No. E-1

Project No. YC22121

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PLUMBING NOTES

1. WORK IN THIS SECTION INCLUDES THE PROVIDING OF LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND AUTHORITIES HAVING JURISDICTION.

2. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS, MAINTAIN HEADROOM AND SPACE CONDITIONS.

3. SCALED AND FIGURED DIMENSIONS ARE APPROXIMATE AND ARE FOR ESTIMATING PURPOSES ONLY. BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY ALL DIMENSIONS.

4. MAKE ADJUSTMENTS THAT MAY BE NECESSARY OR REQUIRED IN ORDER TO RESOLVE SPACE PROBLEMS.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ADOPTED (AS AMENDED) SUB CODES STANDARDS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- INTERNATIONAL BUILDING CODE NEW JERSEY EDITION / 2021;
- NAPHC NATIONAL STANDARD PLUMBING CODE / 2021;
- NFPA 70 NATIONAL ELECTRIC CODE / 2021;
- ASHRAE 90.1-2010 ENERGY CODE
- INTERNATIONAL MECHANICAL CODE / 2021;
- INTERNATIONAL FUEL GAS CODE / 2021;

6. FURNISH ALL MATERIALS AND EQUIPMENT NEW, FREE FROM DEFECTS AND WITH MANUFACTURER'S WARRANTY.

7. ALL MATERIAL AND EQUIPMENT SHALL BE THE PRODUCT OF COMPANIES REGULARLY ENGAGED IN MANUFACTURING.

8. BEFORE SUBMITTING PROPOSAL THE CONTRACTOR SHALL VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK SO AS TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND THE DIFFICULTIES ASSOCIATED WITH THE EXECUTION OF THE WORK. THESE DIFFICULTIES INCLUDE AVAILABILITY OF THE EQUIPMENT AND MATERIALS. REPORT IN WRITING ANY CONDITIONS WHICH MIGHT ADVERSELY AFFECT THEIR WORK.

9. NO CONSIDERATION OR ADDITIONAL PAYMENTS WILL BE GRANTED FOR ANY ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR WORK TO BE DONE, IT BEING UNDERSTOOD THAT THE SUBMISSION OF A PROPOSAL IS AN AGREEMENT TO ALL CONDITIONS REFERRED TO HEREIN OR INDICATED ON THE PLANS.

10. COORDINATE WITH OWNER AND GENERAL CONTRACTOR SCHEDULING OF ALL WORK SUCH THAT ANY REQUIRED OVERTIME IS INCLUDED AT NO ADDITIONAL COST.

11. PROVIDE THREE SETS OF OPERATION AND MAINTENANCE MANUALS COVERING ALL INSTALLED EQUIPMENT ITEMS TO THE OWNER. THE O&M MANUALS SHALL ALSO INCLUDE AS-BUILT DRAWINGS AND TESTING DATA.

12. THE CONTRACTOR SHALL LABEL ALL PIPING AND EQUIPMENT.

13. AS A PART OF THIS CONTRACT, ALL WORK AND EQUIPMENT FURNISHED AND INSTALLED SHALL BE COVERED UNDER A FULL TWO YEAR GUARANTEE. THE WARRANTY SHALL COMMENCE ON THE DATE OF THE OWNER'S FINAL ACCEPTANCE.

14. IT IS NOT INTENDED THAT THE PLANS OR SPECIFICATIONS SHOW OR STATE EVERY DETAILED REQUIREMENT OF THE WORK, BUT RATHER THAT THEY FURNISH ADEQUATE INFORMATION FOR THE CONTRACTOR TO MAKE COMPLETELY APPROVED INSTALLATION.

15. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, WITHOUT ADDITIONAL CHARGE, ANY EXISTING WORK DAMAGED BY HIM DURING THE COURSE OF THIS CONSTRUCTION.

16. CONTRACTOR SHALL LEAVE ALL SYSTEMS IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED BY HIM UNDER HIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

17. THE CONTRACTOR SHALL DETERMINE THE TYPE, SIZE AND QUANTITY OF SEISMIC PROTECTION DEVICES, HANGERS AND BRACING NECESSARY TO MEET THE CODE REQUIRED SEISMIC REQUIREMENTS FOR ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM/COMPONENTS. WHERE MORE THAN ONE REGULATION APPLIES, THE STRICTER ONE SHALL GOVERN.

18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MAJOR MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. A MINIMUM OF (6) COPIES SHALL BE SUBMITTED. PURCHASE OR INSTALLATION OF EQUIPMENT OR SYSTEM COMPONENTS PRIOR TO APPROVAL OF SHOP DRAWINGS IS FORBIDDEN. APPROVAL OF SHOP OR SETTING DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE TO THE DESIGN CONCEPT OF THE PROJECT AND FOR COMPLIANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL REMAIN THE CONTRACTOR'S UNLESS HE HAS, IN WRITING, SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED WRITTEN APPROVAL OF SUCH DEVIATIONS FROM THE OWNER.

19. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.

20. CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS STEEL SHAPES, HANGER RODS, STRAPS, ETC. REQUIRED FOR ALL SYSTEM INSTALLATIONS. PROVIDE ALL SEISMIC RESTRAINTS AS REQUIRED BY THE INTERNATIONAL BUILDING CODE.

21. PROVIDE ALL CUTTING AND PATCHING AS REQUIRED. COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR.

22. SEAL ALL EXTERIOR WALL PENETRATIONS WEATHER TIGHT. PROVIDE FIRE RATED SLEEVES AT ALL FIRE WALL PENETRATIONS AND SEAL AROUND ALL PIPE WITH FIRE STOP SEALANT. COORDINATE PENETRATIONS AND FIRE STOPPING WITH THE GENERAL CONTRACTOR AND/OR CONSTRUCTION MANAGER.

23. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO THE OWNER COMPLETE AND ACCURATE "AS CONSTRUCTED DOCUMENTATION" FOR ALL SYSTEMS INSTALLED OR ALTERED UNDER THIS CONTRACT.

24. CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR AND PROCURE ALL REQUIRED PERMITS, CERTIFICATES AND AGENCY APPROVALS. ALL DOCUMENTS REQUIRED IN ADDITION TO THE CONTRACT DOCUMENTS SHALL BE PROVIDED BY THE CONTRACTOR. PROVIDE COPIES OF ALL REQUIRED CERTIFICATIONS AND APPROVALS TO THE OWNER.

25. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH ALL APPLICABLE INDUSTRY STANDARDS. SYSTEM INSTALLATIONS SHALL CONFORM WITH ALL APPLICABLE INDUSTRY STANDARDS.

26. CONTRACTOR SHALL MAKE TESTS AT HIS OWN EXPENSE, AS REQUIRED BY OWNER AND/OR ANY INSPECTION DEPARTMENT. TEST SHALL BE MADE TO VERIFY WHETHER THE SYSTEM AND EQUIPMENT INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN PROPER WORKING ORDER.

27. ALL PIPING SHALL BE PROTECTED FROM FREEZING.

28. THE CONTRACTOR SHALL PROVIDE PRESSURE REDUCING VALVES AS REQUIRED PER THE 2006 NATIONAL STANDARD PLUMBING CODE.

29. THE COLOR OF ALL PLUMBING FIXTURES SHALL BE SELECTED BY THE ARCHITECT.

30. THIS CONTRACTOR SHALL PROVIDE AND INSTALL ALL GAS PIPING.

31. ALL HOT AND COLD WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER (CUL).

32. ALL EXPOSED COLD AND HOT WATER PIPING AND WASTE PIPING INCLUDING THE "P" TRAP LOCATED UNDER HANDICAPPED LAVATORIES SHALL BE INSULATED WITH TRUEBERG "HANDI-GUARD" PIPE INSULATION KIT MODEL 102.

33. ALL CEILING HEIGHTS TO BE MAINTAINED (NO EXCEPTIONS). REFER TO ARCHITECTURAL DRAWINGS FOR CEILING HEIGHTS.

34. ALL PLUMBING COMPONENTS, SYSTEMS AND THEIR ATTACHMENTS SHALL BE INSTALLED AND CONSTRUCTED TO RESIST THE ULTIMATE STRENGTH LOADS AND STORY DRIFT EFFECTS OF EARTHQUAKE MOTION IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2021.

PLUMBING FIXTURE SCHEDULE

MARK	F1	F2	F3	WCO	WHA
TYPE	WATER CLOSET	LAVATORY	SINK	WALL CLEANOUT	WATER HAMMER ARRESTER
MANUFACTURER	AMERICAN STD	AMERICAN STD	ELKAY	ZURN	ZURN WILKENS
MODEL NUMBER	2257101	0956041	LRAD17669	Z1445-NH	1260XL
WASTE SIZE (IN)	4	2"	2"	-	-
VENT SIZE (IN)	2	1-1/2	1-1/2	-	-
COLD WATER SIZE (IN)	1	1/2	1/2	-	-
HOT WATER SIZE (IN)	-	1/2	1/2	-	-
DRAINAGE FIXTURE UNIT (DFU)	4	2	-	-	-
SUPPLY FIXTURE UNIT (WSPU)	5.0	2	-	-	-
ACCESSORIES AND REMARKS	WALL-MOUNTED, TOP SPUD, SLOAN ROYAL III ESS-120-TMO FLUSH VALVE, 120 GPF, SLOAN EL-164 120/24V TRANSFORMER, BEMIS OPEN FRONT, ELONGATED, PLASTIC SEAT, ADA MOUNTING HEIGHT	ZURN Z6015-XL-CWB FAUCET AND ZURN P6000-HW& HARD WIRED POWER CONVERTER.	PROVIDE LK09 DRAIN FITTING WITH STRAINER BASKET. GROHE ZEPLA SINGLE-HANDLE PULL DOWN DUAL SPRAY FAUCET 170 GPM MODEL 32203DC3.	PROVIDE ZURN Z01460-VP ACCESS COVER AND PLUG.	INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

PLUMBING SYMBOL LIST

	COLD WATER PIPING
	HEAT TRACE DOMESTIC WATER PIPING
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	EXISTING SANITARY SEWER & WASTE PIPING BELOW GRADE
	NATURAL GAS PIPING
	VENT PIPING
	SANITARY LINE ABOVE GRADE/FLOOR
	SANITARY LINE BELOW GRADE/FLOOR
	RAIN WATER/STORM PIPING BELOW GRADE/FLOOR
	RAIN WATER/STORM PIPING ABOVE GRADE/FLOOR
	CONTINUATION
	PIPE DOWN
	PIPE UP
	PIPE CAPPED
	PIPE, TOP CONNECTION
	PIPE, BOTTOM CONNECTION
	BALL VALVE
	CHECK VALVE
	GATE VALVE
	TWO WAY CONTROL VALVE
	DIRECTION OF FLOW
	PLUG VALVE
	SANITARY TRAP
	FLOOR DRAIN (AS SPECIFIED)
	CLEAN OUT
	CLEAN OUT
	HOSE BIBB, WALL HYDRANT (AS SPECIFIED)
	RAIN WATER LEADER NUMBER
	VENT STACK NUMBER
	SAN STACK NUMBER
	SHOCK ABSORBER
	TEMPERATURE MIXING VALVE
	NEW TO EXISTING
	POINT OF DEMOLITION OF EXISTING

ABBREVIATIONS

AFB	ABOVE FINISHED FLOOR	IW	INDIRECT WASTE
BF	BELOW FINISHED FLOOR	INVEL (IE)	INVERT ELEVATION
BFP	BACK FLOW PREVENTER	LAV	LAVATORY
BTU	BRITISH THERMAL UNIT	LDR	LEADER
CFH	CUBIC FEET PER HOUR	LB	POUND
CI	CAST IRON	MR	MOP RECEPTOR
CO	CLEANOUT	MBH	BTU PER HOUR (THOUSAND)
COPP	CLEANOUT DECK PLATE	NC	NORMALLY CLOSED
CS	CARBON STEEL	OLDR	OVERFLOW LEADER
CU	COPPER	ORD.	OVERFLOW ROOF DRAIN
CW	COLD WATER	FIV	POST INDICATOR VALVE
DFU	DRAINAGE FIXTURE UNIT	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DN	DOWN	RP	ROOF DRAIN
DF	DRINKING FOUNTAIN	SF	SQUARE FEET
EOR	EMERGENCY ROOF DRAIN	SK	SINK
EWC	ELECTRIC WATER COOLER	S	SANITARY
EWH	ELECTRIC WATER HEATER	SH	SHOWER
FD	FLOOR DRAIN	TMV	THERMOSTATIC MIXING VALVE
FM	FACTORY MUTUAL	TW	TEMPERED WATER
FFM	FEET PER MINUTE	TYP.	TYPICAL
FRS	FLOOR RIM SINK	V	VENT
GPM	GALLONS PER MINUTE	VTR	VENT THROUGH ROOF
G	NATURAL GAS	W	WASTE WATER
HB	HOSE BIBB	WH	WALL HYDRANT
HW	HOT WATER	WC	WATER CLOSET
HW	HOT WATER RETURN	WCO	WALL CLEAN OUT
WSPU	WATER SUPPLY FIXTURE UNIT		



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Int. Designer No. 0005000 -NJ
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STOCKTON UNIVERSITY
RESIDENTIAL BUILDING
PROPOSED MAIL ROOM &
TENANT SPACE
SOUTH ALBANY AVE
ATLANTIC CITY
NEW JERSEY

Project
Issued For Bid
11/03/22

Revised By Date
ISSUED FOR BIDDING 11/14/22

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PLUMBING
COVER SHEET

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Checked By
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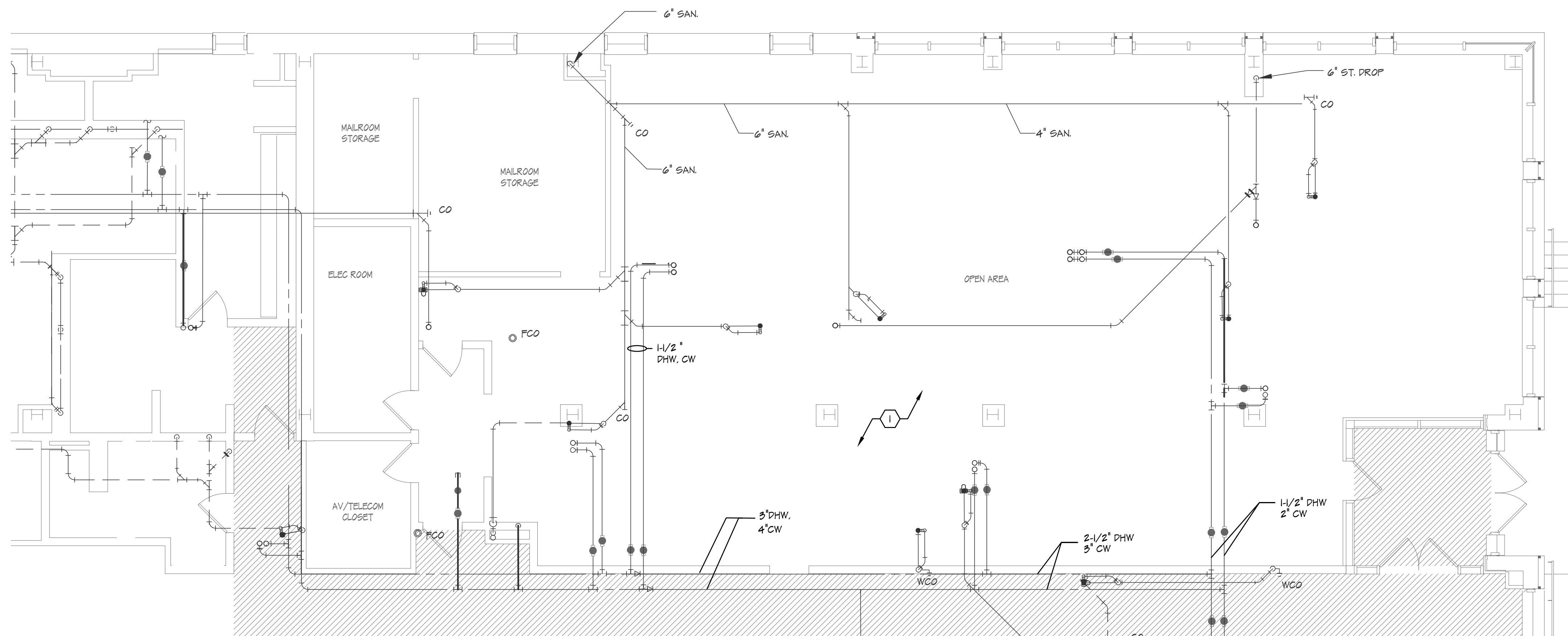
Project No.
YC22121



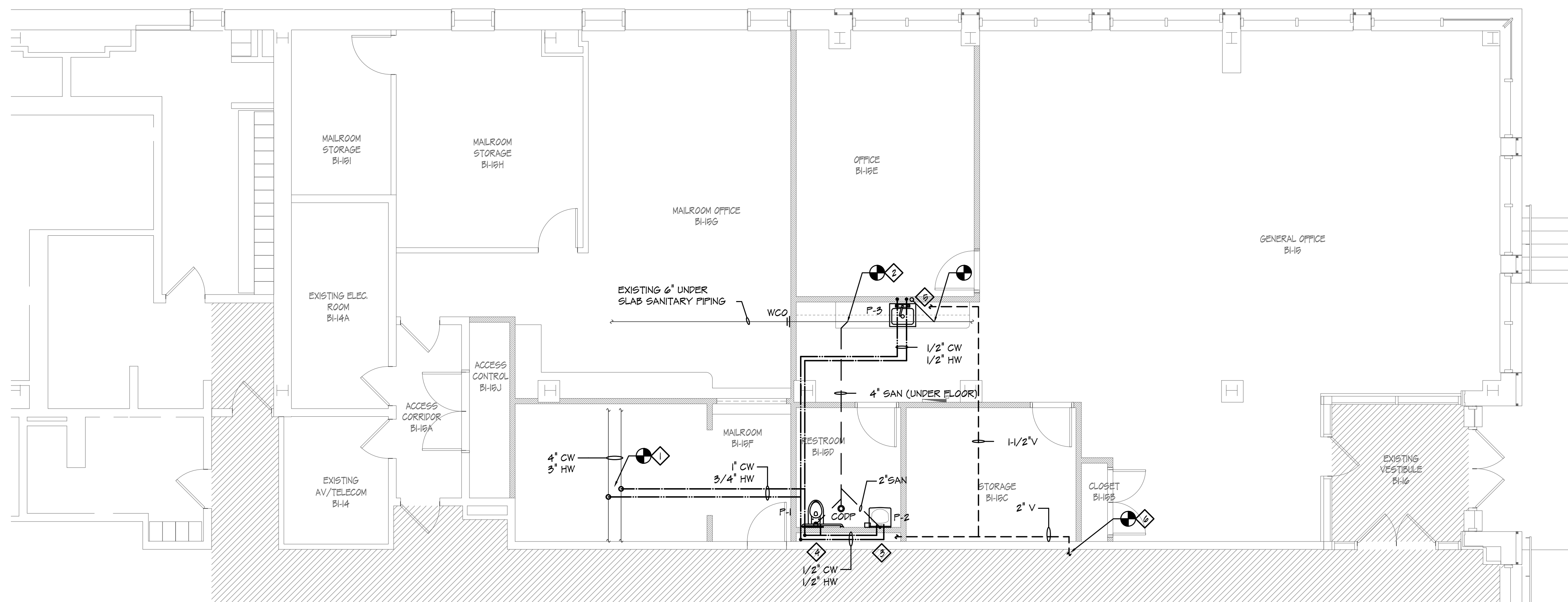
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2406349400

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DATE



1 PLUMBING DEMOLITION WORK PLAN
 P-1 SCALE: 3/16" = 1'-0"



2 PLUMBING PROPOSED WORK PLAN
 P-1 SCALE: 3/16" = 1'-0"

DEMOLITION WORK NOTES
 1 EXISTING ABOVE GROUND PIPING SHOWN FOR REFERENCE. CONFIRM EXACT LOCATION IN FIELD AS REQUIRED.

- NEW WORK NOTES**
- 1 CONNECT NEW 1" DOMESTIC COLD WATER AND 3/4" DOMESTIC HOT WATER LINE TO EXISTING DOMESTIC WATER PIPING IN THIS AREA.
 - 2 CONNECT NEW 4" SANITARY LATERAL TO EXISTING 6" UNDER FLOOR SANITARY MAIN.
 - 3 INSTALL NEW LAVATORY AND FAUCET. CONNECT NEW 1/2" DOMESTIC COLD AND HOT WATER LINE, 2" SAN DN, 1/2" VENT RISE.
 - 4 INSTALL NEW WALL-MOUNTED WATER CLOSET AND FLUSH VALVE. CONNECT NEW 1" DOMESTIC COLD WATER LINE, 4" SAN DN, 2" VENT RISE.
 - 5 CONNECT NEW 1/2" DOMESTIC HOT AND COLD WATER LINES TO NEW KITCHENETTE SINK. CONNECT 2" SAN DN, 1/2" VENT RISE.
 - 6 CONNECT NEW 2" VENT LINE TO EXISTING 2" VENT IN THIS AREA.



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PROJECT
 PROPOSED RENOVATIONS TO
**STOCKTON UNIVERSITY
 RESIDENTIAL BUILDING &
 PROPOSED MAIL ROOM &
 TENANT SPACE**
 ATLANTIC CITY
 NEW JERSEY
 SOUTH ALBANY AVE
 ATLANTIC COUNTY

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 11/03/22

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 ISSUED FOR DCA 11/14/22

Sheet Title
**PLUMBING
 DEMOLITION AND
 PROPOSED WORK PLAN**

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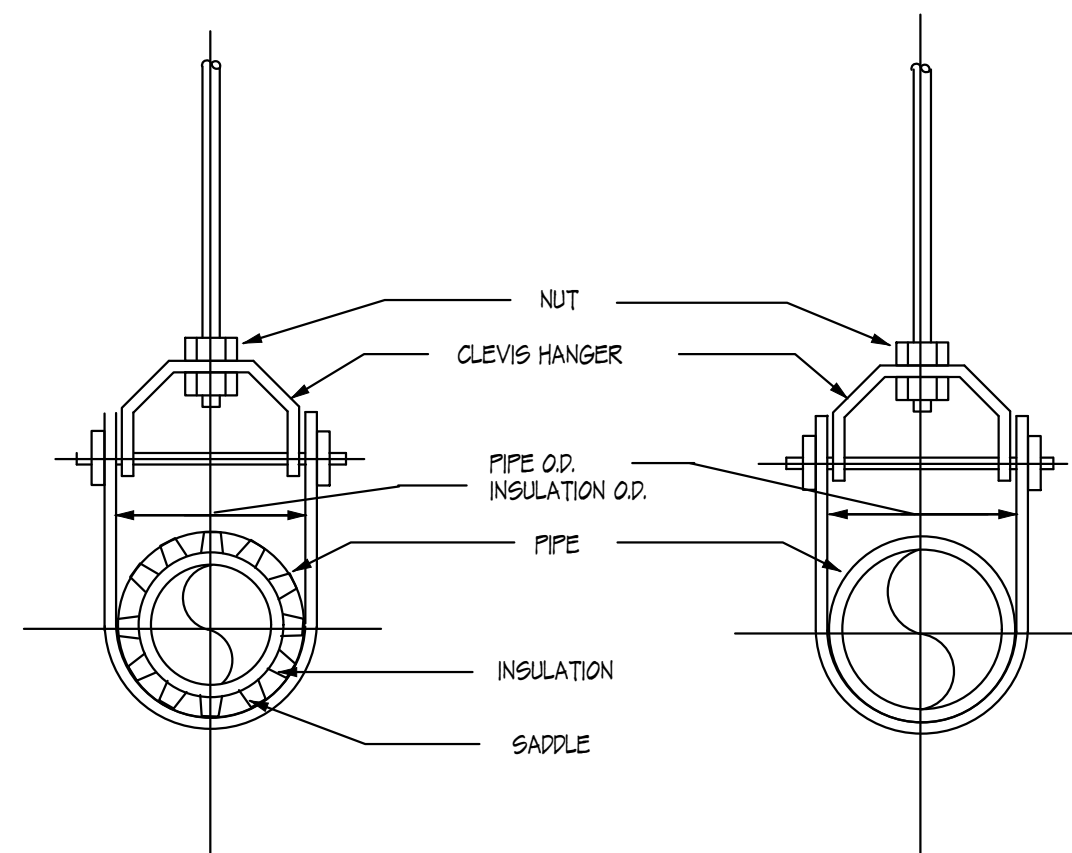
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Sheet No.
P-1

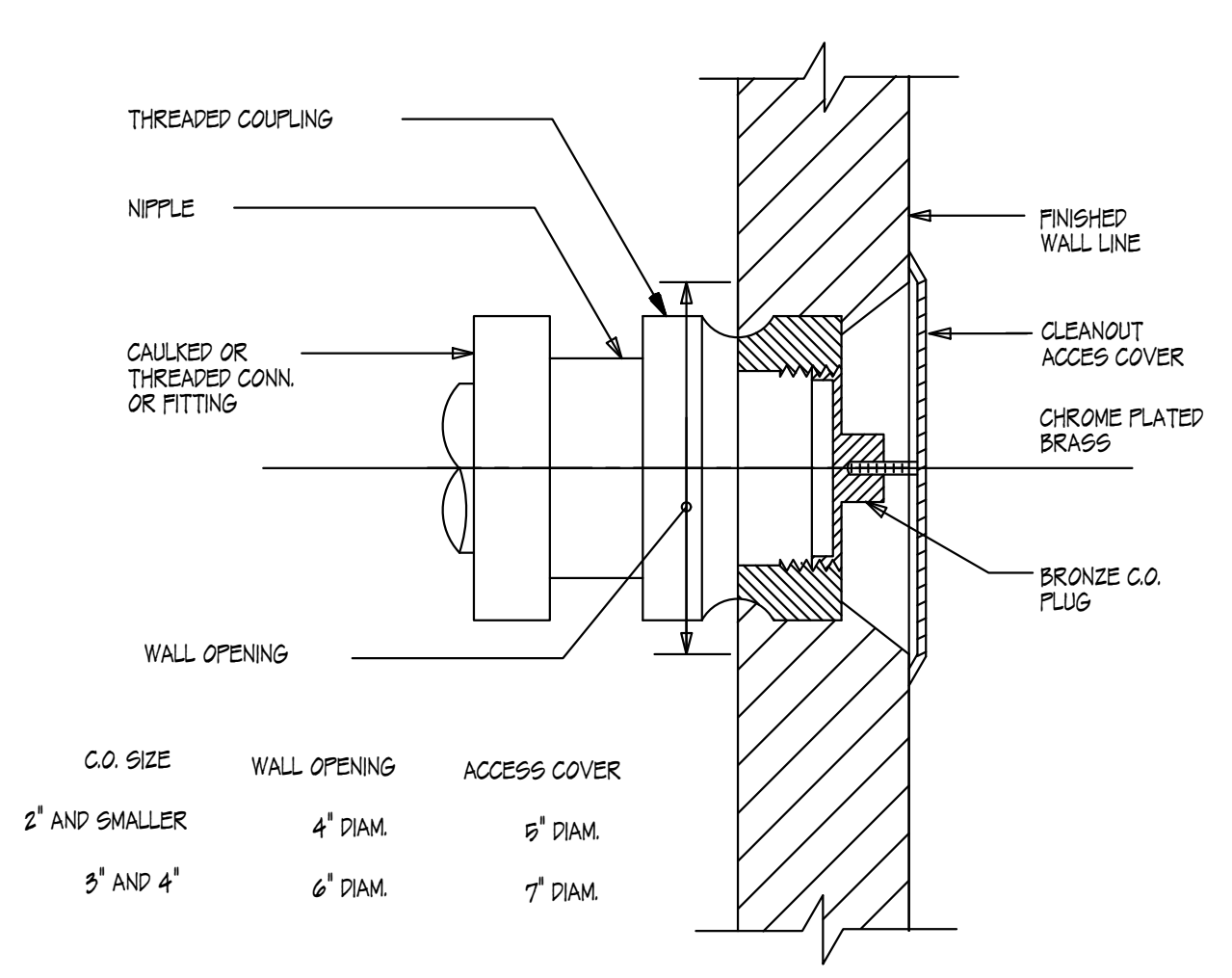
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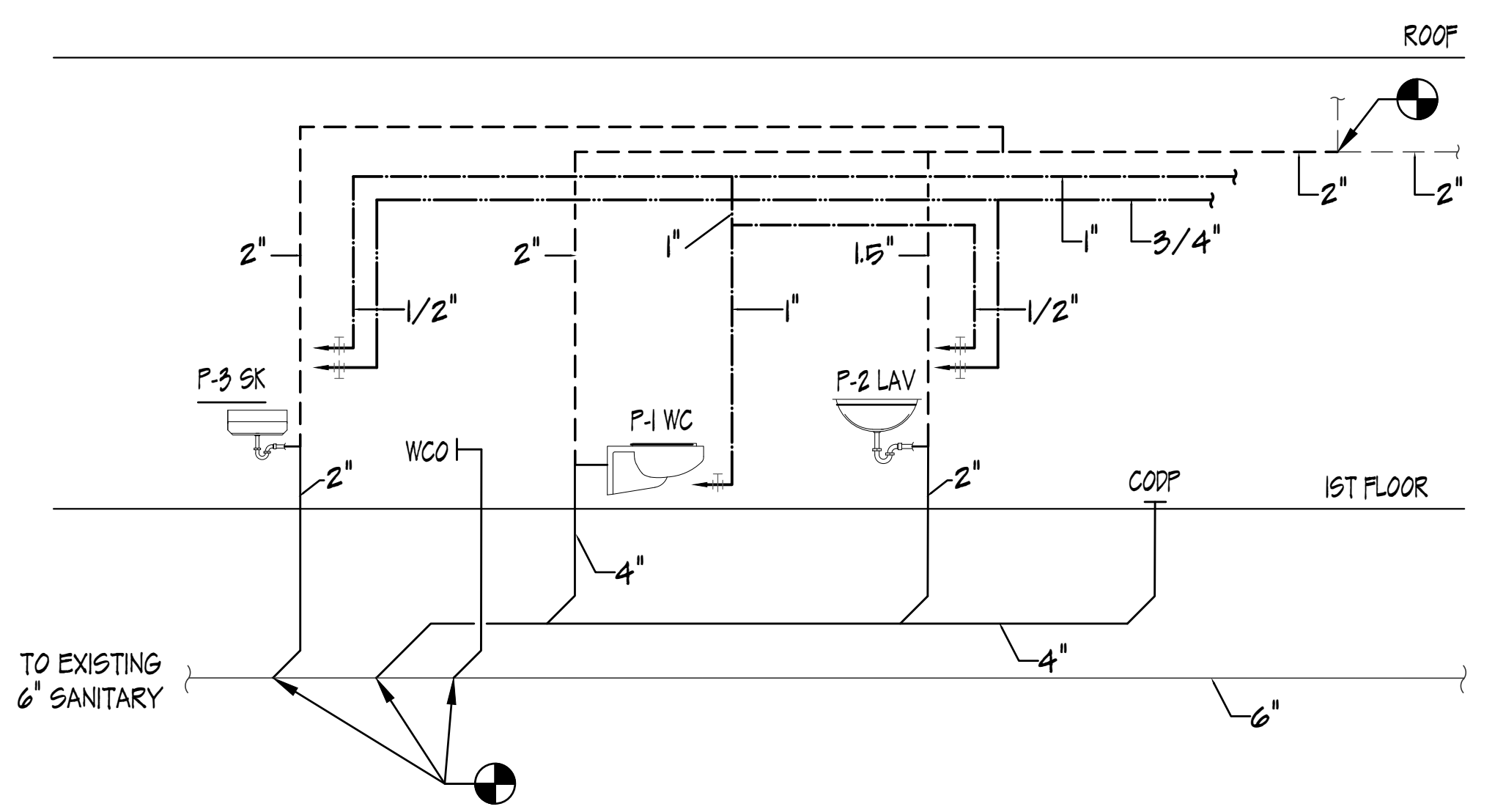


1 PIPE HANGER - CLEVIS TYPE
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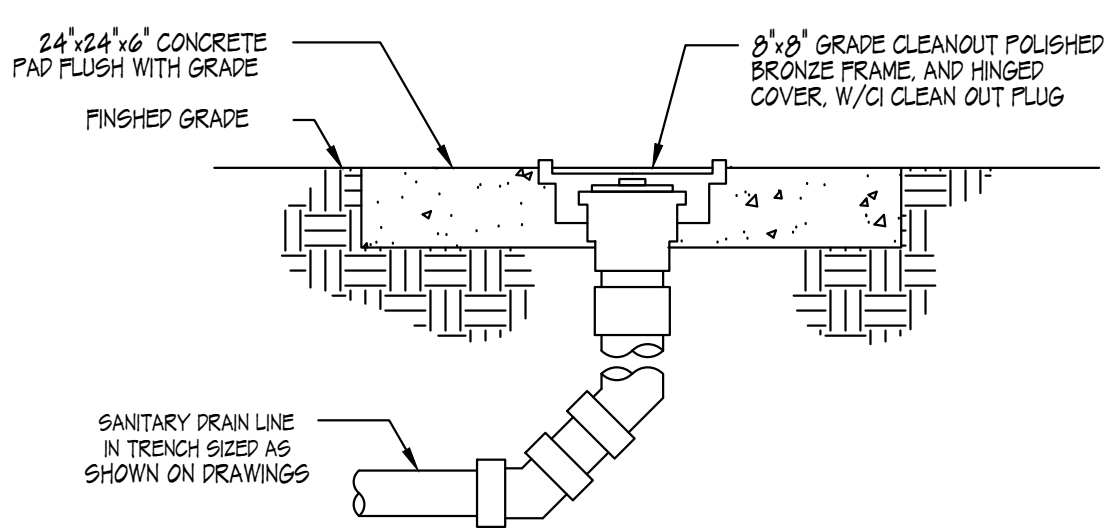


C.O. SIZE	WALL OPENING	ACCESS COVER
2" AND SMALLER	4" DIAM.	6" DIAM.
3" AND 4"	6" DIAM.	7" DIAM.

2 WALL CLEANOUT INSTALLATION DETAIL
NO SCALE



3 PLUMBING RISER DIAGRAM
NO SCALE



4 FLOOR CLEANOUT DETAIL
NO SCALE



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ATLANTIC COUNTY
NEW JERSEY

Project

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Project No. YC22121



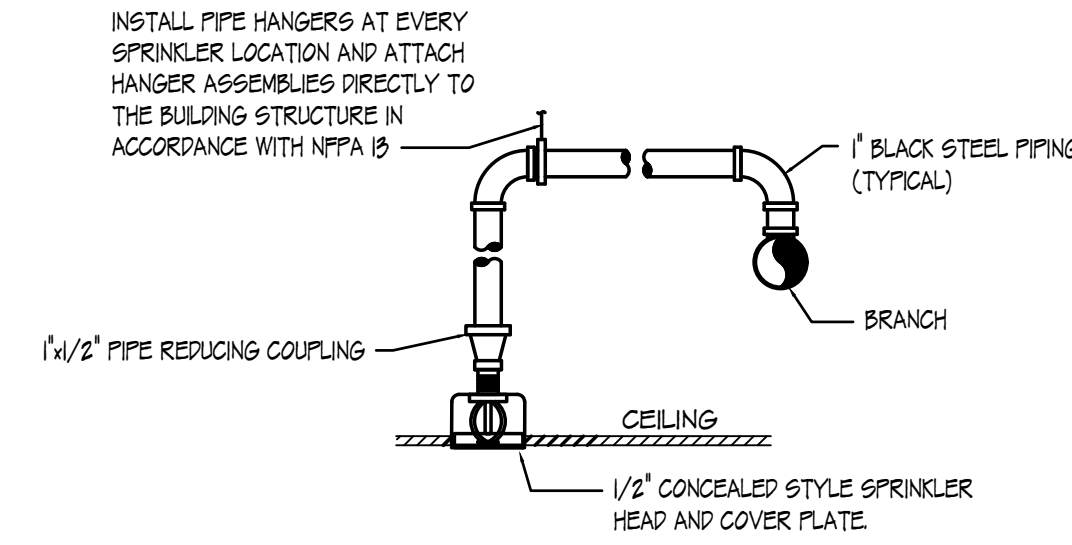
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CERTIFICATE OF AUTHORIZATION: 04062813020

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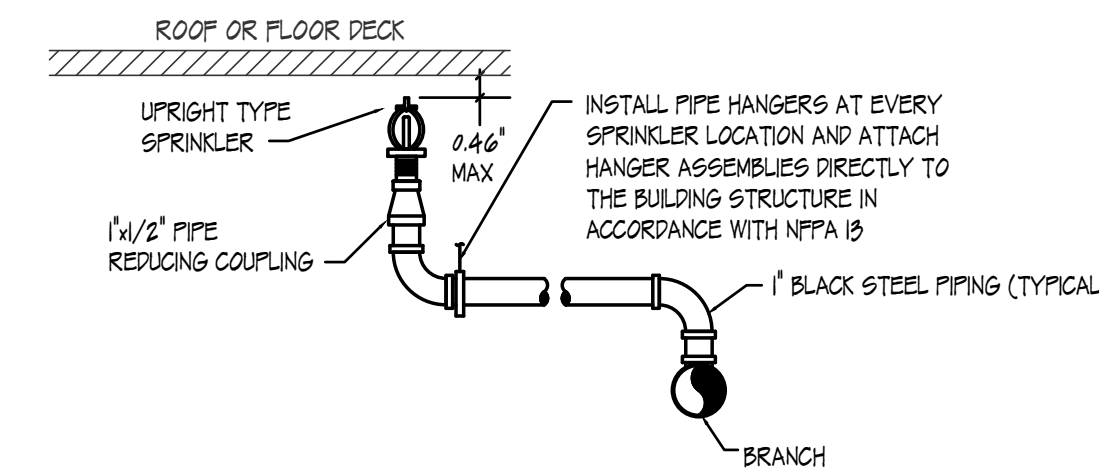
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GENERAL NOTES & PROJECT REQUIREMENTS:

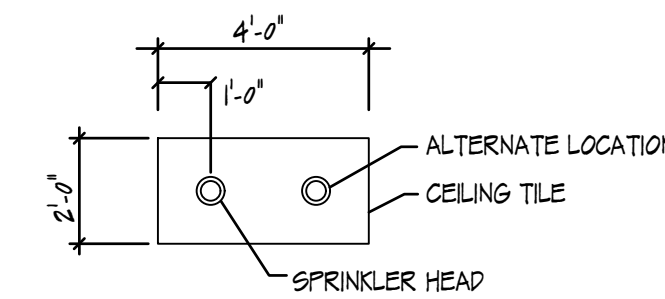
- UNLESS ITEMS OF MATERIAL, EQUIPMENT OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THIS CONTRACTOR TO PERFORM THE WORK AS SHOWN AND DESCRIBED ON THE DRAWINGS.
- WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70), UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE AND ALL APPLICABLE STATE AND LOCAL CODES.
- WORK SHALL BE INSTALLED AND PERFORMED IN A WORKMAN LIKE MANNER CONSISTENT WITH APPLICABLE INDUSTRY STANDARDS.
- EQUIPMENT INSTALLATIONS SHALL CONFORM TO THE EQUIPMENT MANUFACTURER'S WRITTEN INSTRUCTIONS AND ALL APPLICABLE INDUSTRY STANDARDS. INSTALL EQUIPMENT IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- BY SUBMITTING THEIR BID, THIS CONTRACTOR WARRANTS THAT HE HAS VISITED THE PROJECT SITE, VIEWED CONDITIONS, MATERIALS AND EQUIPMENT THAT EXIST AND WARRANTS THAT HE IS THOROUGHLY FAMILIAR WITH THE SCOPE OF WORK REQUIRED TO PROVIDE A COMPLETE, FULLY FUNCTIONAL, CODE ACCEPTABLE SYSTEM.
- COORDINATE INSTALLATION OF WORK WITH EXISTING CONDITIONS AND ALL OTHER SYSTEMS BEING INSTALLED PRIOR TO START OF WORK. ALL SYSTEMS REQUIRED TO BE REMOVED AND REINSTALLED DUE TO THE LACK OF COORDINATION BY THIS CONTRACTOR SHALL BE DONE AT THIS CONTRACTOR'S EXPENSE. WHERE SYSTEMS OR ITEMS ARE INDICATED ON THE DRAWINGS, OR DURING THE COURSE OF CONSTRUCTION ARE FOUND NECESSARY TO BE RELOCATED, REROUTED OR REMOVED AND REINSTALLED, CONTRACTOR SHALL PROVIDE NEW MATERIALS TO MATCH EXISTING MATERIALS, EQUIPMENT, ETC. AS REQUIRED TO PERFORM TASKS INDICATED.
- WORK REQUIRING THE SHUTDOWN OF ANY EXISTING SYSTEMS SHALL BE COORDINATED SO LENGTH OF DOWN TIME IS MINIMIZED. ALL SYSTEM SHUTDOWNS SHALL BE COORDINATED WITH OWNER PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL DRAIN, FILL, AND/OR TEST THE SYSTEM AS REQUIRED TO FACILITATE SHUTDOWNS TO ALLOW FOR ACCEPTABLE PHASING OF THE PROJECT.
- SYSTEMS SHALL BE LEFT IN PROPER WORKING ORDER. WORK, MATERIALS OR EQUIPMENT FURNISHED AND INSTALLED BY THIS CONTRACTOR UNDER THIS CONTRACT THAT DEVELOPS DEFECTS WITHIN TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER, OTHER THAN NORMAL WEAR AND TEAR, SHALL BE REPLACED WITHOUT ADDITIONAL CHARGE.
- EQUIPMENT LISTED IN THESE DOCUMENTS BY MANUFACTURER AND MODEL NUMBER ESTABLISHES A STANDARD OF QUALITY FOR THE EQUIPMENT. EQUAL SUBSTITUTES MAY BE ACCEPTABLE. WRITTEN APPROVAL OF THE PROPOSED SUBSTITUTION IS REQUIRED PRIOR TO PURCHASE OR INSTALLATION.
- SUBMIT SHOP DRAWINGS FOR ALL MAJOR MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. A MINIMUM OF 3 COPIES SHALL BE SUBMITTED. EQUIPMENT OR SYSTEM COMPONENTS SHALL NOT BE PURCHASED OR INSTALLED PRIOR TO CONTRACTOR'S RECEIPT OF THE REVIEWED SHOP DRAWINGS. REVIEW OF SHOP OR INSTALLATION DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE OF THE EQUIPMENT TO THE DESIGN CONCEPT OF THE PROJECT AND FOR CONFORMANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE THE CONTRACTOR'S UNLESS THE CONTRACTOR HAS, IN WRITING, SPECIFICALLY CALLED ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED WRITTEN APPROVAL OF SUCH DEVIATIONS FROM THE OWNER.
- PROVIDE PRODUCT DATA INCLUDING INSTALLATION AND STARTUP INSTRUCTIONS FOR ALL EQUIPMENT SUPPLIED UNDER THIS CONTRACT PRIOR TO PURCHASE. SUBMITTALS SHALL INCLUDE PERFORMANCE DATA, WIRING DIAGRAMS, AND MAINTENANCE INSTRUCTIONS.
- PROVIDE LATERAL SEISMIC RESTRAINTS AS REQUIRED IN ACCORDANCE WITH THE LATEST EDITION OF APPLICABLE BUILDING CODE FOR ALL EQUIPMENT AND RACEWAYS AS DESCRIBED WITHIN THE CODE.
- PROVIDE ALL MISCELLANEOUS STEEL SHAPES, HANGERS, RODS, STRAPS, ETC. REQUIRED FOR THE INSTALLATION OF EQUIPMENT UNDER THIS CONTRACT.
- THE FACILITY OPERATIONS SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION. THIS CONTRACTOR SHALL PROVIDE FULL DUST BARRIER ENCLOSURES AROUND ALL CONSTRUCTION, AND KEEP ALL AREAS CLEAR OF ALL DIRT AND DEBRIS. THIS CONTRACTOR SHALL THOROUGHLY COORDINATE, AND SCHEDULE CONSTRUCTION WITH GENERAL CONTRACTOR AND THE OWNER PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TESTS AS REQUIRED BY THE OWNER OR ANY INSPECTION DEPARTMENT. TESTS SHALL VERIFY WHETHER THE EQUIPMENT AND SYSTEMS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN PROPER WORKING ORDER. PROVIDE TEST RESULTS TO THE OWNER.
- PROVIDE FIRE RATED SLEEVES AT ALL FIREWALL PENETRATIONS AND SEAL AROUND SLEEVES AND PIPES WITH FIRE STOP SEALANT. THIS CONTRACTOR SHALL HIRE INDIVIDUALS SKILLED IN SUCH WORK TO DO THE SEALING AND FIREPROOFING.
- UNLESS DIRECTED OTHERWISE, ALL CUTTING AND PATCHING OF NEW AND EXISTING WALLS, CEILING OR FLOORS FOR REMOVALS OR INSTALLATION OF EQUIPMENT, IS THE RESPONSIBILITY OF THE CONTRACTOR WHOSE WORK PENETRATES THE OPENING. THE CONTRACTOR RESPONSIBLE SHALL HIRE INDIVIDUALS SKILLED IN SUCH WORK TO DO THE PATCHING AND PAINTING. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, WITHOUT ADDITIONAL CHARGE, ANY EXISTING WORK DAMAGED BY HIM DURING THE COURSE OF THIS CONSTRUCTION.
- VERIFY AFTER ALL WORK IS COMPLETED THAT ALL OPENINGS IN WALLS AND CEILINGS ARE PATCHED AND PAINTED TO MATCH EXISTING SURFACES.
- APPLY FOR AND PROCURE ALL REQUIRED PERMITS, CERTIFICATES, AND AGENCY APPROVALS REQUIRED FOR THE LAWFUL PROSECUTION OF THE WORK UNLESS OTHERWISE DIRECTED. PROVIDE THE OWNER WITH COPIES OF ALL REQUIRED CERTIFICATIONS AND APPROVALS.
- PROVIDE THE OWNER WITH COMPLETE AND ACCURATE "AS INSTALLED DOCUMENTATION" AT THE COMPLETION OF THE PROJECT.



2 PENDANT SPRINKLER HEAD DETAIL CONCEALED
NO SCALE



3 UPRIGHT SPRINKLER HEAD DETAIL
NO SCALE



4 TYPICAL SPRINKLER HEAD LOCATION DETAIL
NO SCALE

FIRE PROTECTION CRITERIA - SPRINKLERS							
CRITERIA SYMBOL	HAZARD CLASSIFICATION	LOCATION DESCRIPTION	SPRINKLER SYSTEM TYPE	SPRINKLER DENSITY	APPLICATION AREA (MOST HYD. REMOTE)	SPRINKLER HEAD TEMP. RATING	REMARKS
1	LIGHT HAZARD	OFFICE/ CLASSROOM	WET PIPE	0.10 GPM/SF	1000 SF	ORDINARY	SPRINKLER HEAD LAYOUTS SHOWN USE UPRIGHT HEADS OR PENDANT HEADS AS INDICATED.

SYMBOLS/ABBREVIATIONS

- ⊕ PENDANT SPRINKLER HEAD (RELOCATE)
- ⊕_N PENDANT SPRINKLER HEAD (NEW)
- ⊕_S PENDANT SPRINKLER HEAD - SECURE (NEW)
- ⊕_N PENDANT SPRINKLER HEAD (NEW)
- ⊕_W SIDE WALL SPRINKLER HEAD (NEW)
- ⬡ FIRE PROTECTION CRITERIA



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Revised By Date
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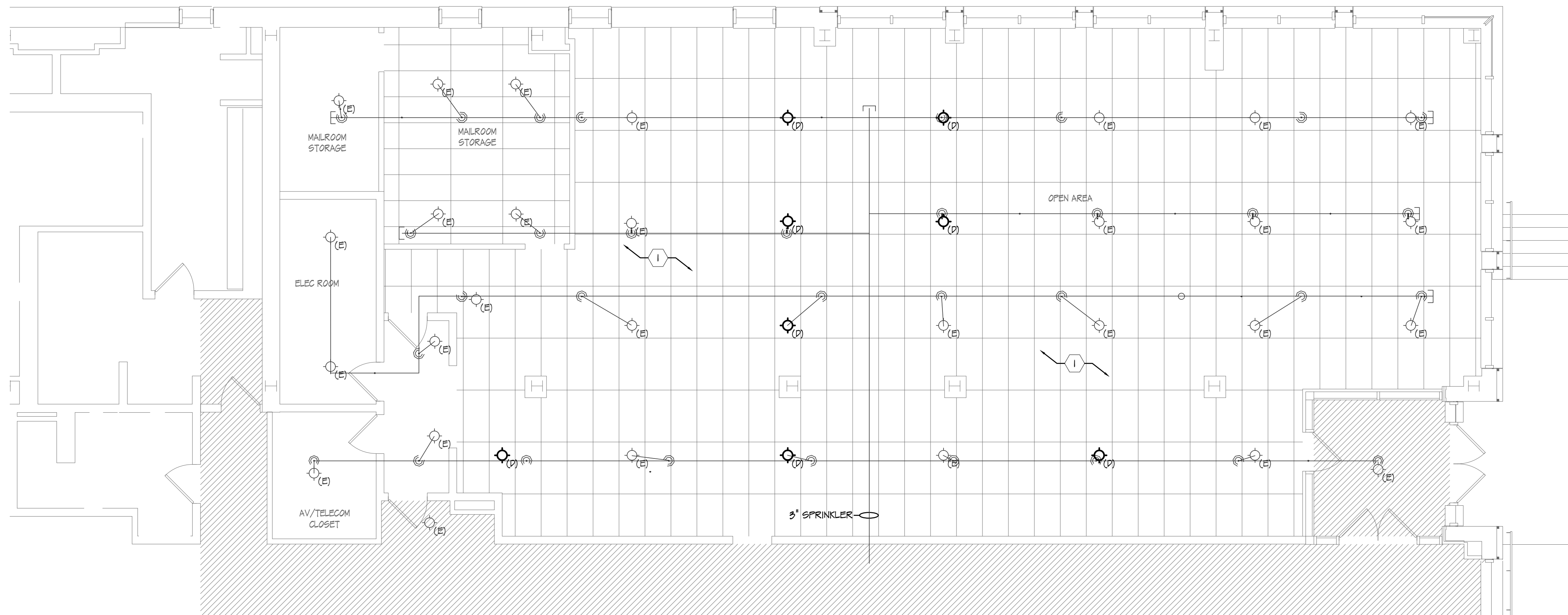
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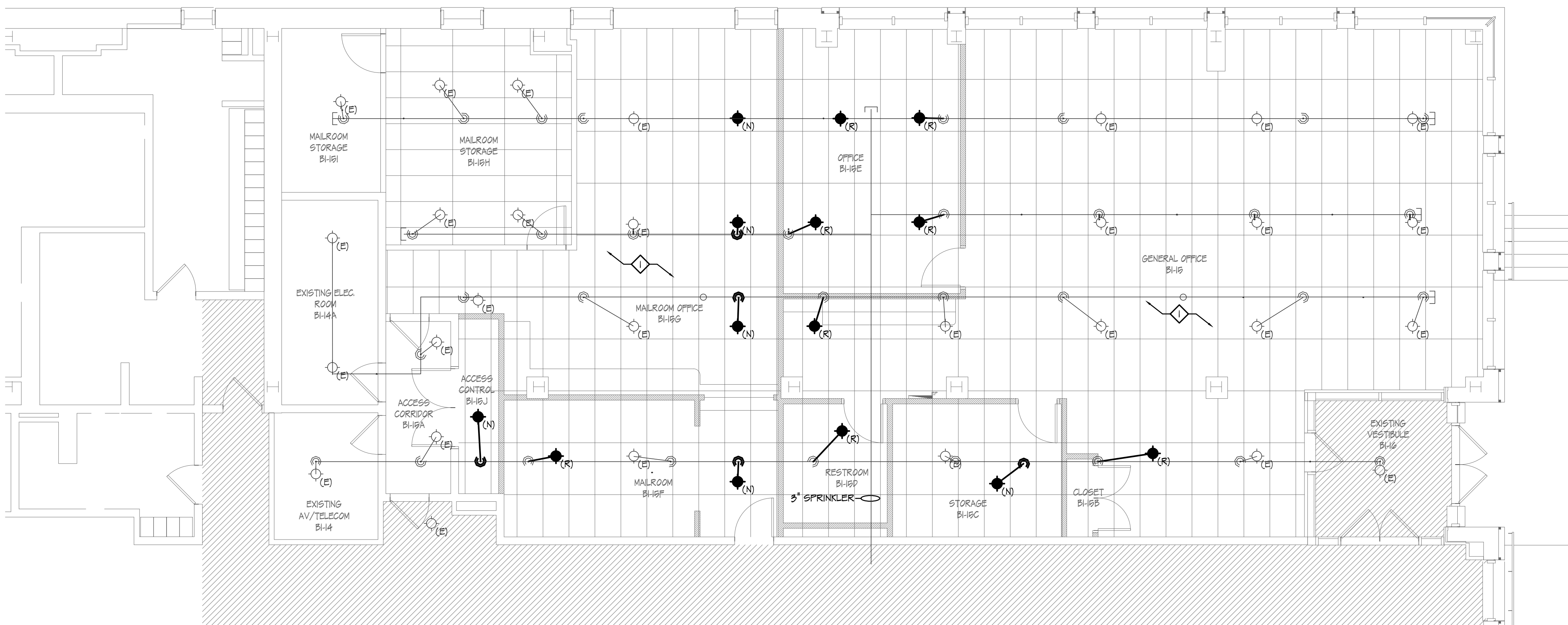
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1 FIRE PROTECTION DEMOLITION WORK PLAN
 PP-1 SCALE: 3/16" = 1'-0"



2 FIRE PROTECTION PROPOSED WORK PLAN
 PP-1 SCALE: 3/16" = 1'-0"

DEMOLITION WORK NOTES

- 1 THE FIRE PROTECTION SYSTEM BASIS OF DESIGN IS A FULLY-SPRINKLERED, HYDRAULICALLY CALCULATED SYSTEM WITH LIGHT HAZARD OCCUPANCIES.
- 2 THE ENTIRE EXISTING SPRINKLER SYSTEM (LOCATED IN ALL OTHER AREAS OF THE BUILDING NOT EFFECTED BY THE PROPOSED WORK) SHALL REMAIN OPERATIONAL DURING THE CONSTRUCTION/RENOVATION WORK.
- 3 SPRINKLER HEADS SHOWN ARE EXISTING HEADS TO REMAIN IN THE CURRENT LOCATION UNLESS NOTED OTHERWISE. EXTEND/INSTALL NEW SPRINKLER PIPING TO MATCH HEAD LOCATION. CONTRACTOR SHALL CONFIRM THAT THE REVISED PIPING CONFIGURATION AS REQUIRED FOR THE PROPOSED MODIFICATIONS MAINTAINS THE CURRENT FUNCTIONALITY OF THE FIRE SPRINKLER SYSTEM.
- 4 SPRINKLER HEADS SHOWN WITH AN (R) ARE EXISTING HEADS THAT ARE RELOCATED TO THE APPROXIMATE LOCATION SHOWN ON THE PLANS. EXTEND/INSTALL NEW SPRINKLER PIPING TO MATCH HEAD LOCATION. CONTRACTOR SHALL CONFIRM THAT THE REVISED PIPING CONFIGURATION AS REQUIRED FOR THE PROPOSED MODIFICATIONS MAINTAINS THE CURRENT FUNCTIONALITY OF THE FIRE SPRINKLER SYSTEM.

PROPOSED WORK NOTES:

- 1 THE FIRE PROTECTION SYSTEM BASIS OF DESIGN IS A FULLY-SPRINKLERED, HYDRAULICALLY CALCULATED SYSTEM WITH LIGHT HAZARD OCCUPANCIES.
- 2 SPRINKLER HEAD COVERAGE IN MECHANICAL, ELECTRICAL, AND STORAGE ROOMS SHALL NOT EXCEED 180 SQUARE FEET PER HEAD.
- 3 THE ENTIRE EXISTING SPRINKLER SYSTEM (LOCATED IN ALL OTHER AREAS OF THE BUILDING NOT EFFECTED BY THE PROPOSED WORK) SHALL REMAIN OPERATIONAL DURING THE CONSTRUCTION/RENOVATION WORK.
- 4 SPRINKLER HEADS SHOWN ARE EXISTING HEADS TO REMAIN IN THE CURRENT LOCATION UNLESS OTHERWISE NOTED. EXTEND/INSTALL NEW SPRINKLER PIPING TO MATCH HEAD LOCATION. CONTRACTOR SHALL CONFIRM THAT THE REVISED PIPING CONFIGURATION AS REQUIRED FOR THE PROPOSED MODIFICATIONS MAINTAINS THE CURRENT FUNCTIONALITY OF THE FIRE SPRINKLER SYSTEM.
- 5 SPRINKLER HEADS SHOWN WITH AN (R) ARE EXISTING HEADS THAT ARE RELOCATED TO THE APPROXIMATE LOCATION SHOWN ON THE PLANS. EXTEND/INSTALL NEW SPRINKLER PIPING TO MATCH HEAD LOCATION. CONTRACTOR SHALL CONFIRM THAT THE REVISED PIPING CONFIGURATION AS REQUIRED FOR THE PROPOSED MODIFICATIONS MAINTAINS THE CURRENT FUNCTIONALITY OF THE FIRE SPRINKLER SYSTEM.
- 6 SPRINKLER HEADS SHOWN WITH AN (N) ARE NEW HEADS TO BE INSTALLED. EXTEND/INSTALL NEW SPRINKLER PIPING TO MATCH HEAD LOCATION. CONTRACTOR SHALL CONFIRM THAT THE REVISED PIPING CONFIGURATION AS REQUIRED FOR THE PROPOSED MODIFICATIONS MAINTAINS THE CURRENT FUNCTIONALITY OF THE FIRE SPRINKLER SYSTEM.
- 7 THE INSTALLING CONTRACTOR SHALL PROVIDE HYDRAULICALLY CALCULATED, SIGNED AND SEALED SHOP DRAWINGS SHOWING PIPE ROUTING AND ALL CONNECTION POINTS. PIPE ROUTING AND HEAD LOCATION SHALL BE COORDINATED TO PREVENT CONFLICTS WITH NEW MECHANICAL EQUIPMENT AND PIPING TO BE INSTALLED.
- 8 ADJUST HEAD HEIGHT TO MATCH CEILING HEIGHT AS INDICATED.



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Seal

PROJECT RENOVATIONS TO
 STOCKTON UNIVERSITY
 RESIDENTIAL BUILDING &
 PROPOSED MAIL ROOM &
 TENANT SPACE
 ATLANTIC CITY
 SOUTH ALBANY AVE
 ATLANTIC COUNTY
 NEW JERSEY

Project No. 11/03/22
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Sheet Title
 FIRE PROTECTION
 DEMOLITION AND
 PROPOSED WORK PLAN

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