# TOILET ROOM RENOVATIONS AT J. FITHIAN TATEM ELEMENTARY SCHOOL

1 Glover Avenue Haddonfield, NJ 08033 Camden County SET ISSUE: ISSUED FOR BID 12/14/2022 NJDOE #1900-090-22-1000

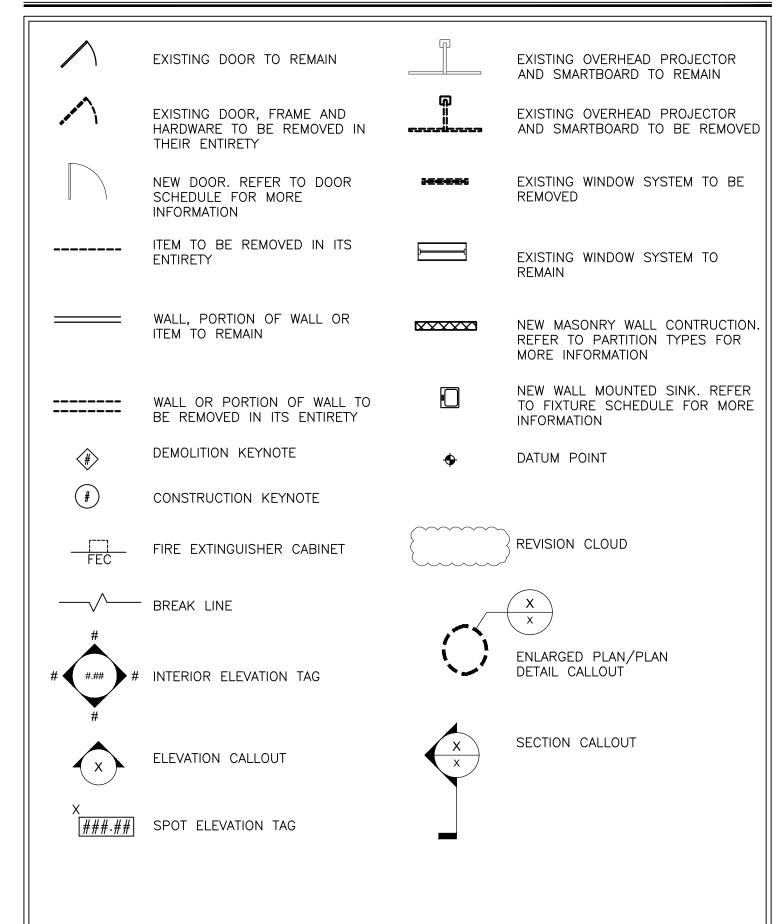
## Drawing Index

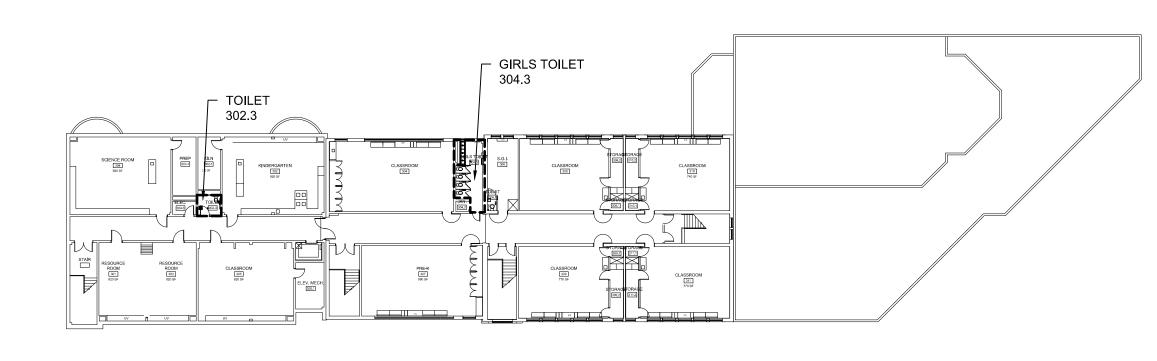
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NO.	DESCRIPTION
	TITLE SHEET
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ARCHITI	i ECTURAL
A1.01	PLANS & INTERIOR ELEVATIONS – 1st FLOOR
	PLANS & INTERIOR ELEVATIONS — 1st FLOOR
A1.03	PLANS & INTERIOR ELEVATIONS — 1st FLOOR
	PLANS & INTERIOR ELEVATIONS - 1st FLOOR
A1.05	PLANS & INTERIOR ELEVATIONS — 1st FLOOR
A1.06	PLANS & INTERIOR ELEVATIONS — 1st FLOOR
A1.07	PLANS & INTERIOR ELEVATIONS - 1st & 2nd FLOOR
A1.08	PLANS & INTERIOR ELEVATIONS — 2nd FLOOR
A1.09	PLANS & INTERIOR ELEVATIONS — 2nd FLOOR
A1.10	PLANS & INTERIOR ELEVATIONS — 3rd FLOOR
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PLUMBIN	NG
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P6.01	PLUMBING SCHEDULES AND DETAILS

## **Abbreviations**

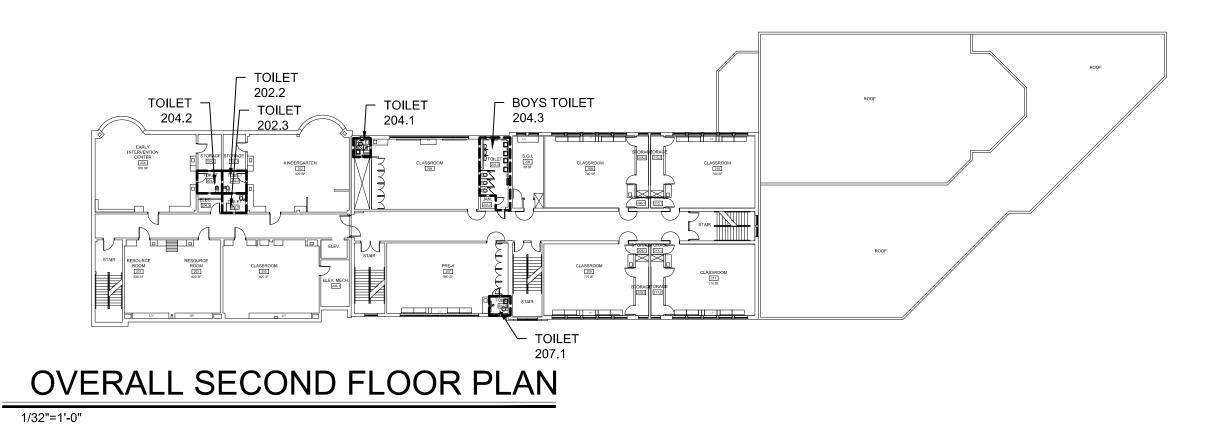
	ABOVE FINISHED FLOOR ALUMINUM
BLDG.	BUILDING
COL. CONC.	CEILING CENTER LINE COLUMN CONCRETE CONTINUED
EQ.	ELEMENTARY SCHOOL EQUAL EXISTING
F.E.C. F.R.P.	FIRE EXTINGUISHER CABINET FIBER REINFORCED PANEL
	GENERAL CONTRACTOR GYPSUM BOARD
HT. HM H.V.A.C.	HEIGHT HOLLOW METAL HEATING VENTILATING AIR CONDITIONING
MAX. M.O. MTL.	MAXIMUM MASONRY OPENING METAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
Q.C.	QUALITY CONTROL
PTD.	PAINTED
R.O.	ROUGH OPENING
S.F. S.S. S.T.	SQUARE FOOT (FEET) STAINLESS STEEL STEEL
TYP.	TYPICAL
U.O.N. U.N.O.	UNLESS OTHERWISE NOTED UNLESS NOTED OTHERWISE
V.C.B. VCT. V.I.F.	
WD W/	WOOD WITH

## Symbol Legend



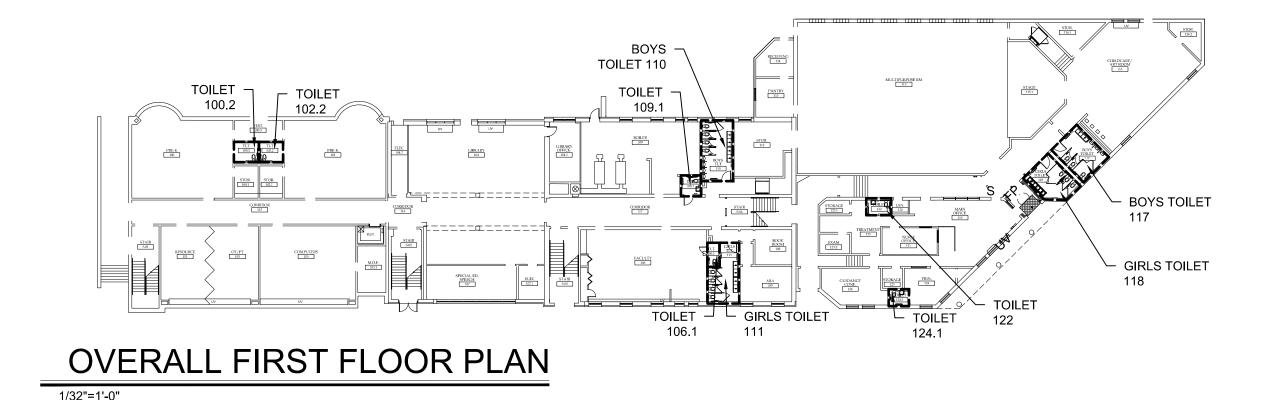


## OVERALL THIRD FLOOR PLAN 1/32"=1'-0"



## **APPLICABLE CODES:**

- JURISDICTION: STATE OF NEW JERSEY
- INTERNATIONAL BUILDING CODE/ 2018 NEW JERSEY EDITION ASHRAE 90.1-2016
- INTERNATIONAL MECHANICAL CODE/ 2018 INTERNATIONAL FUEL GAS CODE/ 2018
- NATIONAL ELECTRIC CODE/ 2017
- NATIONAL STANDARD PLUMBING CODE/ 2018 N.J.A.C. 5:23-6 REHABILITATION SUB CODE
- N.J.A.C. 5:23-7 BARRIER FREE SUBCODE AND ICC-ANSI A117.1-2009
- NEW JERSEY UNIFORM CONSTRUCTION CODE TITLE 6, CHAPTER 23, SUBCHAPTERS 1-12
- USE GROUP/ OCCUPANCY: IBC/ 2018 NEW JERSEY EDITION, CHAPTER 3: EDUCATION "E"



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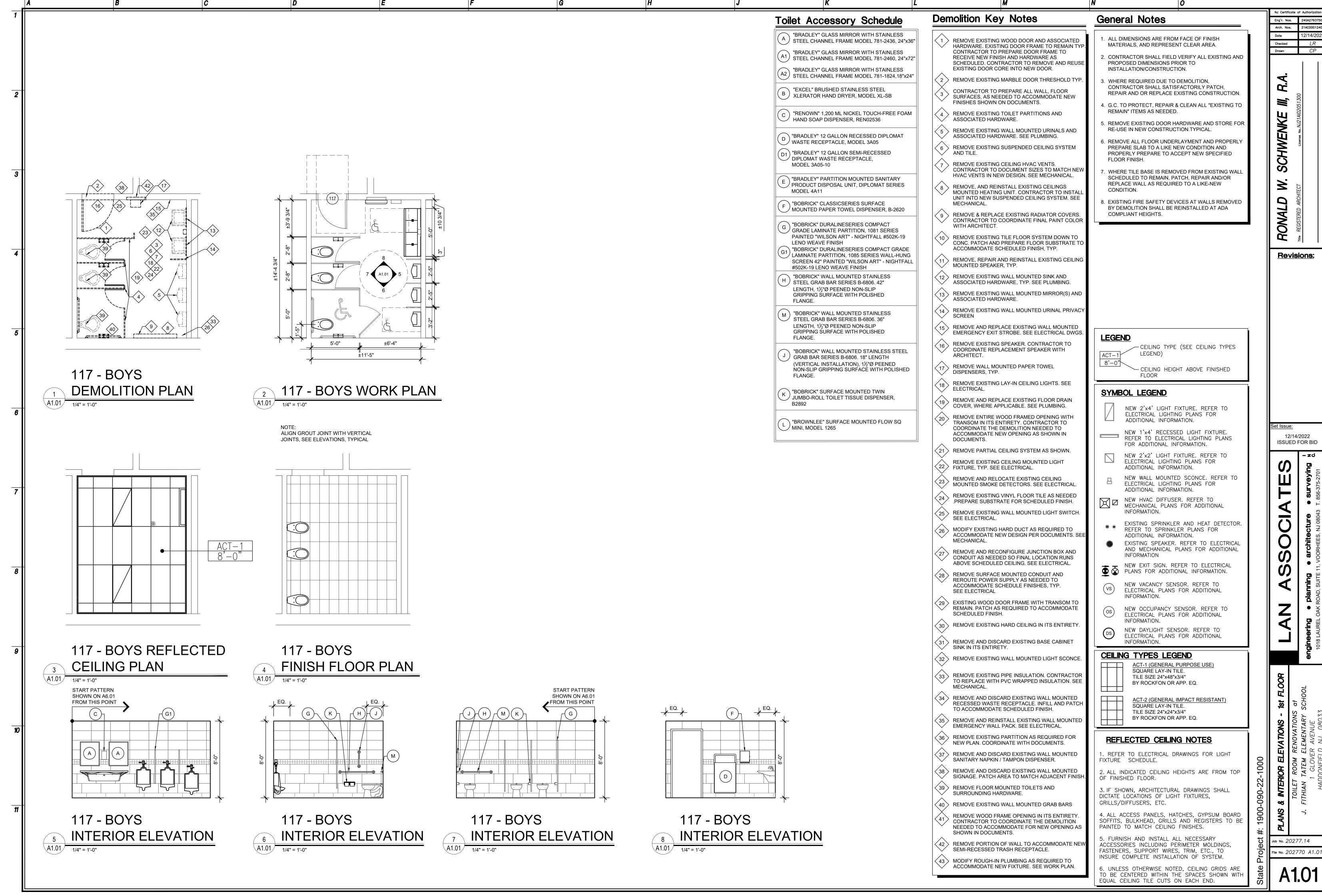
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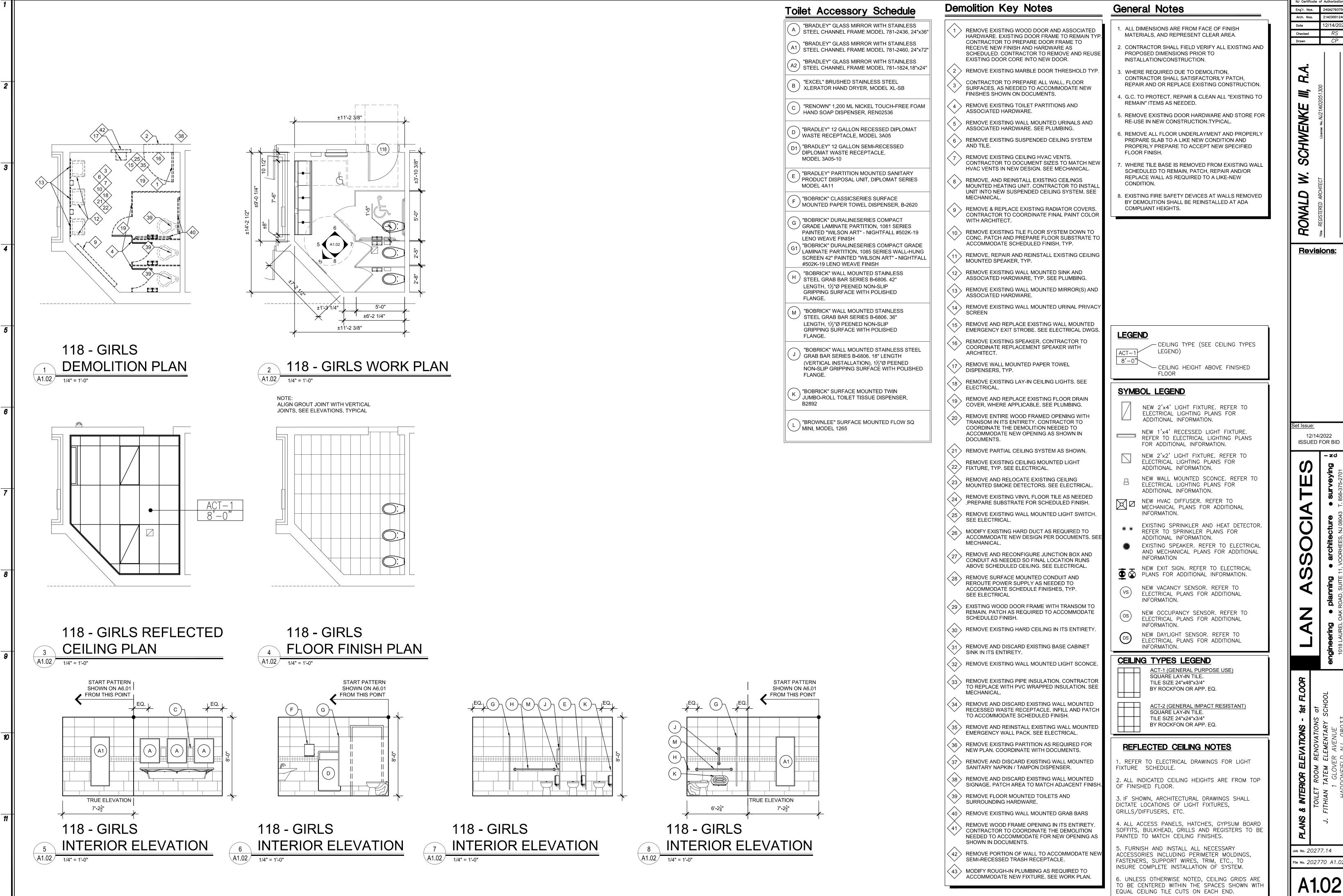
**Revisions:** 

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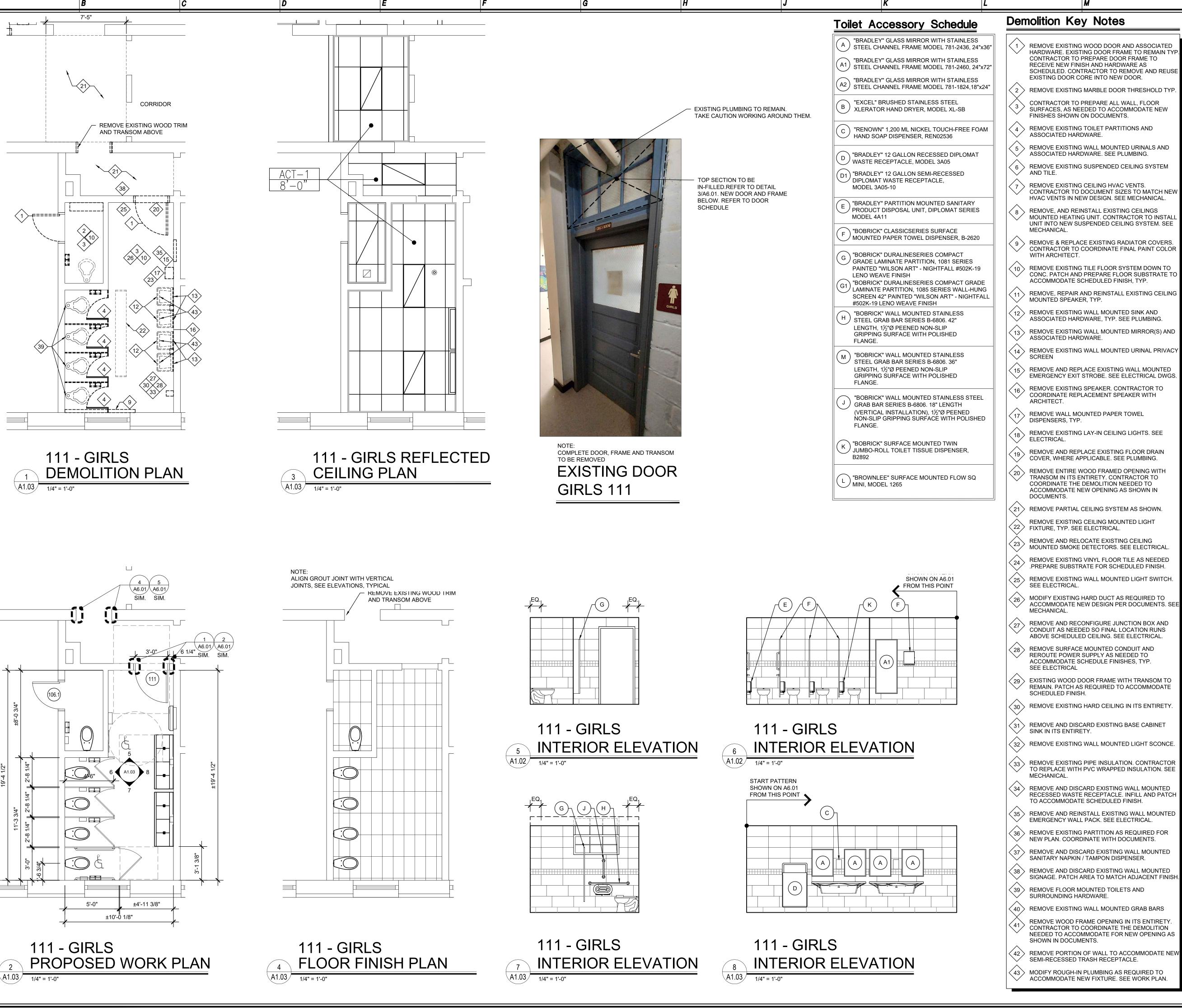




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**General Notes** 

- ALL DIMENSIONS ARE FROM FACE OF FINISH REMOVE EXISTING WOOD DOOR AND ASSOCIATED HARDWARE. EXISTING DOOR FRAME TO REMAIN TY
  - MATERIALS, AND REPRESENT CLEAR AREA. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND
  - PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.
  - WHERE REQUIRED DUE TO DEMOLITION, CONTRACTOR SHALL SATISFACTORILY PATCH,

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**Revisions:** 

- REPAIR AND OR REPLACE EXISTING CONSTRUCTION.
- G.C. TO PROTECT, REPAIR & CLEAN ALL "EXISTING TO REMAIN" ITEMS AS NEEDED.
- REMOVE EXISTING DOOR HARDWARE AND STORE FOR RE-USE IN NEW CONSTRUCTION.TYPICAL.
- REMOVE ALL FLOOR UNDERLAYMENT AND PROPERLY PREPARE SLAB TO A LIKE NEW CONDITION AND PROPERLY PREPARE TO ACCEPT NEW SPECIFIED FLOOR FINISH.
- WHERE TILE BASE IS REMOVED FROM EXISTING WALL SCHEDULED TO REMAIN, PATCH, REPAIR AND/OR REPLACE WALL AS REQUIRED TO A LIKE-NEW CONDITION.
- EXISTING FIRE SAFETY DEVICES AT WALLS REMOVED BY DEMOLITION SHALL BE REINSTALLED AT ADA COMPLIANT HEIGHTS.

### **LEGEND**

CEILING TYPE (SEE CEILING TYPES



CEILING HEIGHT ABOVE FINISHED

ELECTRICAL LIGHTING PLANS FOR



 $\langle _{13} \rangle$  REMOVE EXISTING WALL MOUNTED MIRROR(S) AND ASSOCIATED HARDWARE.

- (15) REMOVE AND REPLACE EXISTING WALL MOUNTED EMERGENCY EXIT STROBE. SEE ELECTRICAL DWGS.
- REMOVE EXISTING SPEAKER. CONTRACTOR TO COORDINATE REPLACEMENT SPEAKER WITH
- 7 REMOVE WALL MOUNTED PAPER TOWEL DISPENSERS, TYP.
- 18 REMOVE EXISTING LAY-IN CEILING LIGHTS. SEE
- REMOVE AND REPLACE EXISTING FLOOR DRAIN COVER, WHERE APPLICABLE. SEE PLUMBING.
- 20 REMOVE ENTIRE WOOD FRAMED OPENING WITH TRANSOM IN ITS ENTIRETY. CONTRACTOR TO COORDINATE THE DEMOLITION NEEDED TO ACCOMMODATE NEW OPENING AS SHOWN IN
- 21 > REMOVE PARTIAL CEILING SYSTEM AS SHOWN
- REMOVE EXISTING CEILING MOUNTED LIGHT 22 FIXTURE, TYP. SEE ELECTRICAL.
- REMOVE AND RELOCATE EXISTING CEILING MOUNTED SMOKE DETECTORS. SEE ELECTRICAL.
- REMOVE EXISTING VINYL FLOOR TILE AS NEEDED
- .PREPARE SUBSTRATE FOR SCHEDULED FINISH.
- (25) REMOVE EXISTING WALL MOUNTED LIGHT SWITCH SEE ELECTRICAL.
- 26 MODIFY EXISTING HARD DUCT AS REQUIRED TO ACCOMMODATE NEW DESIGN PER DOCUMENTS. SEE
- REMOVE AND RECONFIGURE JUNCTION BOX AND
- CONDUIT AS NEEDED SO FINAL LOCATION RUNS ABOVE SCHEDULED CEILING. SEE ELECTRICAL. 28 REMOVE SURFACE MOUNTED CONDUIT AND
- REROUTE POWER SUPPLY AS NEEDED TO ACCOMMODATE SCHEDULE FINISHES, TYP. SEE ELECTRICAL
- (29) EXISTING WOOD DOOR FRAME WITH TRANSOM TO REMAIN. PATCH AS REQUIRED TO ACCOMMODATE SCHEDULED FINISH.
- $\langle _{30} 
  angle$  REMOVE EXISTING HARD CEILING IN ITS ENTIRETY
- 31 REMOVE AND DISCARD EXISTING BASE CABINET
- 33> REMOVE EXISTING PIPE INSULATION. CONTRACTOR
- TO REPLACE WITH PVC WRAPPED INSULATION. SEE MECHANICAL.
- TO ACCOMMODATE SCHEDULED FINISH. 35 REMOVE AND REINSTALL EXISTING WALL MOUNTED
- EMERGENCY WALL PACK. SEE ELECTRICAL. (36) REMOVE EXISTING PARTITION AS REQUIRED FOR NEW PLAN. COORDINATE WITH DOCUMENTS.
- 37 REMOVE AND DISCARD EXISTING WALL MOUNTED SANITARY NAPKIN / TAMPON DISPENSER.
- SIGNAGE. PATCH AREA TO MATCH ADJACENT FINISH. REMOVE FLOOR MOUNTED TOILETS AND SURROUNDING HARDWARE.
- 40 REMOVE EXISTING WALL MOUNTED GRAB BARS
- REMOVE WOOD FRAME OPENING IN ITS ENTIRETY CONTRACTOR TO COORDINATE THE DEMOLITION NEEDED TO ACCOMMODATE FOR NEW OPENING A
- 42 REMOVE PORTION OF WALL TO ACCOMMODATE NEW SEMI-RECESSED TRASH RECEPTACLE.
- 43 MODIFY ROUGH-IN PLUMBING AS REQUIRED TO ACCOMMODATE NEW FIXTURE. SEE WORK PLAN.

LEGEND)



FLOOR



NEW 2'x4' LIGHT FIXTURE. REFER TO



ADDITIONAL INFORMATION.

- NEW 2'x2' LIGHT FIXTURE. REFER TO ELECTRICAL LIGHTING PLANS FOR
- ADDITIONAL INFORMATION. NEW WALL MOUNTED SCONCE. REFER TO ELECTRICAL LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- NEW HVAC DIFFUSER. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
- EXISTING SPRINKLER AND HEAT DETECTOR REFER TO SPRINKLER PLANS FOR ADDITIONAL INFORMATION.
- EXISTING SPEAKER. REFER TO ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION
- NEW EXIT SIGN. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- NEW VACANCY SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL
- NEW OCCUPANCY SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- NEW DAYLIGHT SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

## **CEILING TYPES LEGEND**

## SQUARE LAY-IN TILE. TILE SIZE 24"x48"x3/4" BY ROCKFON OR APP. EQ.

- ACT-2 (GENERAL IMPACT RESISTANT) SQUARE LAY-IN TILE. TILE SIZE 24"x24"x3/4"
- BY ROCKFON OR APP. EQ.

## REFLECTED CEILING NOTES

- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE.
- 2. ALL INDICATED CEILING HEIGHTS ARE FROM TOP OF FINISHED FLOOR.
- DICTATE LOCATIONS OF LIGHT FIXTURES, GRILLS/DIFFUSERS, ETC.

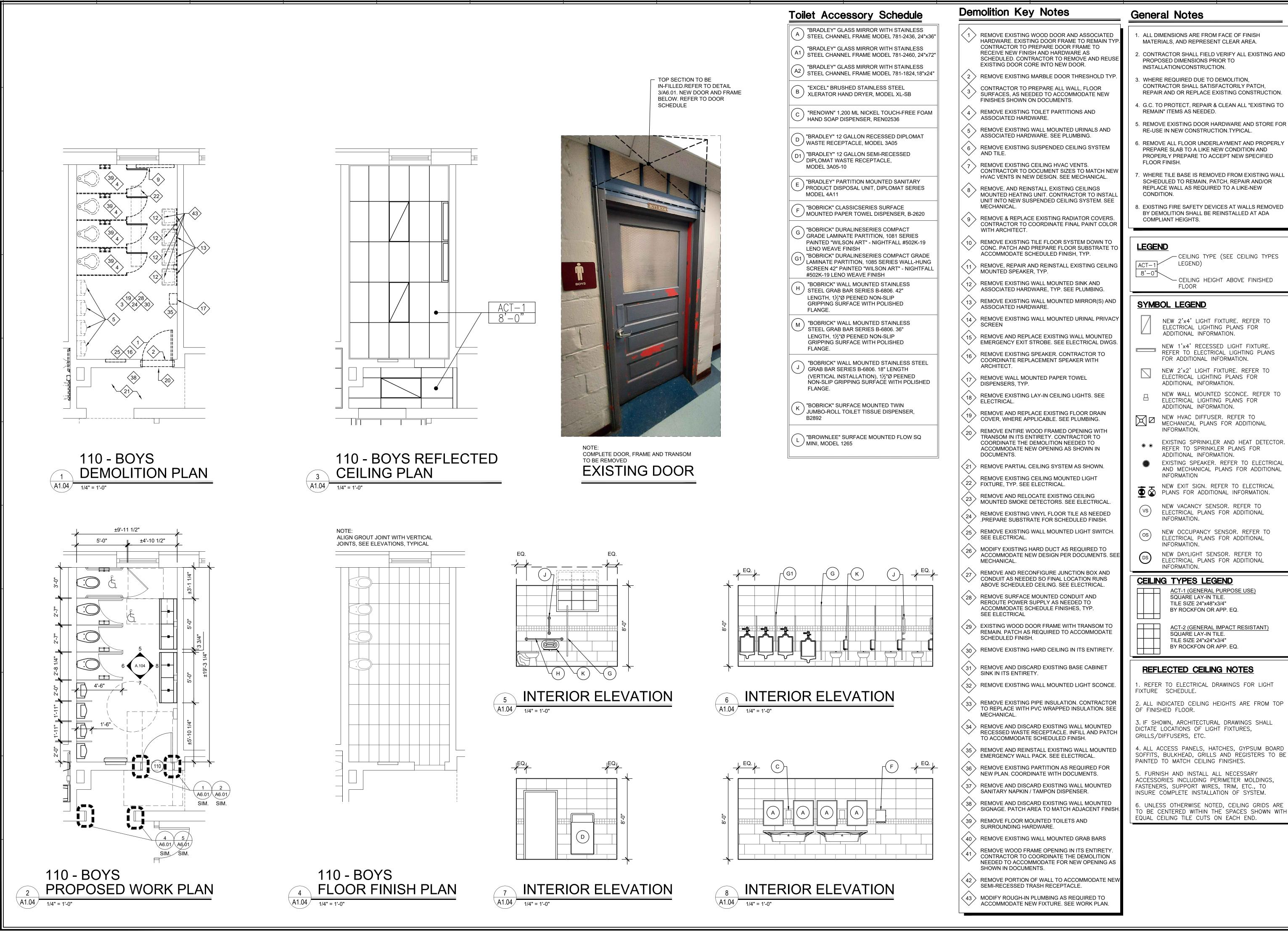
3. IF SHOWN, ARCHITECTURAL DRAWINGS SHALL

- 4. ALL ACCESS PANELS, HATCHES, GYPSUM BOARD SOFFITS, BULKHEAD, GRILLS AND REGISTERS TO BE PAINTED TO MATCH CEILING FINISHES.
- . FURNISH AND INSTALL ALL NECESSARY ACCESSORIES INCLUDING PERIMETER MOLDINGS. FASTENERS, SUPPORT WIRES, TRIM, ETC., TO
- INSURE COMPLETE INSTALLATION OF SYSTEM. 6. UNLESS OTHERWISE NOTED, CEILING GRIDS ARE TO BE CENTERED WITHIN THE SPACES SHOWN WITH

EQUAL CEILING TILE CUTS ON EACH END.

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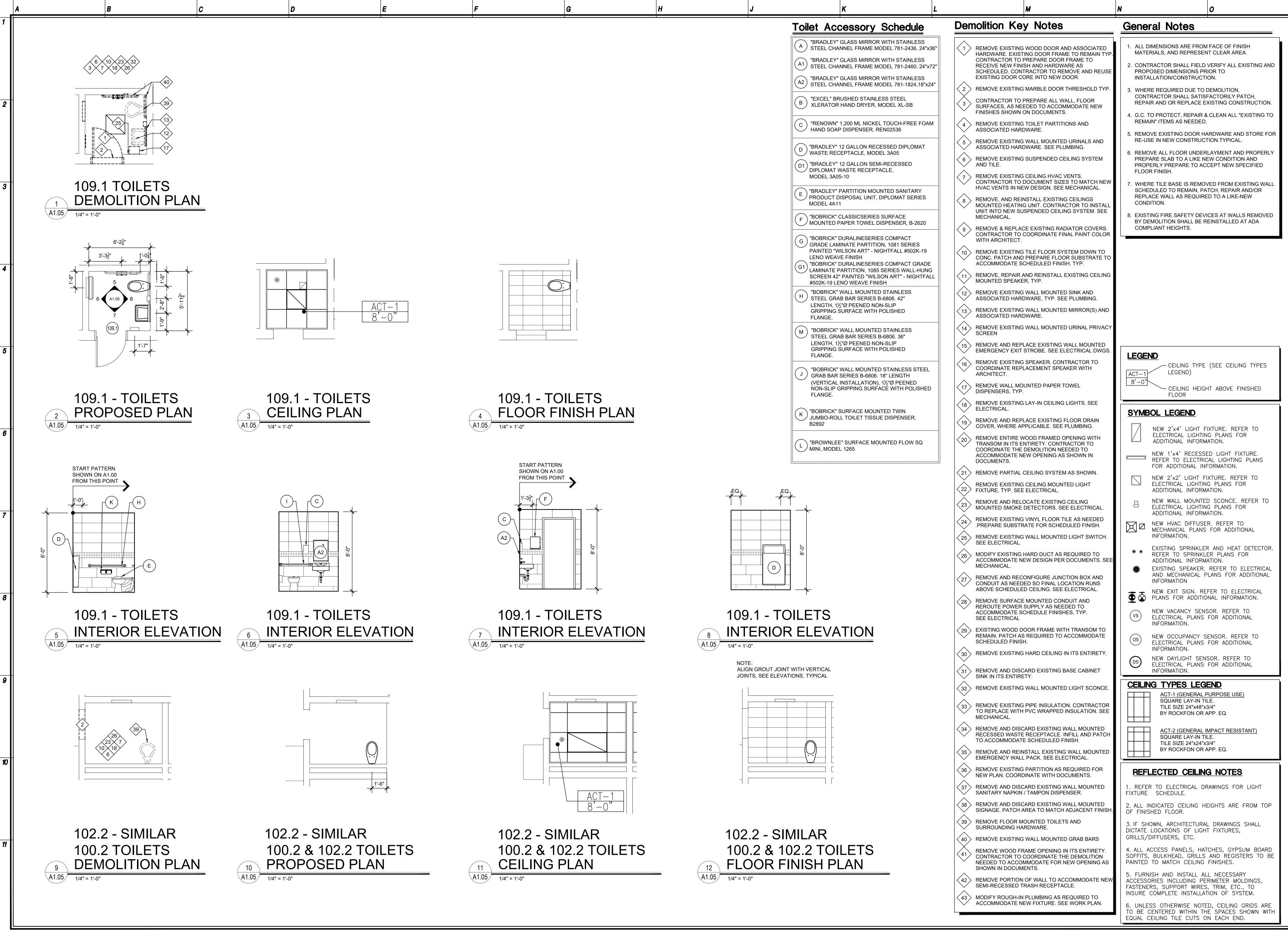
4. ALL ACCESS PANELS, HATCHES, GYPSUM BOARD SOFFITS, BULKHEAD, GRILLS AND REGISTERS TO BE

ACCESSORIES INCLUDING PERIMETER MOLDINGS,

6. UNLESS OTHERWISE NOTED, CEILING GRIDS ARE

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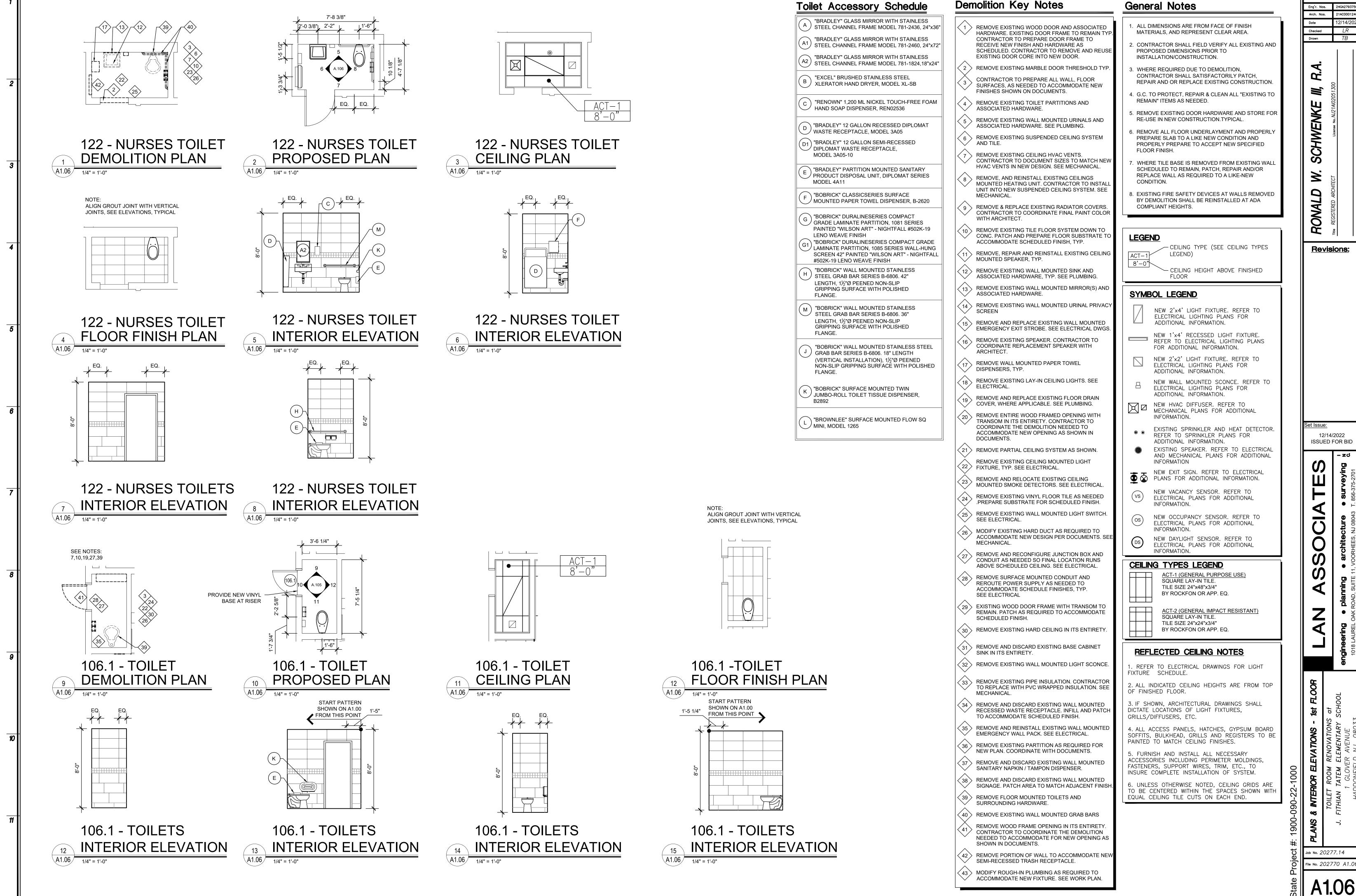
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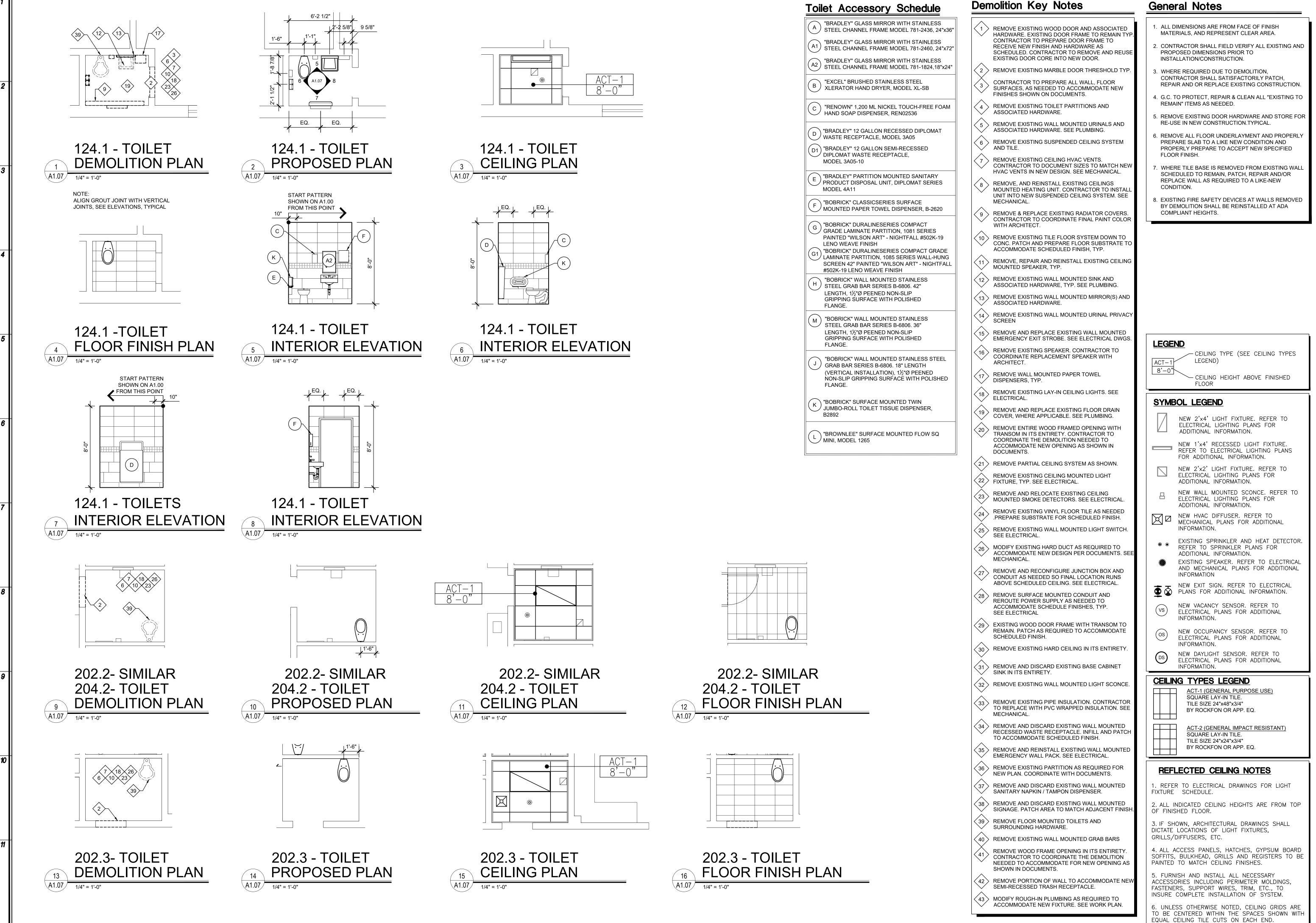
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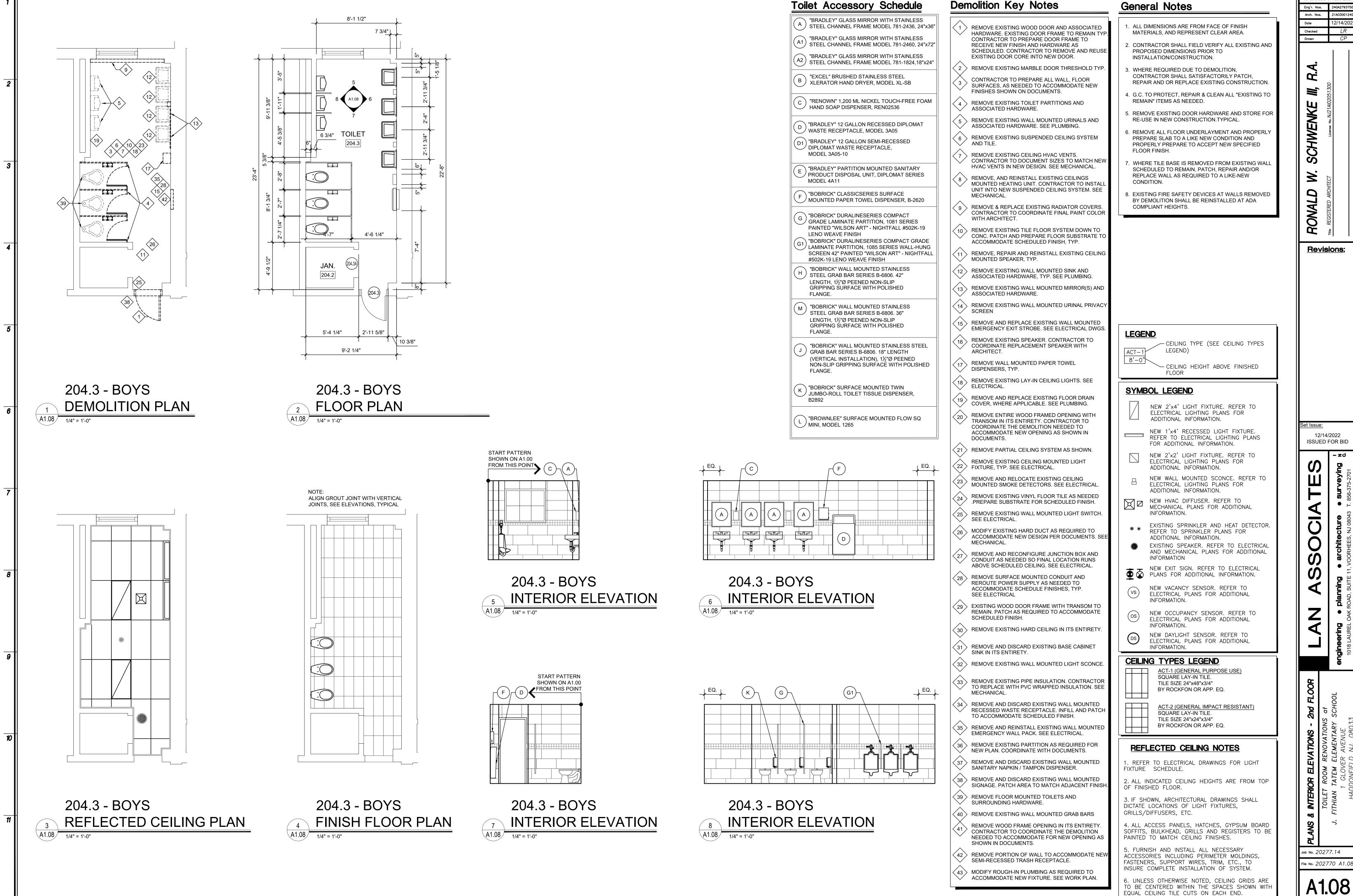
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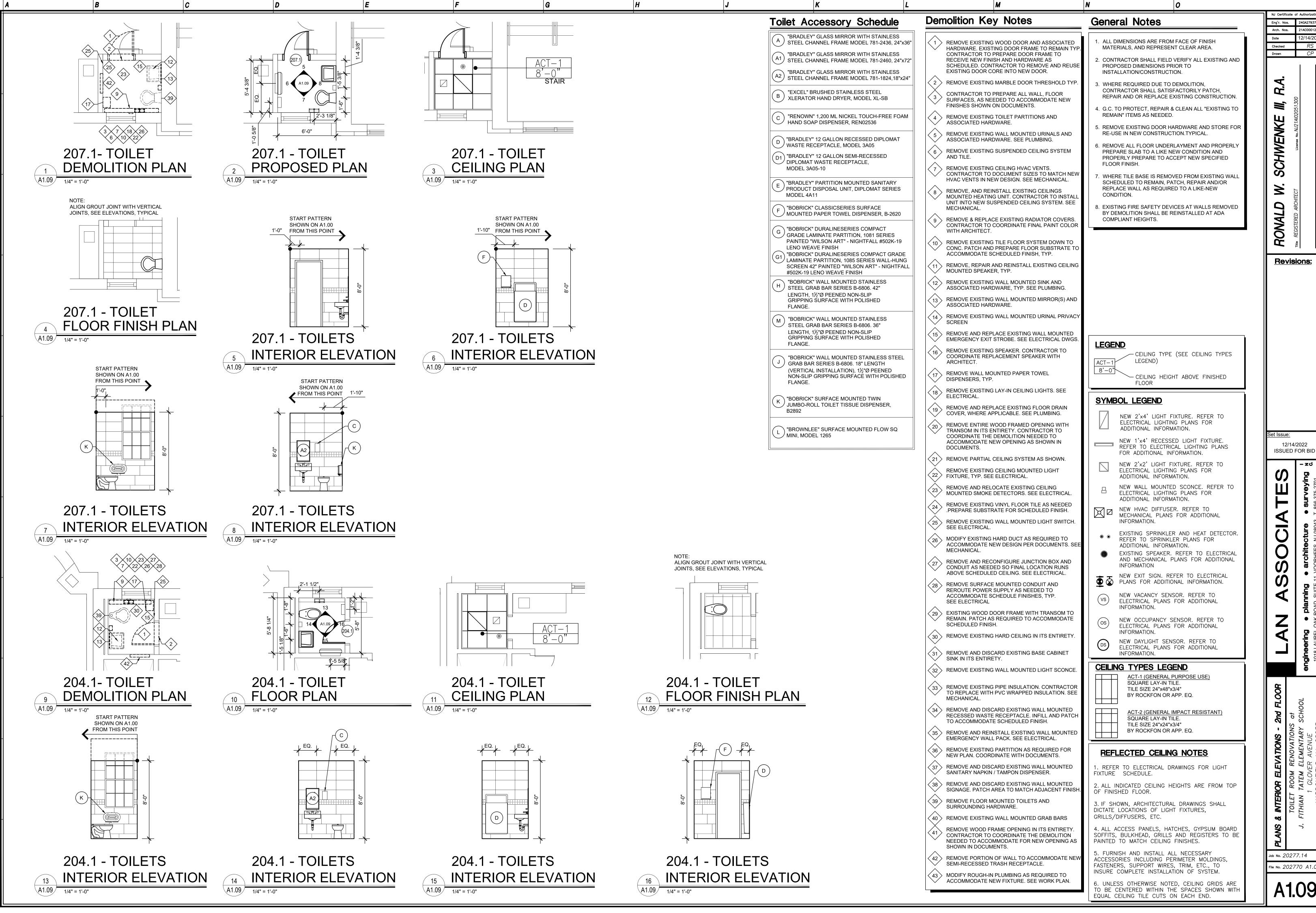
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EQUAL CEILING TILE CUTS ON EACH END.



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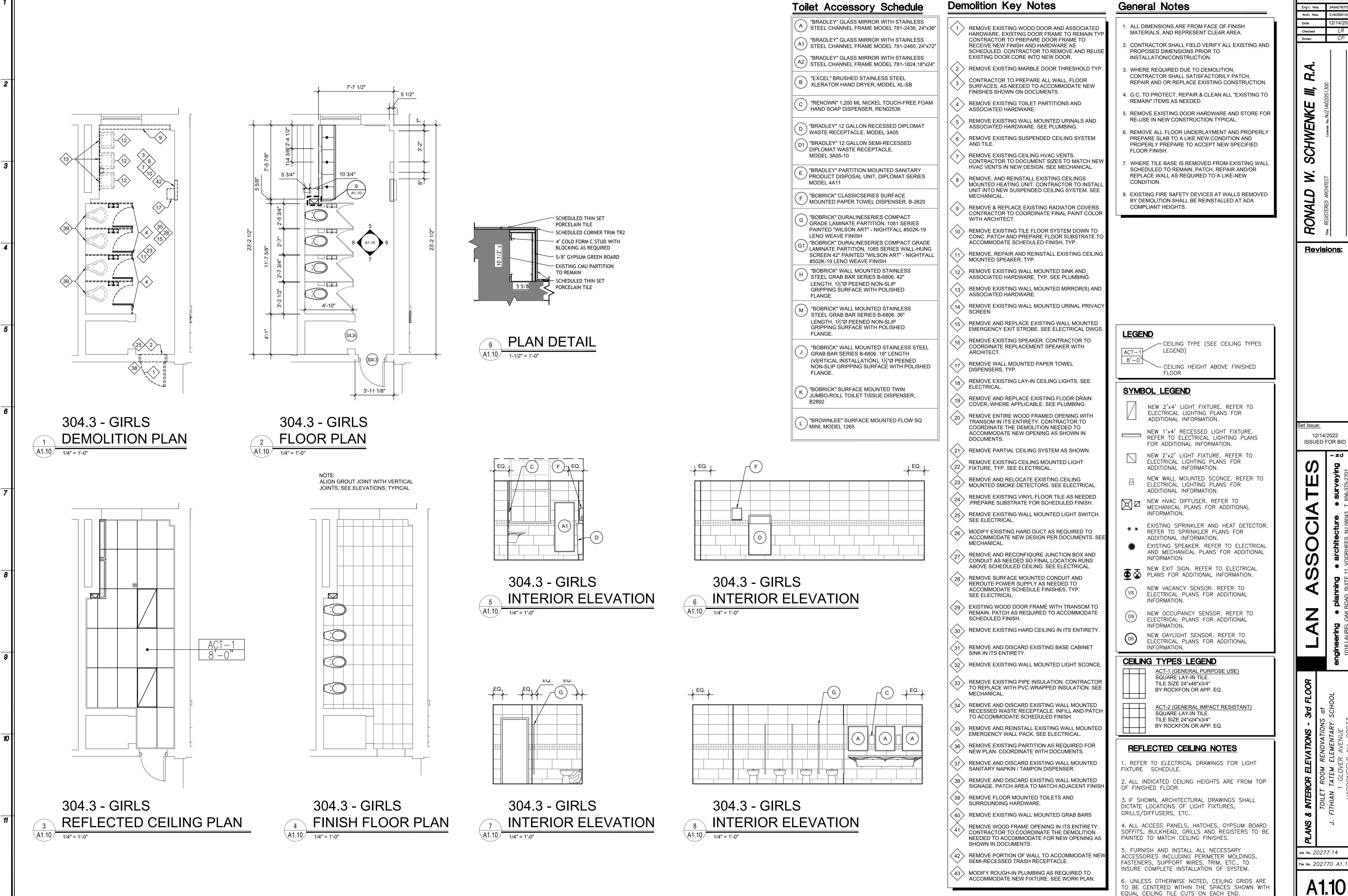
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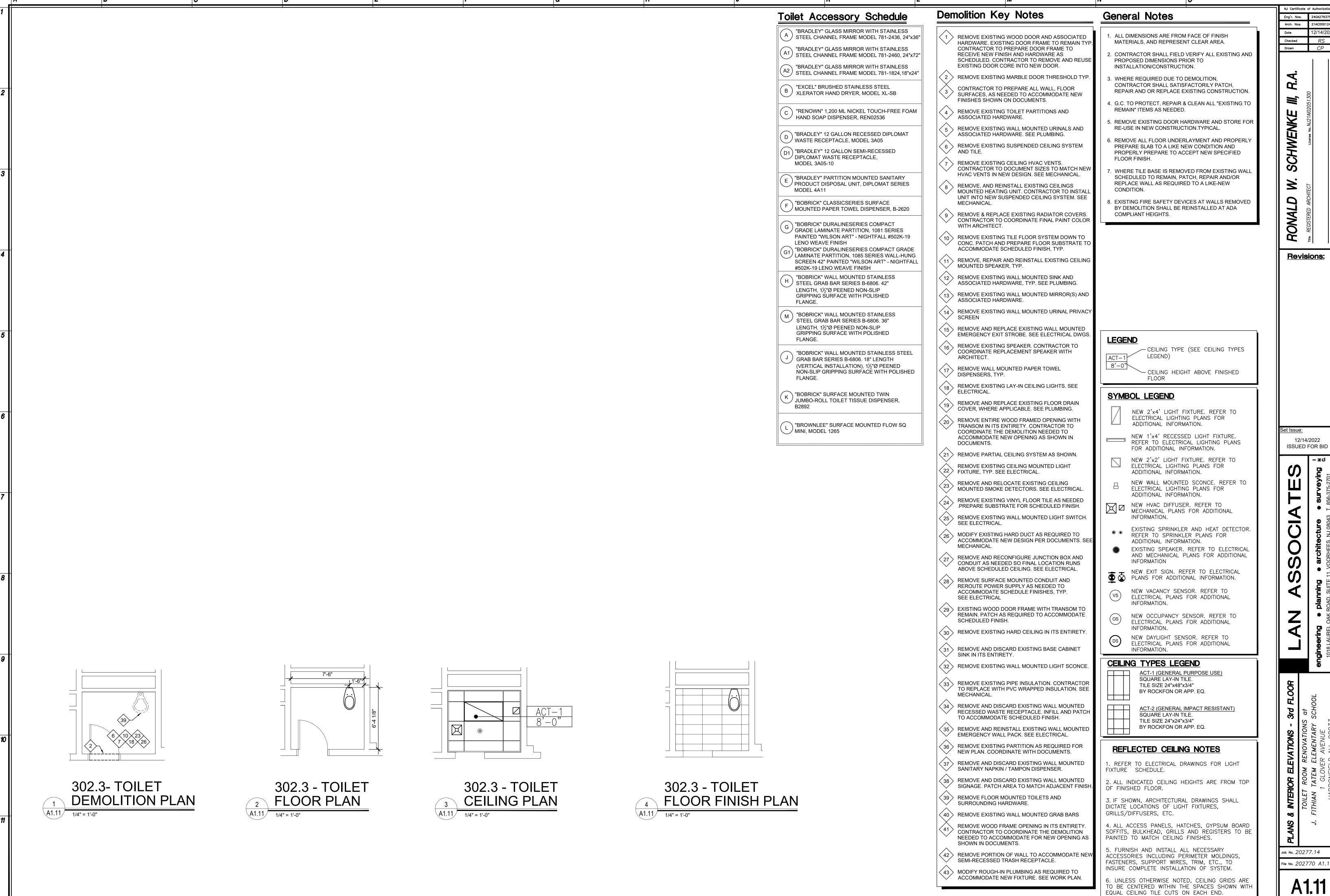
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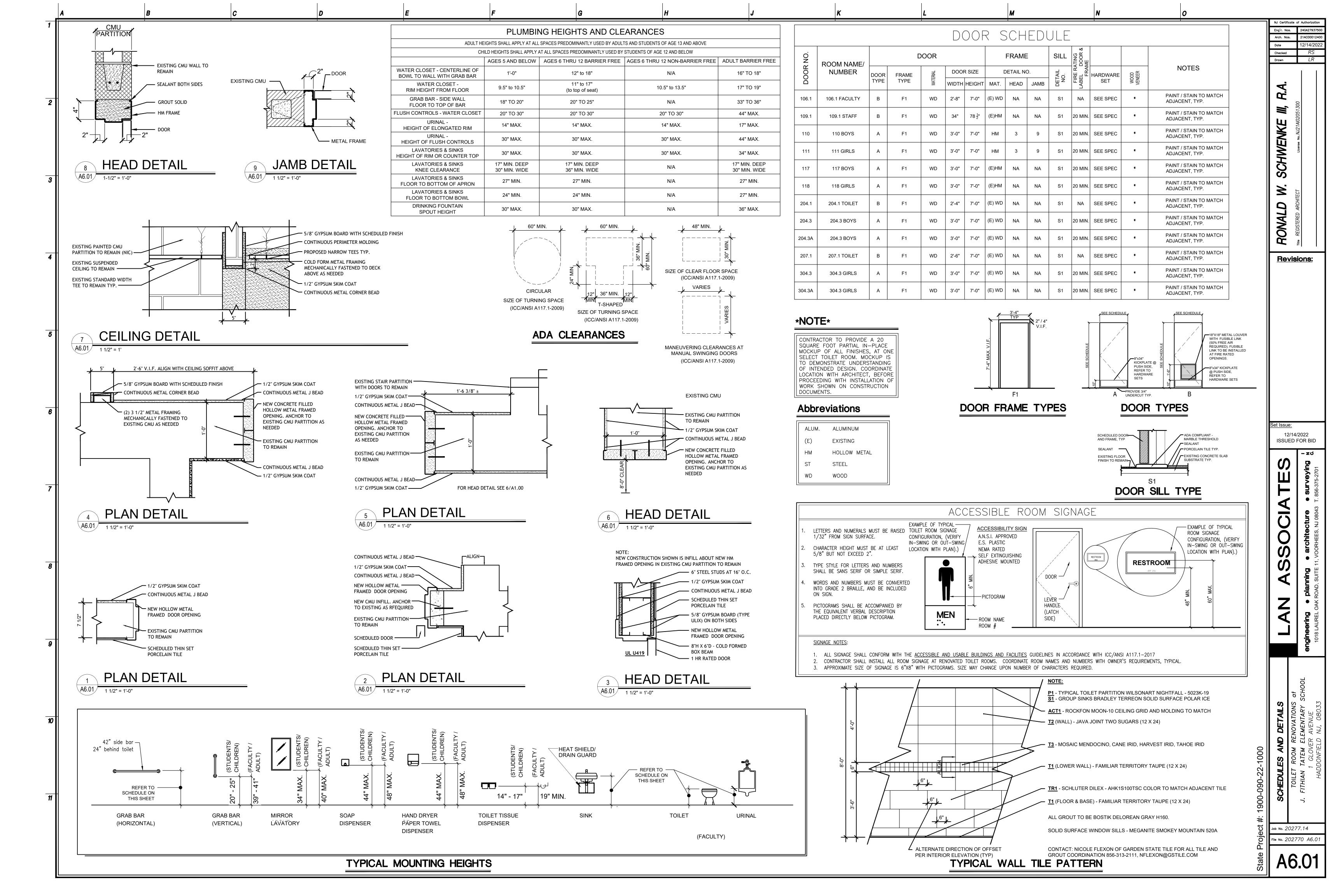
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	H.V.A.C. MATERIALS
RGY JNTY G	EQUIPMENT:
	REFER TO SCHEDULES FOR UNIT MANUFACTURER, SIZE, AND CAPACITY DATA.

 INDOOR SUPPLY, RETURN AND EXHAUST DUCTWORK, EXCEPT AS INDICATED BELOW. SHALL BE GALVANIZED STEEL CONSTRUCTION. WEIGHTS AND CONSTRUCTION DETAIL SHALL BE IN ACCORDANCE WITH THE LATEST ASHRAE GUIDE AND/OR SMACNA STANDARDS.

 FLEXIBLE DUCTWORK: SHALL NOT EXCEED FOUR (4) FEET IN LENGTH. FOR ANY HORIZONTAL FLEX DUCT BRANCH TO A CEILING DIFFUSER, FURNISH A 90° BRACE TO MAINTAIN A LONG RADIUS ELBOW TO THE DIFFUSER ("TITUS" MAKE, MODEL "FLEXRIGHT").

 FIRE DAMPER: GREENHECK MAKE, MODEL FD-150 TYPE B (BLADES OUT OF AIRSTREAM), 1-1/2 HOUR RATED (UNLESS OTHERWISE NOTED) UL-555 LABELED DAMPER WITH STANDARD FRAME OR APPROVED EQUAL. PROVIDE WITH A RETAINING ANGLE AND AN ACCESS DOOR.

#### AIR DEVICES:

- SAD TITUS MAKE, MODEL OMNI-AA
- SAR TITUS MAKE, MODEL 300-RL EAR - TITUS MAKE, MODEL 350-RL
- TG TITUS MAKE, MODEL 350-RL
- NOTES: ALL CEILING DIFFUSERS LOCATED IN ACOUSTIC CEILING GRID SHALL BE PROVIDED WITH FRAME TYPE FOR GRID MOUNTING. IF THE TILE IS SMALLER THAN TILE SIZE, THE DIFFUSER SHALL BE PROVIDED WITH FRAME TYPE FOR
  - 2. ALL CEILING DIFFUSERS LOCATED IN GYPSUM BOARD AND/OR CONCEALED SPLINE CEILINGS SHALL BE PROVIDED WITH FRAME TYPE FOR SURFACE
  - 3. PROVIDE FACTORY INSTALLED 90° BLANK-OFF PLATE(S) IN ALL 2 AND 3 WAY
  - COLOR OF AIR OUTLETS/INLETS SHALL MATCH THE CEILING COLOR. 5. ALL AIR OUTLETS/INLETS TOILETS, CORRIDORS, AND KITCHEN SHALL BE ALUMINUM CONSTRUCTION

#### ACCESS DOORS

 FURNISH AND INSTALL ACCESS DOORS AT ALL LOCATIONS WHERE VALVES, DAMPERS, CONTROLS, VENTS, DRAINS, ETC. ARE TO BE INSTALLED ABOVE OR BEHIND ANY INACCESSIBLE SURFACE (GYPSUM BOARD, CMU, ETC.), IRRESPECTIVE OF WHETHER THEY ARE INDICATED ON ALL DRAWINGS OR NOT. ACCESS DOORS SHALL BE A SUITABLE SIZE TO MAINTAIN, OPERATE, REPAIR, AND REPLACE ALL EQUIPMENT. ACCESS DOORS SHALL BE FACTORY PRIMED AND PAINTED TO MATCH THE SURFACE IN WHICH THEY ARE INSTALLED.

## GENERAL CONSTRUCTION NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE CUTTING OF ALL WALLS, FLOORS, CEILING ETC. FOR ALL DUCT PENETRATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING HOLES IN ROOF FOR EQUIPMENT AND DUCTWORK AND PROVIDING ROOF/FLOOR/WALL STRUCTURAL SUPPORT. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING, ROOFING, DUNNAGE.
- 2. CONTRACTOR TO REFER TO MECHANICAL DRAWINGS FOR PAINTING OF DUCTWORK, FURNISHING AND INSTALLING ACCESS PANELS, CUTOUT LOCATIONS, ETC.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & RELOCATING EXISTING ELECTRICAL, FIRE ALARM & COMMUNICATION DEVICES TO ACCOMMODATE THE INSTALLATION OF NEW UNITS & DUCTWORK. CHECK IN FIELD.
- 4. CONTRACTOR SHALL REMOVE EXISTING CEILING TILES AND CEILING GRID TO ACCOMMODATE THE INSTALLATION OF NEW UNITS & DUCTWORK. RE-INSTALL ALL CEILING TILES BACK TO MATCH EXISTING. REMOVE & REPLACE ALL DAMAGED TILES & CEILING GRID.
- 5. CONTRACTOR SHALL PROVIDE ROOFING PATCH WORK AND TIE-IN FOR ALL NEW MECHANICAL AND ELECTRICAL EQUIPMENT AND CONDUIT THAT PENETRATES THE EXISTING
- 6. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE EXTENT AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS OR COMMENCING WORK.
- CONTRACTORS SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTORS SHALL REPORT ANY DISCREPANCIES, AND ADDRESS ALL QUESTIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCING WORK.
- 8. THE CONTRACTORS SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, AND INSPECTIONS PRIOR TO COMMENCING WORK. UPON COMPLETION OF WORK THE CONTRACTOR SHALL SECURE CERTIFICATE OF OCCUPANCY.

9. CONTRACTORS SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OF

- SITE IN AN APPROVED MANNER.
- 10. DOWN-TIME FOR THE TIE-IN OR SWITCHOVER SHALL BE KEPT TO A MINIMUM. COORDINATE SCHEDULE WITH THE OWNER.
- 11. GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN, DEGREASE, PRIME, AND PAINT (1 PRIMER COAT, 2 FINISH COATS) THE EXISTING CONVECTOR COVERS. COLOR TO BE SELECTED BY OWNER/ARCHITECT.

PROCURE AND PAY ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT THE WORK SHOWN. OBTAIN AND PAY FOR ALL FEES. 2. COMPLY WITH ALL FEDERAL, STATE AND MUNICIPAL LAWS AND CODES,

COMPLETION OF WORK.

USED OR ACTIONS OF THOSE EMPLOYED. 3. GUARANTEE H.V.A.C. SYSTEMS FOR A PERIOD OF TWO YEARS FROM OWNER'S ACCEPTANCE TO BE FREE FROM DEFECTS AND REPAIR OR REPLACE, AT NO

H.V.A.C. GENERAL NOTES

ORDINANCES, RULES AND REGULATIONS OF HEALTH, PUBLIC OR OTHER

COST TO OWNER, FAILURES OR DEFECTS.

AUTHORITIES CONTROLLING OR LIMITING THE METHODS, MATERIALS TO BE

- 4. H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL HIS DEBRIS
- 5. BALANCE AIR SYSTEMS TO QUANTITIES INDICATED. CONTRACTOR TO SUBMIT SIX (6) SETS OF AIR AND UNIT BALANCING REPORT TO ARCH./ENGR./OWNER PRIOR TO FINAL ACCEPTANCE OF THE SYSTEM.
- 6. BIDDERS FOR THIS WORK SHALL VISIT THE PREMISES AND CAREFULLY EXAMINE ALL EXISTING CONDITIONS BEFORE SUBMITTING BIDS. NOT ALL EXISTING CONDITIONS HAVE BEEN IDENTIFIED ON DRAWINGS. CONTRACTOR SHALL NOTIFY ARCH. & ENGR. OF ALL DISCREPANCIES PRIOR TO SUBMITTING BID.
- ALL BIDDERS SHALL ALSO FAMILIARIZE THEMSELVES WITH THE MEANS OF ENTRANCE AND EXIT AT THE PROPERTY AND ALL OTHER INFORMATION NECESSARY TO PROPERLY CARRY OUT THE WORK.

ACCESSIBLE LOCATIONS OF ALL PARTS OF EACH SYSTEM.

- 8. THE CONTRACTOR SHALL, WITH THE APPROVAL OF THE ENGINEER AND WITHOUT ADDITIONAL COST TO THE OWNER, MAKE ALL NECESSARY CHANGES OR MODIFICATIONS TO LOCATIONS AS MAY BE NECESSARY TO SUIT REQUIREMENTS AND CONDITIONS FOR THE PROPER AND CONVENIENTLY
- 9. SMALL DETAILS ARE NOT USUALLY SHOWN OR SPECIFIED BUT ALL MATERIALS & COMPONENTS NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OR WORK SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST.
- 10. THE CONTRACTOR SHALL NOTE THAT ALL SERVICE CONNECTIONS MAY NOT BE SHOWN IN TRUE POSITIONS. EACH BIDDER IS CAUTIONED, THEREFORE, TO VERIFY SAME WITH FIELD CONDITIONS.
- 11. CONTRACTOR SHALL CHECK FOR INTERFERENCE AND VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION OF DUCTWORK.
- 12. IF AN ITEM OF EQUIPMENT OTHER THAN THE ITEM(S) SPECIFIED IS APPROVED THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADDITIONAL COST ARISING OUT OF ADDITIONAL OR CHANGED GENERAL CONSTRUCTION AND MECHANICAL WORK REQUIRED TO ACCOMMODATE THE SUBSTITUTED EQUIPMENT.
- 13. ALL EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS AND RECOMMENDATIONS.
- 14. PROVIDE TWO YEAR MAINTENANCE SERVICE FOR ALL INSTALLED HV/HVAC/MECHANICAL SYSTEMS. THIS INCLUDES A MINIMUM OF THREE PERIODIC SERVICE VISITS TO INSPECT, TEST & CHECK ALL COMPONENTS OF HVAC/HV UNITS AND ANY ADDITIONAL VISITS REQUIRED IF ANY HVAC/HV UNIT FAILS. ALL NECESSARY BELT ALIGNMENTS, PROPER OPERATIONS OF ALL DAMPERS. ETC IS INCLUDED IN THIS SCOPE OF WORK.
- 15. PROVIDE FIRE DAMPERS/ACCESS DOORS AT ALL DUCT PENETRATIONS THROUGH CORRIDORS, SLABS AND OTHER RATED PARTITIONS, IRRESPECTIVE OF WHETHER IT IS INDICATED ON THE DRAWINGS OR NOT.
- 16. PROVIDE FIRE STOPPING AROUND ALL OPENINGS FOR DUCT, PIPING, CONDUIT, ETC. PENETRATIONS THROUGH CORRIDORS, SLABS AND OTHER RATED
- 17. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RESTORATION OF AREAS OF MECHANICAL REMOVALS.
- 18. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONTAINER SERVICES AND LABOR TO KEEP THE BUILDING FREE OF DEBRIS.
- 19. CONTRACTOR TO THOROUGHLY CLEAN ALL EXISTING EXHAUST DUCTWORK WHICH IS TO REMAIN. PROVIDE SIX (6) COPIES OF REPORT INCLUDING COLOR PHOTOS INDICATING DUCTWORK CONDITION BEFORE & AFTER CLEANING.
- 20. PROVIDE NEW VOLUME DAMPERS IN EXISTING DUCTWORK (SUPPLY/RETURN/EXHAUST) WHICH IS TO BE REUSED WHERE THERE ARE NO EXISTING VOLUME DAMPERS (TYPICAL FOR ALL).
- 21. CONTRACTOR TO NOTE THAT BOTH DWGS. & SPECS. ARE COLLECTIVELY A PART OF BID REQUIREMENTS. IN CASE OF ANY DIFFERENCES BETWEEN VARIOUS DWGS. OR BETWEEN DWGS. & SPECS, THE MOST STRINGENT REQUIREMENT WILL PREVAIL.
- 22. CONTRACTOR TO SUBMIT SIX (6) SETS OF OPERATION & MAINTENANCE MANUALS, INCLUDING A SUMMARY SHEET OF ALL EQUIPMENT MFRS/MODEL #/SERIAL #'S, SHOP DRAWING SUBMITTALS, WARRANTY INFORMATION, O&M
- MANUALS, PROJECT INFORMATION, CONTACT DETAILS & AS-BUILT DRAWINGS. 23. CONTRACTOR TO PROVIDE SIX (6) SETS AND AN ELECTRONIC COPY OF
- AS-BUILT DRAWINGS OF THE ENTIRE SYSTEM. 24. PROVIDE PROPER IDENTIFICATION TAGS, ARROWS, AND LABELS FOR ALL

EQUIPMENT INCLUDING EXHAUST FANS.

25. CONTRACTOR TO PROVIDE A MINIMUM OF TWO (2) TRAINING SESSIONS (TWO HOURS EACH) THAT ARE TO BE VIDEOTAPED FOR THE OWNERS USE, TO OWNER'S MAINTENANCE STAFF ON PROPER OPERATION, MAINTENANCE & COMMON TROUBLE-SHOOTING GUIDELINES.

## GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE NEW JERSEY STATE ENERG CODE, INTERNATIONAL MECHANICAL CODE, ASHRAE GUIDELINES, SMACNA, CAMDEN COU GUIDELINES, NEC, NATIONAL STANDARD PLUMBING CODE, AND ALL OTHER APPLICABLE CODES, ORDINANCES, ETC. FOR NEW JERSEY STATE AND THE LOCAL AUTHORITY HAVING
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS AND COMMENCING WORK, AND INCLUDE ALL SUCH NECESSARY WORK BASED ON THIS SITE FAMILIARIZATION IN THIS BID.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEAN & METHODS, PROCEDURES AND JOB SITE CONDITIONS INCLUDING SAFETY. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER TO PROTECT WORKMEN, OCCUPANTS AND THE PUBLIC FROM INJURY AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE BY USE OF SCAFFOLDING, UNDERPINNING OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATIONS IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, DEBRIS FREE CONDITION. THE DUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, APPROVALS, ETC. PRIOR TO COMMENCING WORK AND SHALL SECURE CERTIFICATE OF OCCUPANCY UPON
- CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OFF SITE IN AN APPROVED MANNER. THE OWNER SHALL BE CONSULTED PRIOR TO DISPOSAL OF ANY
- SALVAGED OR EXCESS MATERIALS AT THE COMPLETION OF THE PROJECT. 8. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND
- 9. ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS FOR THE USE OF THE EXISTING FACILITY.
- 10. CONTRACTOR SHALL FURNISH ALL EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER, AND AS NECESSARY FOR A PROPER

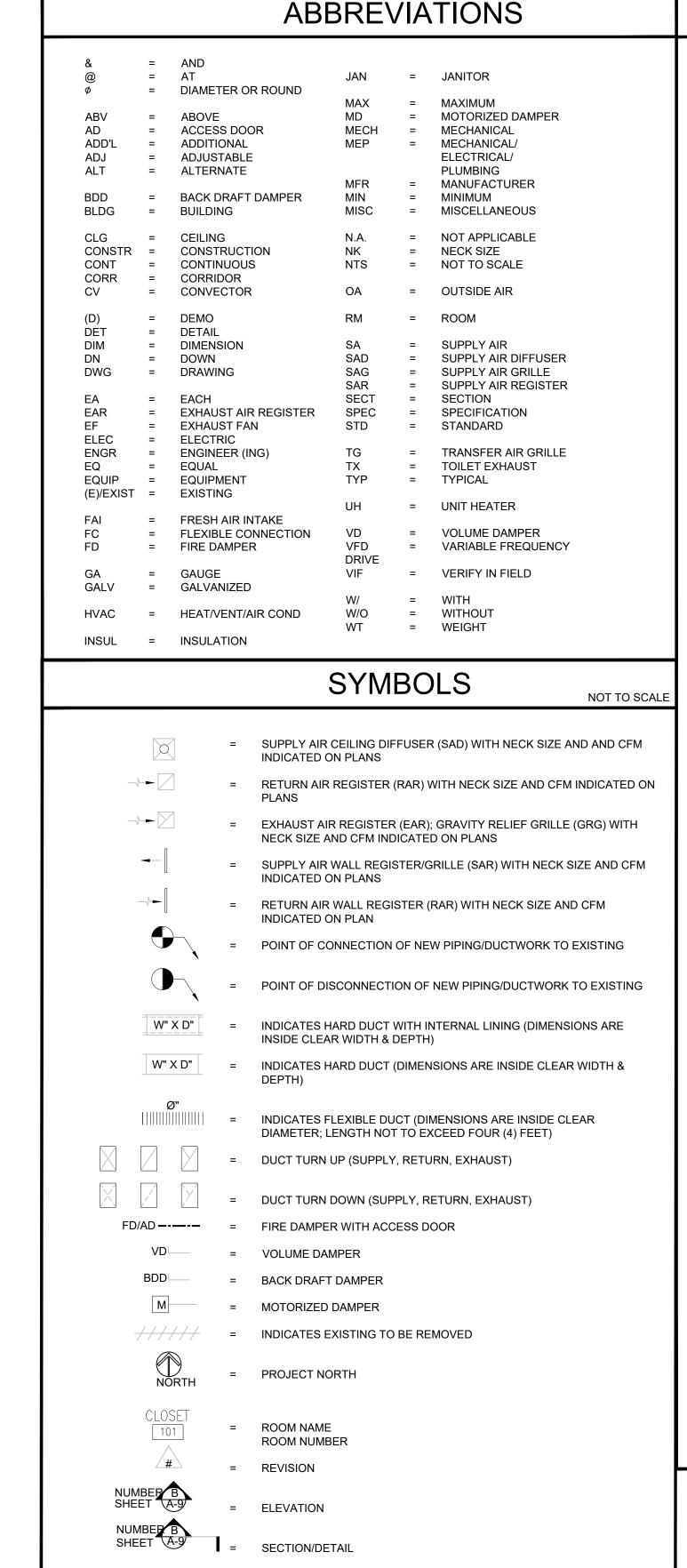
THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.

- OPERATIONAL SYSTEM. 11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF
- ANY UTILITIES ENCOUNTERED DURING THE COURSE OF HIS WORK AND TO ENSURE THE OWNER'S FACILITY TO BE OPERATIONAL.
- 12. CONTRACTOR SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS. CONDITIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND ADDRESS ALL QUESTIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCING WORK.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING AND CLEANING UPON COMPLETION OF WORK.
- 14. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
- 15. CONTRACTOR SHALL SUBMIT, WHERE REQUIRED BY THE ARCH/ENGR, SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL PRIOR TO THE START OF FABRICATION OF THOSE ITEMS. THIS INCLUDES ALL EQUIPMENT, SCHEMATIC DUCTWORK LAYOUT, ETC. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL EQUIPMENT ETC WILL FIT (WITH PROPER MAINTENANCE CLEARANCES) AT ALL LOCATIONS. REVIEW OF SHOP DRAWINGS/SUBMITTALS BY THE ARCH/ENGR DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE CURRENT MODEL NUMBERS, TYPE, & FEATURES OF ALL EQUIPMENT'S & MATERIALS.
- 16. CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT WITH CERTIFICATES OF INSURANCE PRIOR TO STARTING THE WORK.
- 17. CONTRACTOR SHALL SHALL BE RESPONSIBLE FOR SHORING AND BRACING OF EXISTING STRUCTURES AS NEEDED TO COMPLETE THE NEW WORK.
- 18. ALL MANUFACTURER'S MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE TO WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. WHERE BRAND NAMES AND MANUFACTURED PRODUCTS ARE CALLED FOR, APPROVED EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE SUBSTITUTED WITH WRITTEN PERMISSION OF THE ARCHITECT AND THE OWNER. WHENEVER BRAND NAMES OR SPECIFIC PRODUCT SYSTEMS ARE INDICATED IT SHALL BE CLEARLY UNDERSTOOD THAT SUCH IDENTIFICATION IS FOR THE PURPOSE OF ILLUSTRATING THE TYPE OF PRODUCT AND DEGREE OF QUALITY DESIRED. SUCH IDENTIFICATION IN NO WAY PRECLUDES THE CONTRACTOR FROM USING PRODUCTS OF OTHER MANUFACTURERS WHICH CAN BE SHOWN IN ADVANCE TO BE OF LIKE AND OF EQUAL OR BETTER QUALITY.
- 19. ALL CHANGES SHALL BE REQUESTED IN WRITING AND MAY ONLY BE APPROVED IN WRITING BY THE ARCHITECT/ENGINEER AND THE OWNER PRIOR TO ANY CHANGES BEING MADE.
- 20. THE ARCHITECT HAS THE RIGHT TO REJECT ANY PORTION OF WORK THAT IS POORLY INSTALLED, DOES NOT MEET INDUSTRY STANDARD, UNAUTHORIZED, OR WORK DONE CONTRARY TO THE THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED, REPAIRED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- 21. CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD TWO (2) YEARS AFTER RECEIVING FINAL ACCEPTANCE AND DO ALL REPAIR WORK AND REPLACEMENT AS NECESSARY DURING THAT PERIOD AT THE CONTRACTOR'S
- 22. IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- 23. CONTRACTOR SHALL PROVIDE SAFE AND SANITARY CONDITIONS WHERE DEMOLITION AND WRECKING OPERATIONS ARE BEING CARRIED ON. WORK SHALL BE EXECUTED IN SUCH A MANNER THAT HAZARD FROM FIRE, POSSIBILITY OF INJURY, DANGER TO HEALTH AND CONDITIONS WHICH MAY CONSTITUTE A PUBLIC NUISANCE SHALL BE MINIMIZED.
- 24. ENGINEER/OWNER MAY ASK THE CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS & SUBMITTALS OF ANY/ALL PARTS OF THIS PROJECT WHICH THE ENGINEER/OWNER DEEMS NECESSARY FOR.

12/14/2022 ISSUED FOR BID

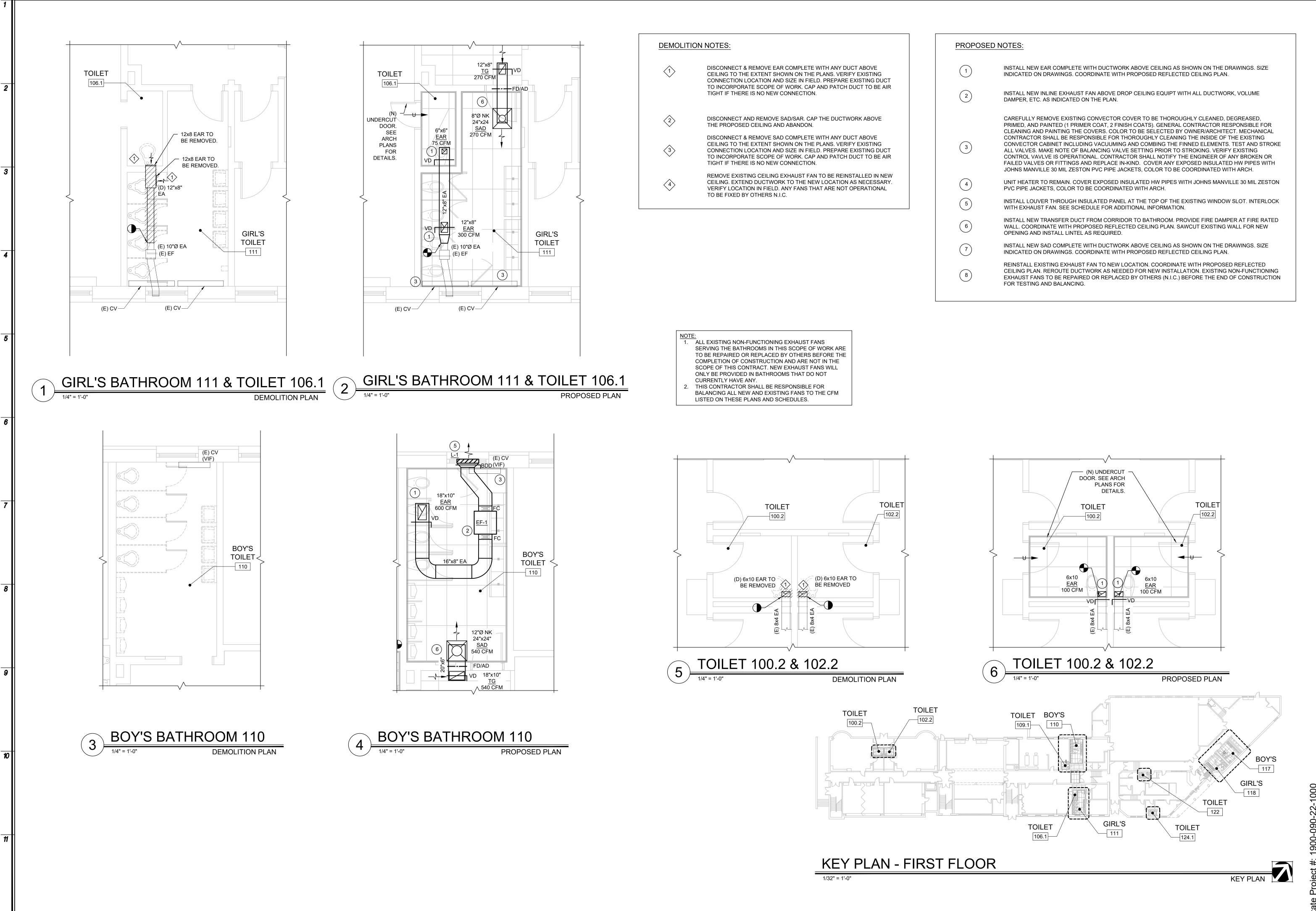
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UNDERCUT DOOR (1/2 INCH)

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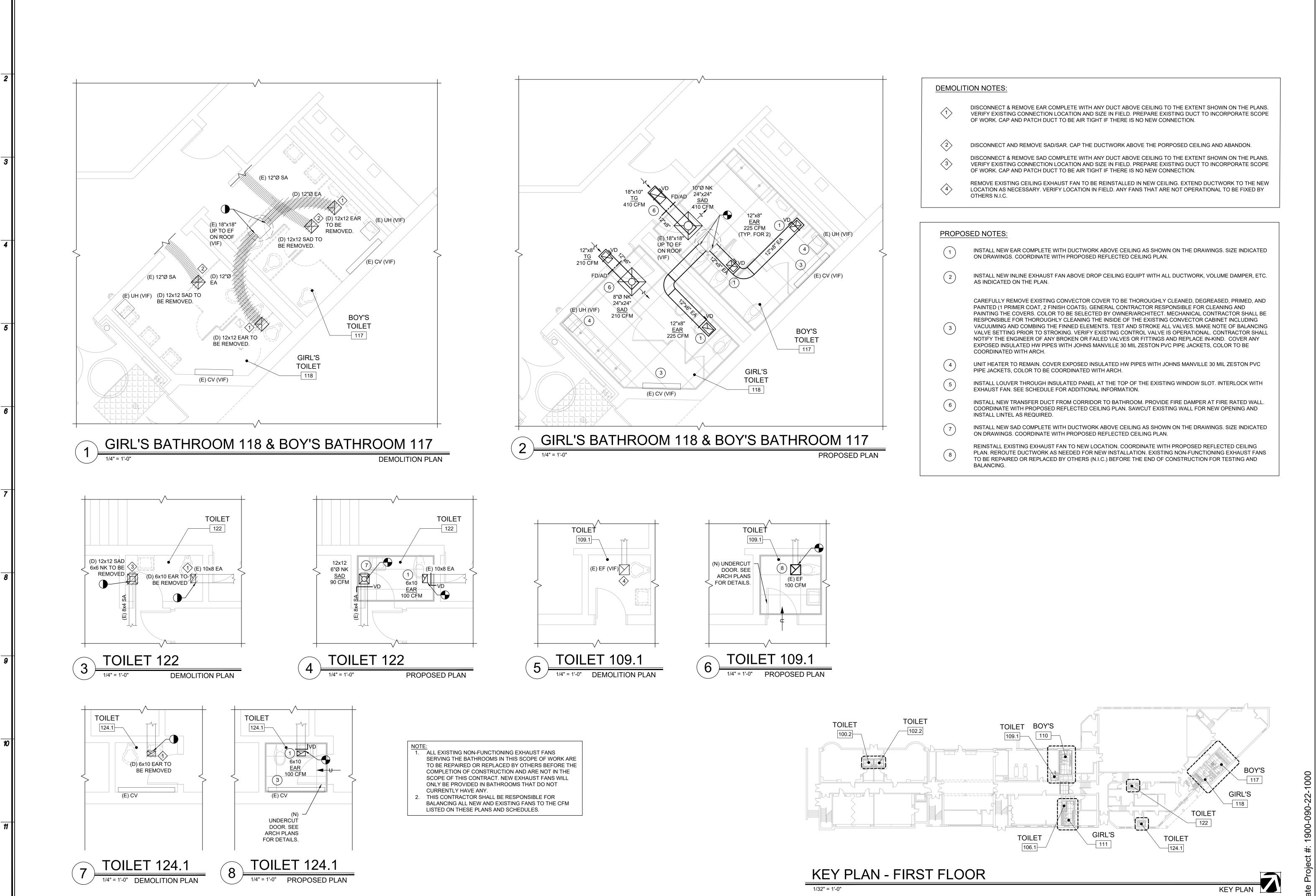
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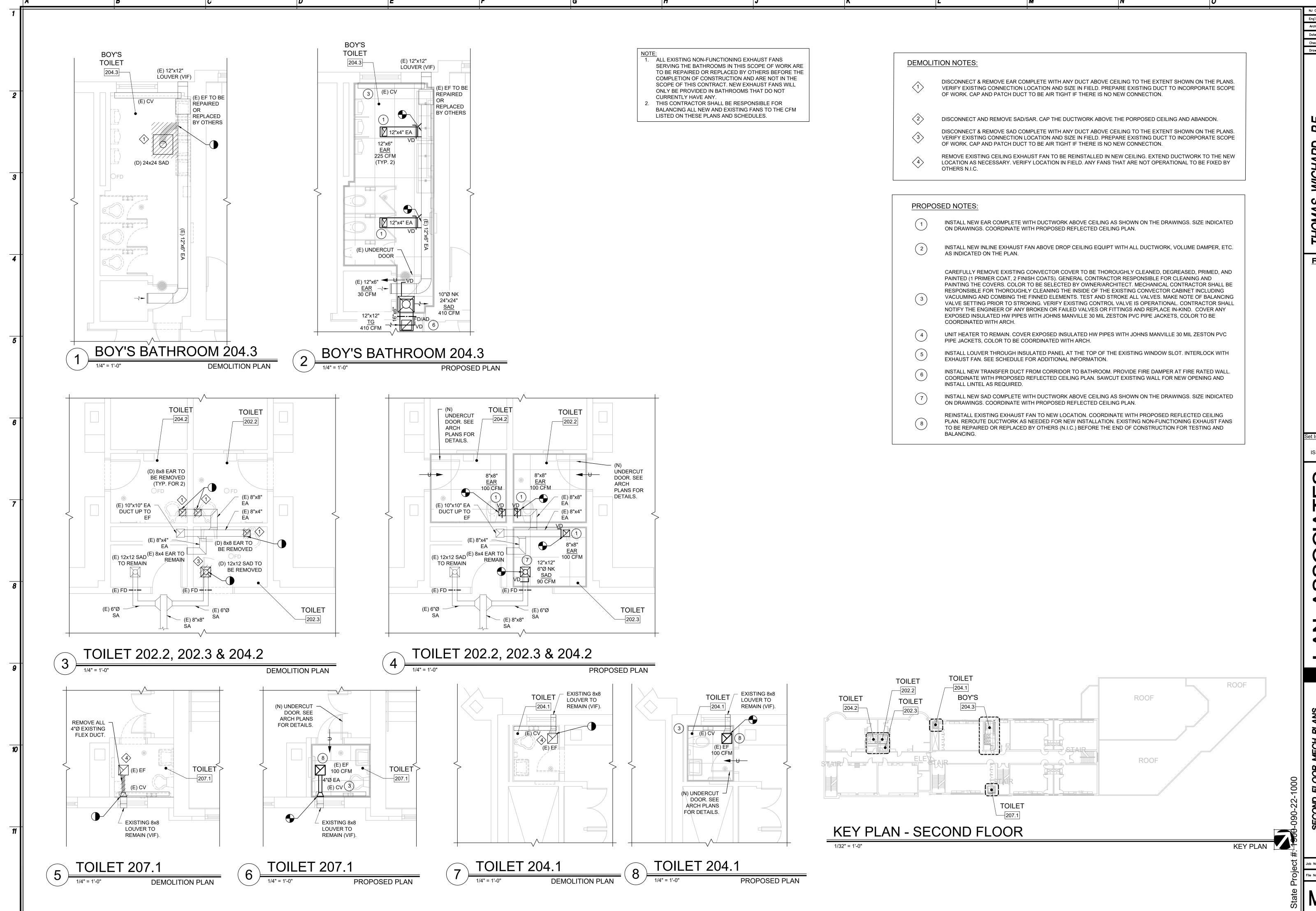
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Job No. 20277.14

File No. 20277.14.4M2

M2.02



 NJ Certificate of Authorization

 Eng'r. Nos.
 24GA27937500

 Arch. Nos.
 21AC00012400

 Date
 12/14/2022

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**HD, P.L.**License No.NJ24GE04901100

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Revisions:

Set Issue: 12/14/2022 ISSUED FOR BID

ASSOCIATES

engineering • planni

ET ROOM RENOVATIONS at

N TATEM ELEMENTARY SCHOOL

1 GLOVER AVENUE

ADDONFIELD NJ, 08033

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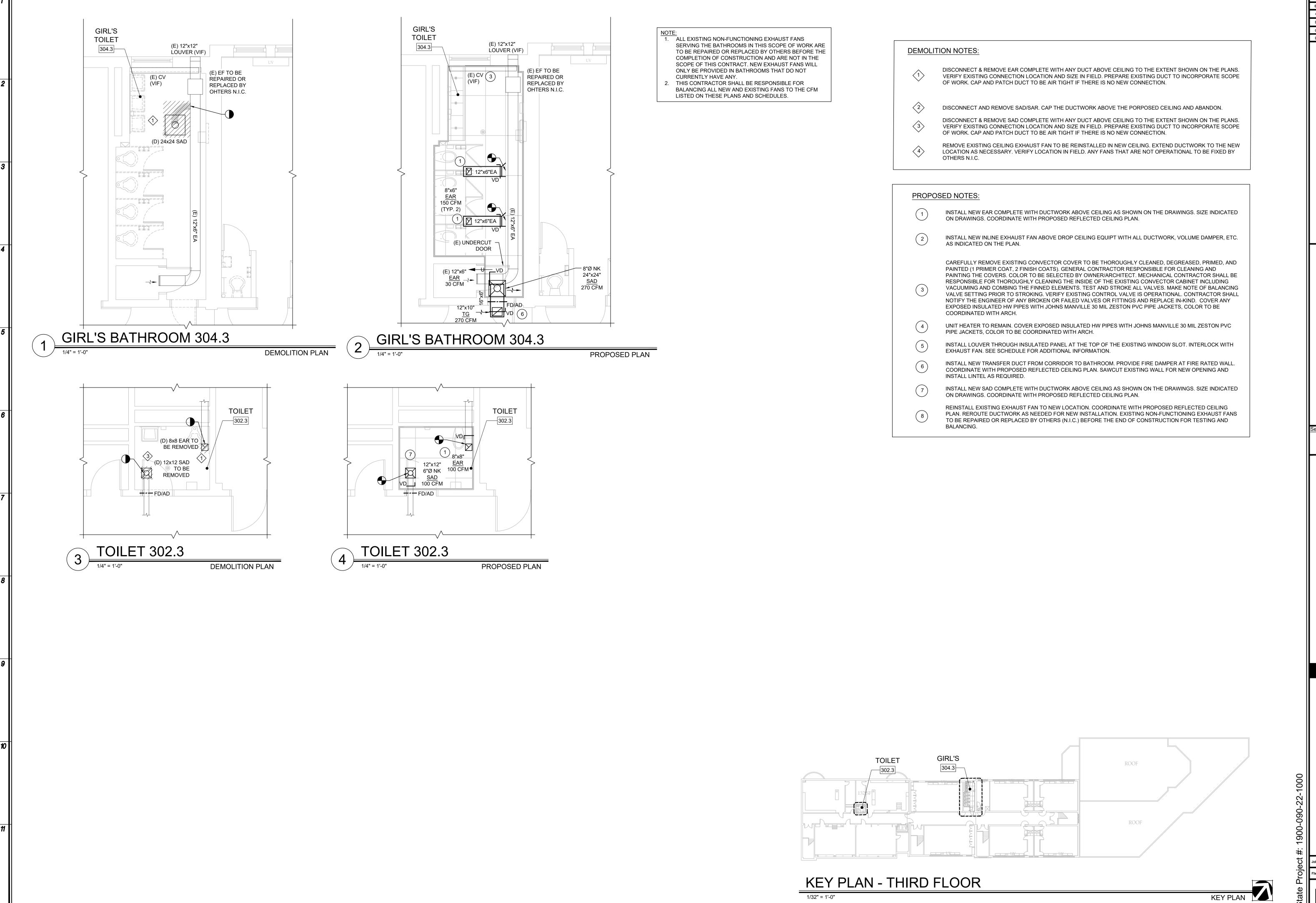
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1 GLOVER A

Job No. 20277.14
File No. 20277.14.4M2

M2.03



1/32" = 1'-0"

NJ Certificate of Authorization

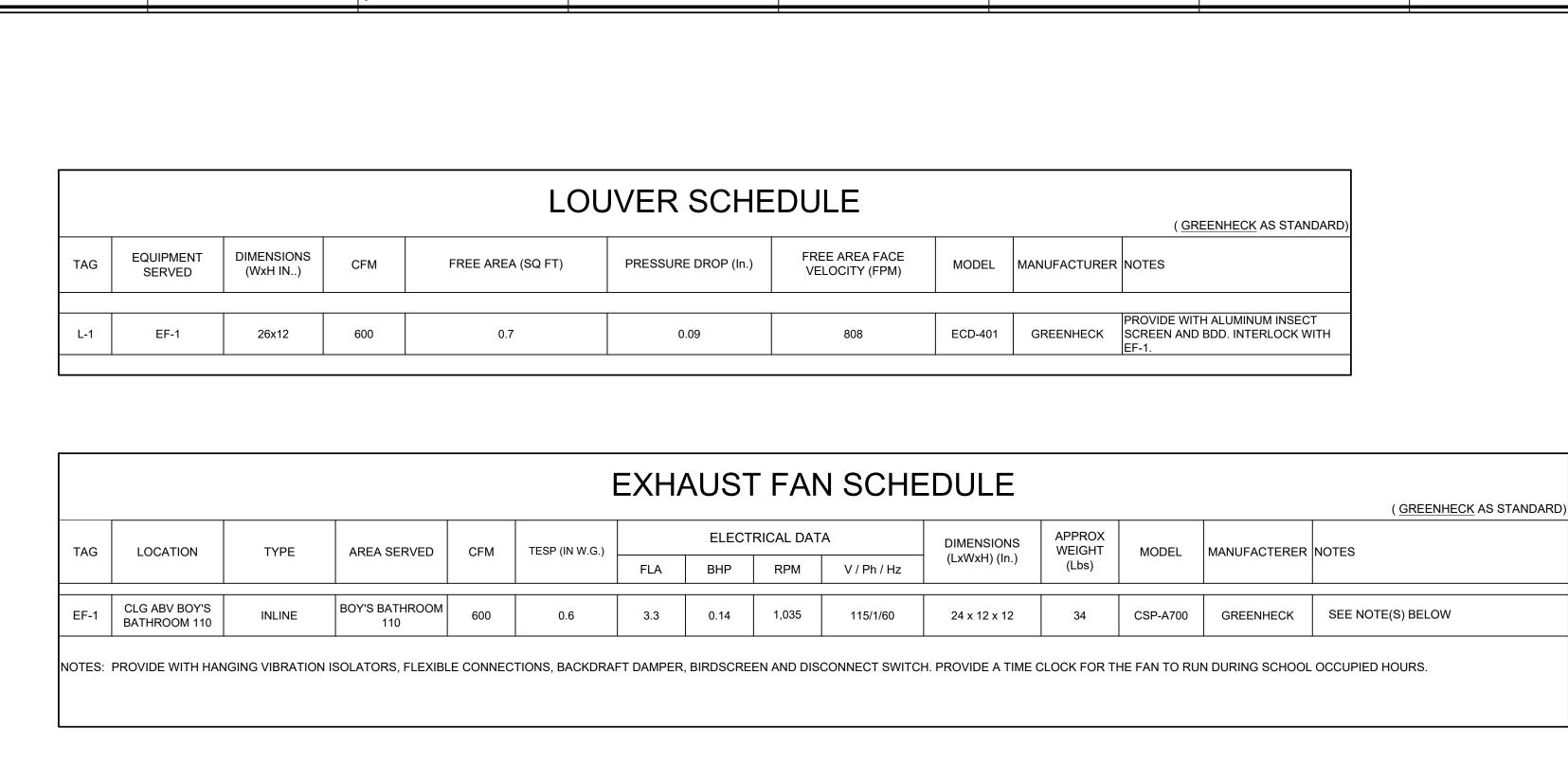
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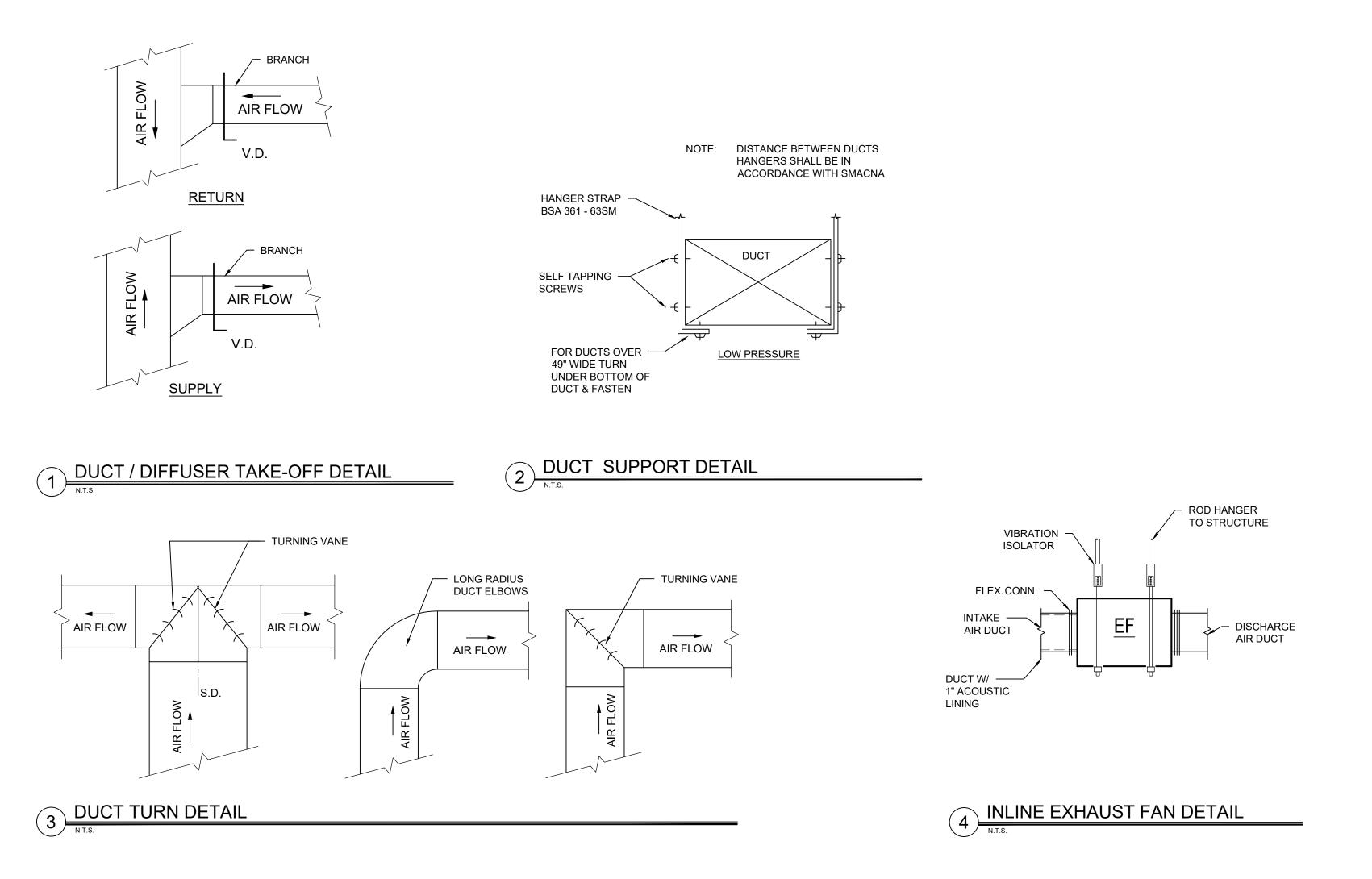
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Job No. 20277.14

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NJ Certificate of Authorization THOMAS Revisions: 12/14/2022 ISSUED FOR BID

AECH SCHEDULES & DETAILS

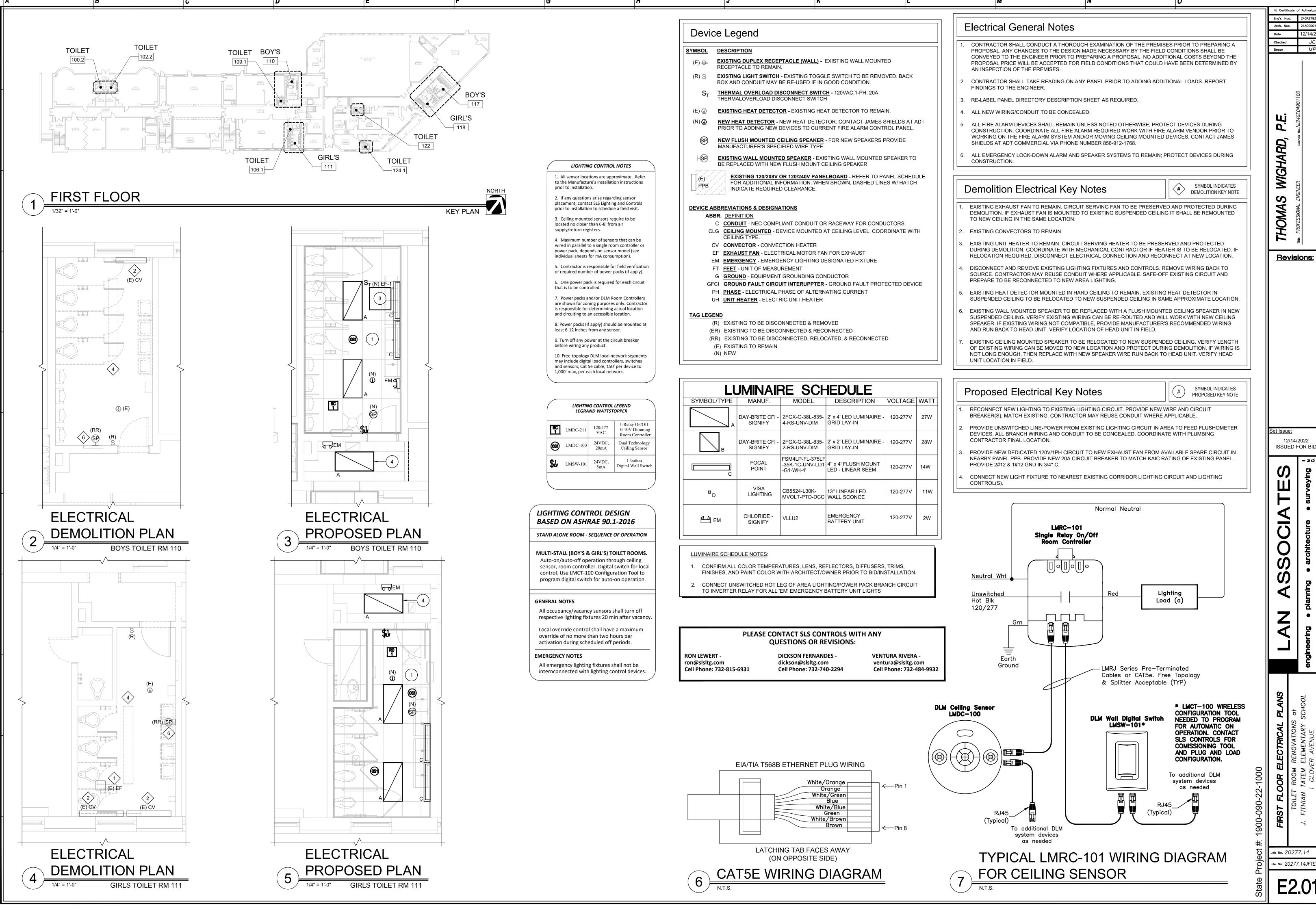
TOILET ROOM RENOVATIONS at
FITHIAN TATEM ELEMENTARY SCHOOL

1 GLOVER AVENUE

Job No. 20277.14

File No. 20277.14.4M2

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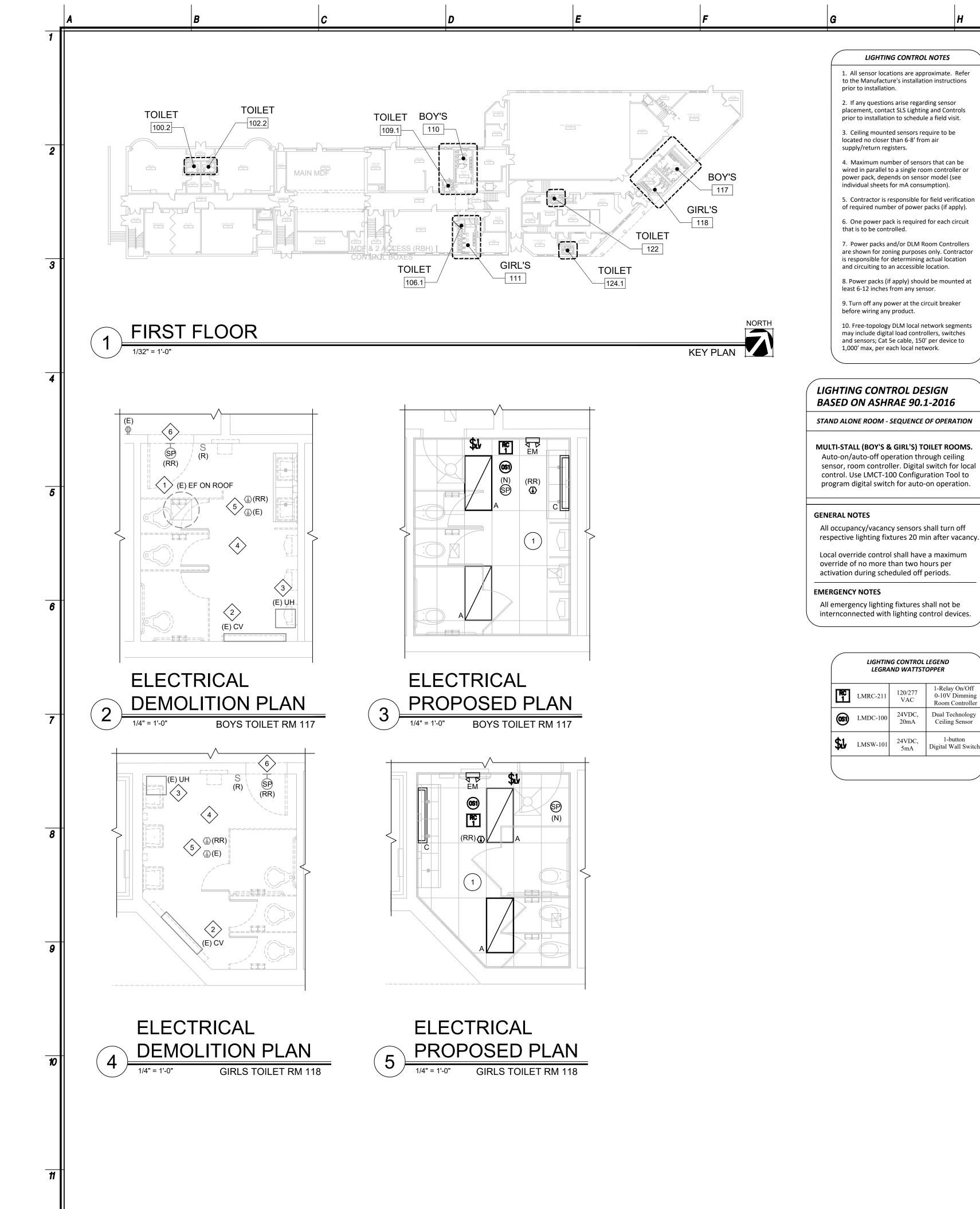


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## Device Legend

### SYMBOL DESCRIPTION

EXISTING DUPLEX RECEPTACLE (WALL) - EXISTING WALL MOUNTED

**EXISTING LIGHT SWITCH** - EXISTING TOGGLE SWITCH TO BE REMOVED. BACK BOX AND CONDUIT MAY BE RE-USED IF IN GOOD CONDITION.

THERMAL OVERLOAD DISCONNECT SWITCH - 120VAC,1-PH, 20A THERMALOVERLOAD DISCONNECT SWITCH

(E) **EXISTING HEAT DETECTOR** - EXISTING HEAT DETECTOR TO REMAIN.

MANUFACTURER'S SPECIFIED WIRE TYPE

**NEW HEAT DETECTOR** - NEW HEAT DETECTOR. CONTACT JAMES SHIELDS AT ADT PRIOR TO ADDING NEW DEVICES TO CURRENT FIRE ALARM CONTROL PANEL.

NEW FLUSH MOUNTED CEILING SPEAKER - FOR NEW SPEAKERS PROVIDE

<u>EXISTING WALL MOUNTED SPEAKER</u> - EXISTING WALL MOUNTED SPEAKER TO BE REPLACED WITH NEW FLUSH MOUNT CEILING SPEAKER

EXISTING 120/208V OR 120/240V PANELBOARD - REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. WHEN SHOWN, DASHED LINES W/ HATCH INDICATE REQUIRED CLEARANCE.

### **DEVICE ABBREVIATIONS & DESIGNATIONS**

ABBR. <u>DEFINITION</u> C **CONDUIT** - NEC COMPLIANT CONDUIT OR RACEWAY FOR CONDUCTORS.

CLG CEILING MOUNTED - DEVICE MOUNTED AT CEILING LEVEL. COORDINATE WITH

CV <u>CONVECTOR</u> - CONVECTION HEATER

EF **EXHAUST FAN** - ELECTRICAL MOTOR FAN FOR EXHAUST

EM **EMERGENCY** - EMERGENCY LIGHTING DESIGNATED FIXTURE FT **FEET -** UNIT OF MEASUREMENT

G **GROUND** - EQUIPMENT GROUNDING CONDUCTOR

GFCI GROUND FAULT CIRCUIT INTERUPPTER - GROUND FAULT PROTECTED DEVICE

PH PHASE - ELECTRICAL PHASE OF ALTERNATING CURRENT

UH **UNIT HEATER** - ELECTRIC UNIT HEATER

(R) EXISTING TO BE DISCONNECTED & REMOVED

(ER) EXISTING TO BE DISCONNECTED & RECONNECTED

(RR) EXISTING TO BE DISCONNECTED, RELOCATED, & RECONNECTED

(E) EXISTING TO REMAIN (N) NEW

LUMINAIRE SCHEDULE					
SYMBOL/TYPE	MANUF.	MODEL	DESCRIPTION	VOLTAGE	WATT
A	DAY-BRITE CFI - SIGNIFY	2FGX-G-38L-835- 4-RS-UNV-DIM	2' x 4' LED LUMINAIRE - GRID LAY-IN	120-277V	27W
C	FOCAL POINT	FSM4LP-FL-375LF -35K-1C-UNV-LD1 -G1-WH-4'		120-277V	14W
<b>₫Å</b> EM	CHLORIDE - SIGNIFY	VLLU2	EMERGENCY BATTERY UNIT	120-277V	2W

### **LUMINAIRE SCHEDULE NOTES:**

1. CONFIRM ALL COLOR TEMPERATURES, LENS, REFLECTORS, DIFFUSERS, TRIMS, FINISHES, AND PAINT COLOR WITH ARCHITECT/OWNER PRIOR TO BID/INSTALLATION.

2. CONNECT UNSWITCHED HOT LEG OF AREA LIGHTING/POWER PACK BRANCH CIRCUIT TO INVERTER RELAY FOR ALL 'EM' EMERGENCY BATTERY UNIT LIGHTS

### PLEASE CONTACT SLS CONTROLS WITH ANY **QUESTIONS OR REVISIONS:**

**RON LEWERT** ron@slsltg.com Cell Phone: 732-815-6931

1-Relay On/Off

0-10V Dimming

Ceiling Sensor

Digital Wall Switch

120/277 VAC

24VDC, 20mA

24VDC, 5mA

**DICKSON FERNANDES** dickson@slsltg.com Cell Phone: 732-740-2294

**VENTURA RIVERA** ventura@slsltg.com Cell Phone: 732-484-9932

## **Electrical General Notes**

CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO PREPARING A PROPOSAL. ANY CHANGES TO THE DESIGN MADE NECESSARY BY THE FIELD CONDITIONS SHALL BE CONVEYED TO THE ENGINEER PRIOR TO PREPARING A PROPOSAL. NO ADDITIONAL COSTS BEYOND THE PROPOSAL PRICE WILL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.

CONTRACTOR SHALL TAKE READING ON ANY PANEL PRIOR TO ADDING ADDITIONAL LOADS. REPORT FINDINGS TO THE ENGINEER.

RE-LABEL PANEL DIRECTORY DESCRIPTION SHEET AS REQUIRED.

ALL NEW WIRING/CONDUIT TO BE CONCEALED.

ALL FIRE ALARM DEVICES SHALL REMAIN UNLESS NOTED OTHERWISE; PROTECT DEVICES DURING CONSTRUCTION. COORDINATE ALL FIRE ALARM REQUIRED WORK WITH FIRE ALARM VENDOR PRIOR TO WORKING ON THE FIRE ALARM SYSTEM AND/OR MOVING CEILING MOUNTED DEVICES. CONTACT JAMES SHIELDS AT ADT COMMERCIAL VIA PHONE NUMBER 856-912-1768.

ALL EMERGENCY LOCK-DOWN ALARM AND SPEAKER SYSTEMS TO REMAIN; PROTECT DEVICES DURING CONSTRUCTION.

## **Demolition Electrical Key Notes**

SYMBOL INDICATES DEMOLITION KEY NOTE

NJ Certificate of Authorization Eng'r. Nos. 24GA2793

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Revisions:

12/14/2022 ISSUED FOR BID

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PLANS (CONT.)

EXISTING EXHAUST FAN TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING DEMOLITION. IF EXHAUST FAN IS MOUNTED TO EXISTING SUSPENDED CEILING IT SHALL BE REMOUNTED TO NEW CEILING IN THE SAME LOCATION.

EXISTING CONVECTORS TO REMAIN.

EXISTING UNIT HEATER TO REMAIN. CIRCUIT SERVING HEATER TO BE PRESERVED AND PROTECTED DURING DEMOLITION. COORDINATE WITH MECHANICAL CONTRACTOR IF HEATER IS TO BE RELOCATED. IF RELOCATION REQUIRED, DISCONNECT ELECTRICAL CONNECTION AND RECONNECT AT NEW LOCATION.

DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES AND CONTROLS. REMOVE WIRING BACK TO SOURCE. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE. SAFE-OFF EXISTING CIRCUIT AND PREPARE TO BE RECONNECTED TO NEW AREA LIGHTING.

EXISTING HEAT DETECTOR MOUNTED IN HARD CEILING TO REMAIN. EXISTING HEAT DETECTOR IN SUSPENDED CEILING TO BE RELOCATED TO NEW SUSPENDED CEILING IN SAME APPROXIMATE LOCATION.

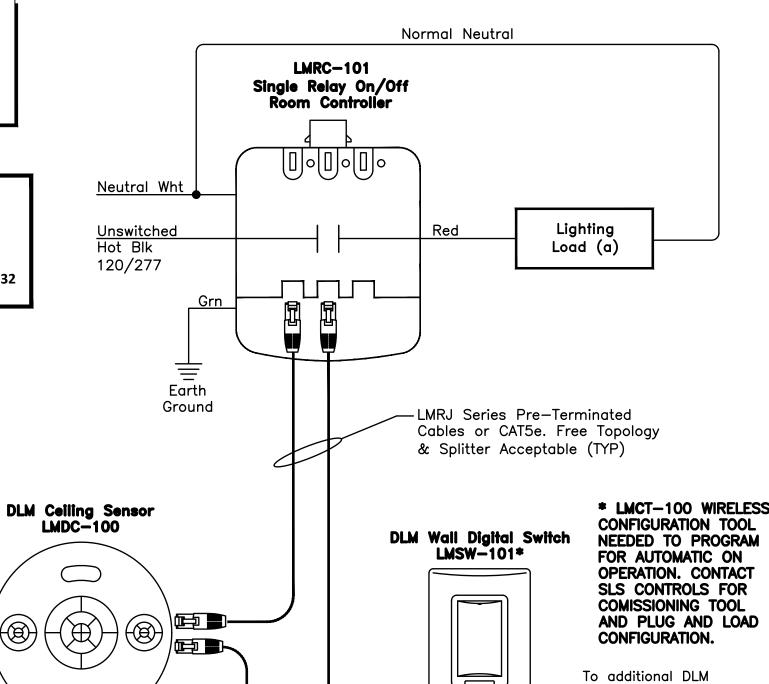
EXISTING WALL MOUNTED SPEAKER TO BE REPLACED WITH A FLUSH MOUNTED CEILING SPEAKER IN NEW SUSPENDED CEILING. VERIFY EXISTING WIRING CAN BE RE-ROUTED AND WILL WORK WITH NEW CEILING SPEAKER. IF EXISTING WIRING NOT COMPATIBLE, PROVIDE MANUFACTURER'S RECOMMENDED WIRING AND RUN BACK TO HEAD UNIT. VERIFY LOCATION OF HEAD UNIT IN FIELD.

## Proposed Electrical Key Notes

SYMBOL INDICATES PROPOSED KEY NOTE

system devices

RECONNECT NEW LIGHTING TO EXISTING LIGHTING CIRCUIT. PROVIDE NEW WIRE AND CIRCUIT BREAKER(S); MATCH EXISTING. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE.



TYPICAL LMRC-101 WIRING DIAGRAM FOR CEILING SENSOR

(Typical)

To additional DLM system devices

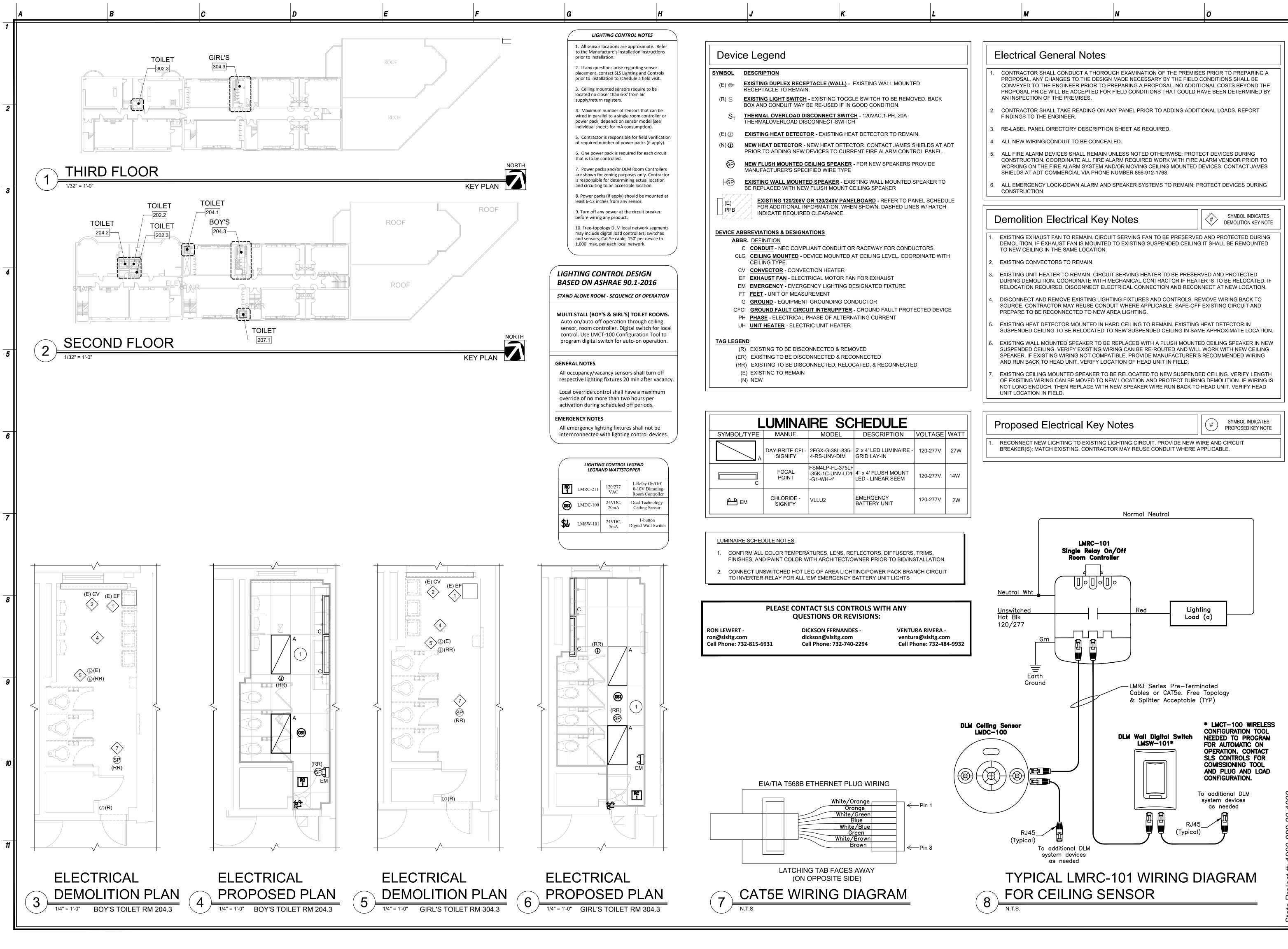
> Job No. 20277.14 File No. 20277.14JFTES\_

E2.02

EIA/TIA T568B ETHERNET PLUG WIRING White/Orange [ Orange White/Green | ←—Pin 8 LATCHING TAB FACES AWAY

(ON OPPOSITE SIDE)

**CAT5E WIRING DIAGRAM** 



NJ Certificate of Authorization

Eng'r. Nos. 24GA27937500

Arch. Nos. 21AC00012400

Date 12/14/2022

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License No. NJ24GE04901100

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RENOVATIONS at
ELEMENTARY SCHOOL
ER AVENUE

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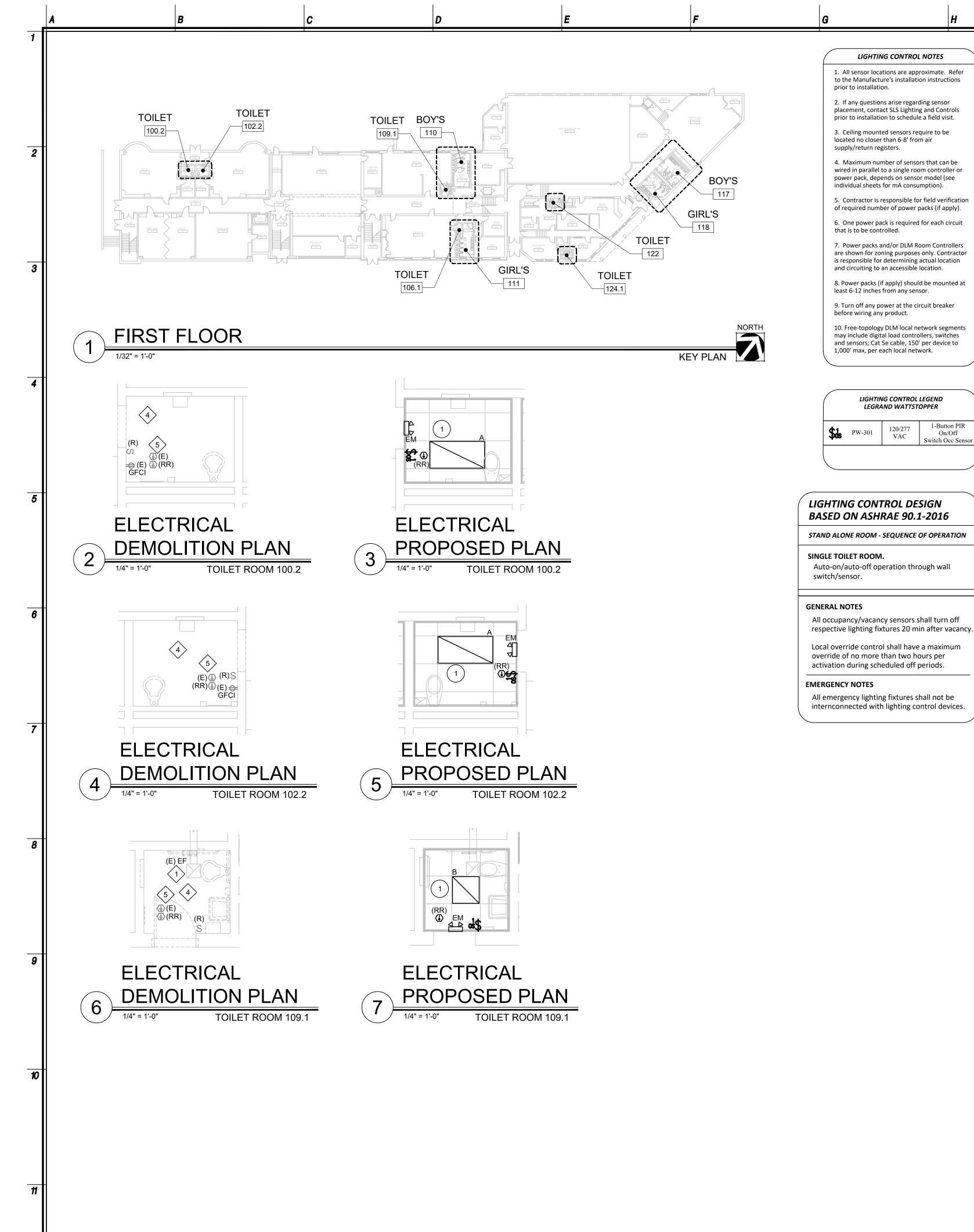
TOILET ROOM RENOV

J. FITHIAN TATEM ELEME

1 GLOVER AVE

Job No. 20277.14

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## Device Legend

### SYMBOL DESCRIPTION

**EXISTING DUPLEX RECEPTACLE (WALL)** - EXISTING WALL MOUNTED

**EXISTING LIGHT SWITCH** - EXISTING TOGGLE SWITCH TO BE REMOVED. BACK BOX AND CONDUIT MAY BE RE-USED IF IN GOOD CONDITION.

THERMAL OVERLOAD DISCONNECT SWITCH - 120VAC,1-PH, 20A THERMALOVERLOAD DISCONNECT SWITCH

**EXISTING HEAT DETECTOR** - EXISTING HEAT DETECTOR TO REMAIN.

**NEW HEAT DETECTOR -** NEW HEAT DETECTOR. CONTACT JAMES SHIELDS AT ADT PRIOR TO ADDING NEW DEVICES TO CURRENT FIRE ALARM CONTROL PANEL.

FLUSH MOUNTED CEILING SPEAKER - FOR NEW SPEAKERS PROVIDE MANUFACTURER'S SPECIFIED WIRE TYPE

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FT FEET - UNIT OF MEASUREMENT

G GROUND - EQUIPMENT GROUNDING CONDUCTOR

GFCI GROUND FAULT CIRCUIT INTERUPPTER - GROUND FAULT PROTECTED DEVICE PH PHASE - ELECTRICAL PHASE OF ALTERNATING CURRENT

UH **UNIT HEATER** - ELECTRIC UNIT HEATER

#### TAG LEGEND

120/277

VAC

On/Off

Switch Occ Senso

(R) EXISTING TO BE DISCONNECTED & REMOVED

(ER) EXISTING TO BE DISCONNECTED & RECONNECTED

(RR) EXISTING TO BE DISCONNECTED, RELOCATED, & RECONNECTED (E) EXISTING TO REMAIN

(N) NEW

LUMINAIRE SCHEDULE					
SYMBOL/TYPE	MANUF.	MODEL	DESCRIPTION	VOLTAGE	WATT
A	DAY-BRITE CFI - SIGNIFY	2FGX-G-38L-835- 4-RS-UNV-DIM	2' x 4' LED LUMINAIRE - GRID LAY-IN	120-277V	27W
В	DAY-BRITE CFI - SIGNIFY	2FGX-G-38L-835- 2-RS-UNV-DIM	2' x 2' LED LUMINAIRE - GRID LAY-IN	120-277V	28W
EM	CHLORIDE - SIGNIFY	VLLU2	EMERGENCY BATTERY UNIT	120-277V	2W

### LUMINAIRE SCHEDULE NOTES

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**DICKSON FERNANDES** dickson@slsltg.com Cell Phone: 732-740-2294

**VENTURA RIVERA** ventura@slsltg.com Cell Phone: 732-484-9932

## **Electrical General Notes**

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ALL EMERGENCY LOCK-DOWN ALARM AND SPEAKER SYSTEMS TO REMAIN; PROTECT DEVICES DURING CONSTRUCTION.

## **Demolition Electrical Key Notes**

SYMBOL INDICATES DEMOLITION KEY NOTE NJ Certificate of Authorizatio

Drawn *MP* 

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**Revisions:** 

12/14/2022

SSO

ISSUED FOR BID

EXISTING EXHAUST FAN TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING DEMOLITION. IF EXHAUST FAN IS MOUNTED TO EXISTING SUSPENDED CEILING IT SHALL BE REMOUNTED TO NEW CEILING IN THE SAME LOCATION.

EXISTING CONVECTORS TO REMAIN.

EXISTING UNIT HEATERS TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING

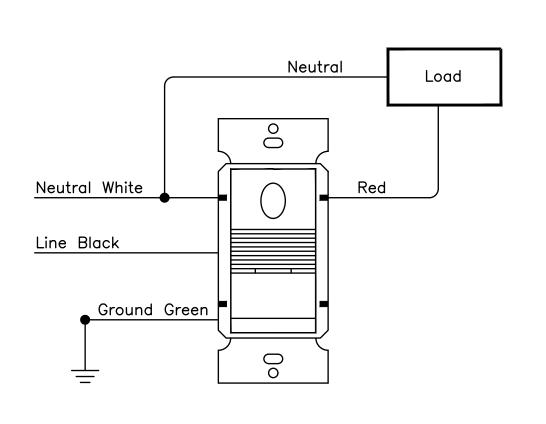
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EXISTING HEAT DETECTOR MOUNTED IN HARD CEILING TO REMAIN. EXISTING HEAT DETECTOR IN SUSPENDED CEILING TO BE RELOCATED TO NEW SUSPENDED CEILING IN SAME APPROXIMATE LOCATION.

## **Proposed Electrical Key Notes**

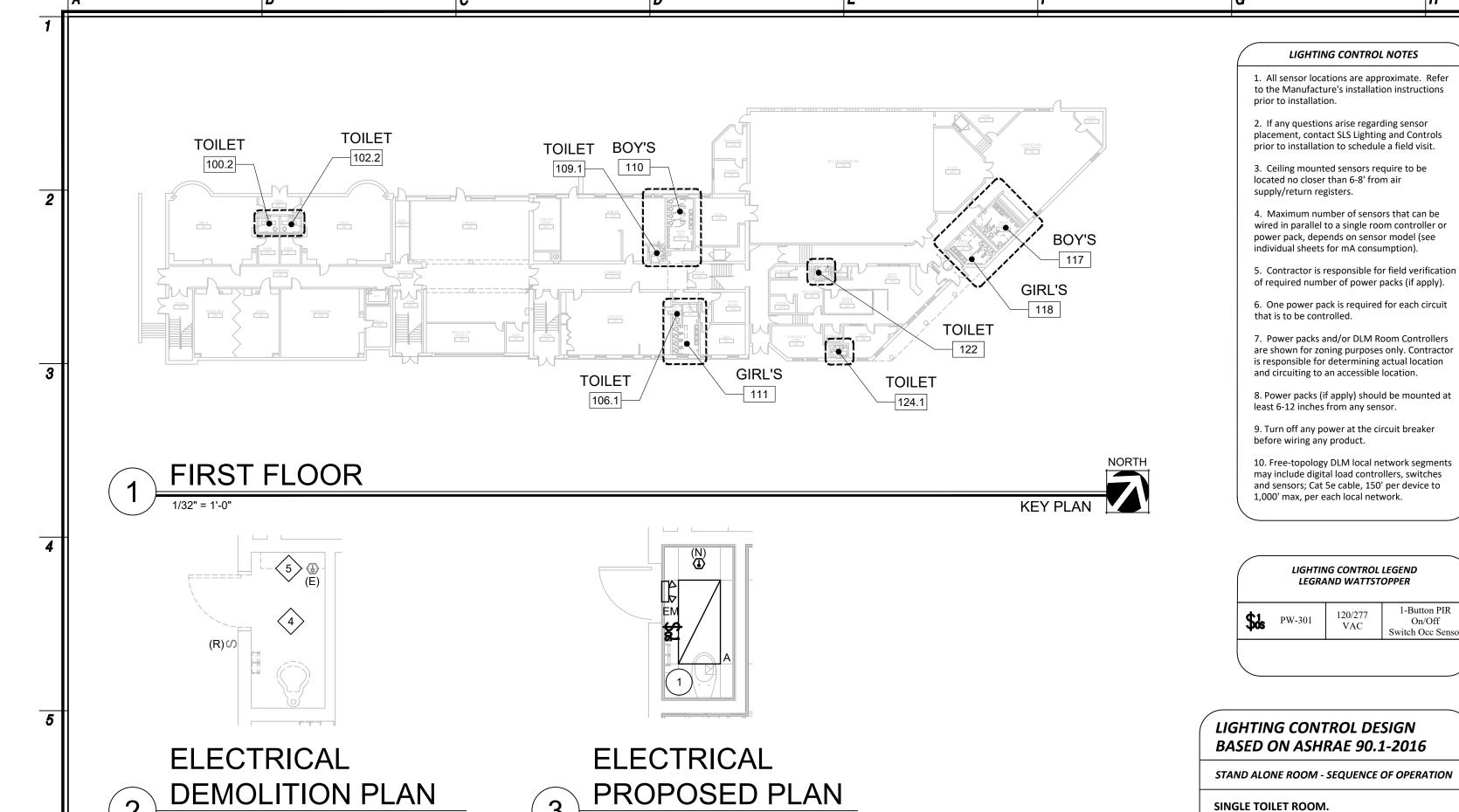
SYMBOL INDICATES PROPOSED KEY NOTE

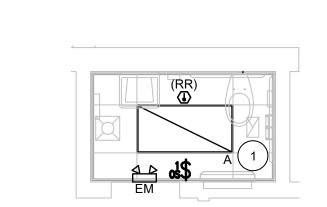
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TYPICAL PW-301 WIRING DIAGRAM

Job No. 20277.14 File No. 20277.14JFTES\_





**FACULTY TOILET 106.1** 

**ELECTRICAL** 

**DEMOLITION PLAN** 

NURSE'S TOILET 122

ELECTRICAL PROPOSED PLAN NURSE'S TOILET 122

#### LIGHTING CONTROL NOTES 1. All sensor locations are approximate. Refer Device Legend

### SYMBOL DESCRIPTION

**EXISTING DUPLEX RECEPTACLE (WALL)** - EXISTING WALL MOUNTED

**EXISTING LIGHT SWITCH** - EXISTING TOGGLE SWITCH TO BE REMOVED. BACK

BOX AND CONDUIT MAY BE RE-USED IF IN GOOD CONDITION.

**EXISTING HEAT DETECTOR -** EXISTING HEAT DETECTOR TO REMAIN.

**NEW HEAT DETECTOR** - NEW HEAT DETECTOR. CONTACT JAMES SHIELDS AT ADT PRIOR TO ADDING NEW DEVICES TO CURRENT FIRE ALARM CONTROL PANEL.

EXISTING 120/208V OR 120/240V PANELBOARD - REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. WHEN SHOWN, DASHED LINES W/ HATCH INDICATE REQUIRED CLEARANCE.

### **DEVICE ABBREVIATIONS & DESIGNATIONS**

- C CONDUIT NEC COMPLIANT CONDUIT OR RACEWAY FOR CONDUCTORS. CLG **CEILING MOUNTED** - DEVICE MOUNTED AT CEILING LEVEL. COORDINATE WITH
- CV **CONVECTOR** CONVECTION HEATER
- EF EXHAUST FAN ELECTRICAL MOTOR FAN FOR EXHAUST
- EM EMERGENCY EMERGENCY LIGHTING DESIGNATED FIXTURE
- FT FEET UNIT OF MEASUREMENT
- G **GROUND** EQUIPMENT GROUNDING CONDUCTOR
- GFCI GROUND FAULT CIRCUIT INTERUPPTER GROUND FAULT PROTECTED DEVICE
- PH PHASE ELECTRICAL PHASE OF ALTERNATING CURRENT UH UNIT HEATER - ELECTRIC UNIT HEATER

LIGHTING CONTROL LEGEND LEGRAND WATTSTOPPER

120/277

VAC

Auto-on/auto-off operation through wall

All occupancy/vacancy sensors shall turn off respective lighting fixtures 20 min after vacancy.

Local override control shall have a maximum

override of no more than two hours per activation during scheduled off periods.

All emergency lighting fixtures shall not be internconnected with lighting control devices.

switch/sensor.

**GENERAL NOTES** 

**EMERGENCY NOTES** 

1-Button PIR

On/Off

Switch Occ Senso

- (R) EXISTING TO BE DISCONNECTED & REMOVED
- (ER) EXISTING TO BE DISCONNECTED & RECONNECTED
- (RR) EXISTING TO BE DISCONNECTED, RELOCATED, & RECONNECTED
- (E) EXISTING TO REMAIN (N) NEW

## LUMINAIRE SCHEDULE

SYMBOL/TYPE	MANUF.	MODEL	DESCRIPTION	VOLTAGE	WATT
	DAY-BRITE CFI - SIGNIFY	2FGX-G-38L-835- 4-RS-UNV-DIM	2' x 4' LED LUMINAIRE - GRID LAY-IN	120-277V	27W
EM	CHLORIDE - SIGNIFY	VLLU2	EMERGENCY BATTERY UNIT	120-277V	2W

**LUMINAIRE SCHEDULE NOTES** 

- 1. CONFIRM ALL COLOR TEMPERATURES, LENS, REFLECTORS, DIFFUSERS, TRIMS, FINISHES, AND PAINT COLOR WITH ARCHITECT/OWNER PRIOR TO BID/INSTALLATION.
- 2. CONNECT UNSWITCHED HOT LEG OF AREA LIGHTING/POWER PACK BRANCH CIRCUIT TO INVERTER RELAY FOR ALL 'EM' EMERGENCY BATTERY UNIT LIGHTS

## PLEASE CONTACT SLS CONTROLS WITH ANY

**QUESTIONS OR REVISIONS:** 

**RON LEWERT** ron@slsltg.com Cell Phone: 732-815-6931

**DICKSON FERNANDES** dickson@slsltg.com Cell Phone: 732-740-2294 **VENTURA RIVERA** ventura@slsltg.com Cell Phone: 732-484-9932

## **Electrical General Notes**

- CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO PREPARING A PROPOSAL. ANY CHANGES TO THE DESIGN MADE NECESSARY BY THE FIELD CONDITIONS SHALL BE CONVEYED TO THE ENGINEER PRIOR TO PREPARING A PROPOSAL. NO ADDITIONAL COSTS BEYOND THE PROPOSAL PRICE WILL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY AN INSPECTION OF THE PREMISES.
- CONTRACTOR SHALL TAKE READING ON ANY PANEL PRIOR TO ADDING ADDITIONAL LOADS. REPORT FINDINGS TO THE ENGINEER.
- RE-LABEL PANEL DIRECTORY DESCRIPTION SHEET AS REQUIRED.
- ALL NEW WIRING/CONDUIT TO BE CONCEALED.
- ALL FIRE ALARM DEVICES SHALL REMAIN UNLESS NOTED OTHERWISE; PROTECT DEVICES DURING CONSTRUCTION. COORDINATE ALL FIRE ALARM REQUIRED WORK WITH FIRE ALARM VENDOR PRIOR TO WORKING ON THE FIRE ALARM SYSTEM AND/OR MOVING CEILING MOUNTED DEVICES. CONTACT JAMES SHIELDS AT ADT COMMERCIAL VIA PHONE NUMBER 856-912-1768.
- ALL EMERGENCY LOCK-DOWN ALARM AND SPEAKER SYSTEMS TO REMAIN; PROTECT DEVICES DURING

## **Demolition Electrical Key Notes**

SYMBOL INDICATES

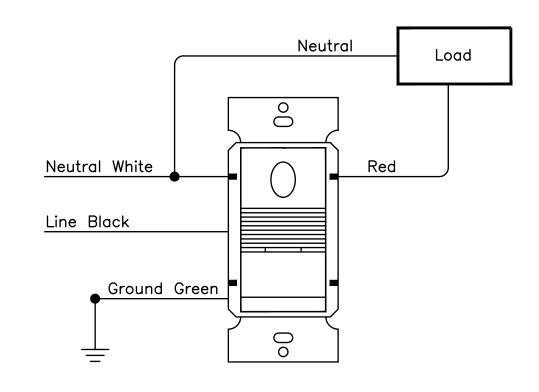
DEMOLITION KEY NOTE

- EXISTING EXHAUST FAN TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING DEMOLITION. IF EXHAUST FAN IS MOUNTED TO EXISTING SUSPENDED CEILING IT SHALL BE REMOUNTED TO NEW CEILING IN THE SAME LOCATION.
- EXISTING CONVECTORS TO REMAIN.
- EXISTING UNIT HEATERS TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING DEMOLITION.
- DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES AND CONTROLS. REMOVE WIRING BACK TO SOURCE. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE. SAFE-OFF EXISTING CIRCUIT AND PREPARE TO BE RECONNECTED TO NEW AREA LIGHTING.
- EXISTING HEAT DETECTOR MOUNTED IN HARD CEILING TO REMAIN. EXISTING HEAT DETECTOR IN SUSPENDED CEILING TO BE RELOCATED TO NEW SUSPENDED CEILING IN SAME APPROXIMATE LOCATION.

## **Proposed Electrical Key Notes**

SYMBOL INDICATES PROPOSED KEY NOTE

RECONNECT NEW LIGHTING TO EXISTING LIGHTING CIRCUIT. PROVIDE NEW WIRE AND CIRCUIT BREAKER(S); MATCH EXISTING. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE.



TYPICAL PW-301 WIRING DIAGRAM

12/14/2022 ISSUED FOR BID

NJ Certificate of Authorizatio

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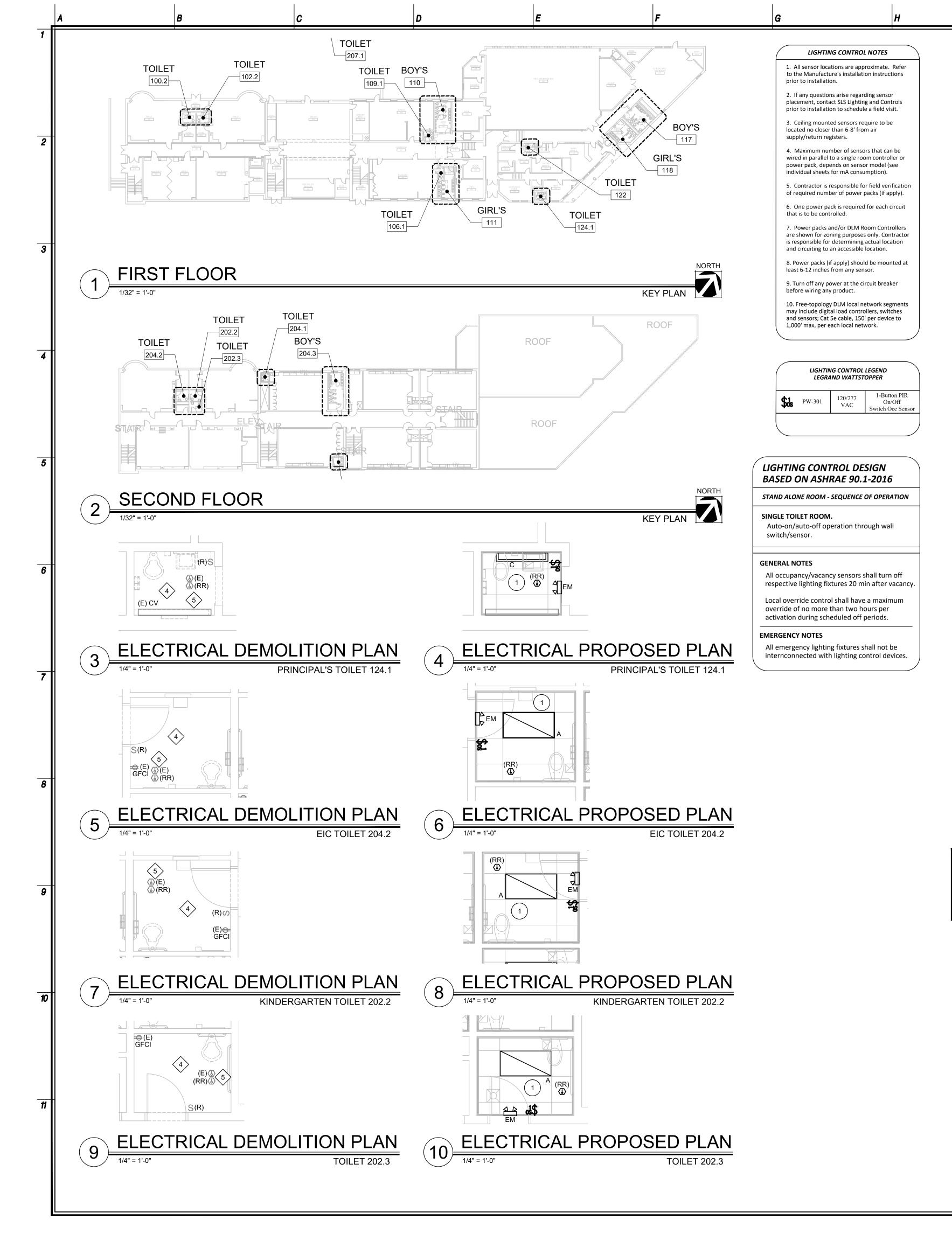
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**Revisions:** 

SSO

Job No. 20277.14

File No. 20277.14JFTES\_



## Device Legend

### SYMBOL DESCRIPTION

**EXISTING DUPLEX RECEPTACLE (WALL)** - EXISTING WALL MOUNTED

**EXISTING LIGHT SWITCH** - EXISTING TOGGLE SWITCH TO BE REMOVED. BACK

BOX AND CONDUIT MAY BE RE-USED IF IN GOOD CONDITION.

THERMAL OVERLOAD DISCONNECT SWITCH - 120VAC,1-PH, 20A THERMALOVERLOAD DISCONNECT SWITCH

**EXISTING HEAT DETECTOR** - EXISTING HEAT DETECTOR TO REMAIN.

NEW HEAT DETECTOR - NEW HEAT DETECTOR. CONTACT JAMES SHIELDS AT ADT PRIOR TO ADDING NEW DEVICES TO CURRENT FIRE ALARM CONTROL PANEL.

NEW FLUSH MOUNTED CEILING SPEAKER - FOR NEW SPEAKERS PROVIDE MANUFACTURER'S SPECIFIED WIRE TYPE

**EXISTING WALL MOUNTED SPEAKER** - EXISTING WALL MOUNTED SPEAKER TO BE REPLACED WITH NEW FLUSH MOUNT CEILING SPEAKER

EXISTING 120/208V OR 120/240V PANELBOARD - REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. WHEN SHOWN, DASHED LINES W/ HATCH INDICATE REQUIRED CLEARANCE.

#### **DEVICE ABBREVIATIONS & DESIGNATIONS**

- ABBR. DEFINITION
- C CONDUIT NEC COMPLIANT CONDUIT OR RACEWAY FOR CONDUCTORS. CLG <u>CEILING MOUNTED</u> - DEVICE MOUNTED AT CEILING LEVEL. COORDINATE WITH
- CEILING TYPE. CV CONVECTOR - CONVECTION HEATER
- EF EXHAUST FAN ELECTRICAL MOTOR FAN FOR EXHAUST
- EM EMERGENCY EMERGENCY LIGHTING DESIGNATED FIXTURE
- FT FEET UNIT OF MEASUREMENT
- G GROUND EQUIPMENT GROUNDING CONDUCTOR
- GFCI GROUND FAULT CIRCUIT INTERUPPTER GROUND FAULT PROTECTED DEVICE
- PH PHASE ELECTRICAL PHASE OF ALTERNATING CURRENT UH **UNIT HEATER** - ELECTRIC UNIT HEATER

#### TAG LEGEND

- (R) EXISTING TO BE DISCONNECTED & REMOVED
- (ER) EXISTING TO BE DISCONNECTED & RECONNECTED
- (RR) EXISTING TO BE DISCONNECTED, RELOCATED, & RECONNECTED
- (E) EXISTING TO REMAIN

(N) NEW

LUMINAIRE SCHEDULE						
SYMBOL/TYPE	MANUF.	MODEL	DESCRIPTION	VOLTAGE	WATT	
A	DAY-BRITE CFI - SIGNIFY	2FGX-G-38L-835- 4-RS-UNV-DIM	2' x 4' LED LUMINAIRE - GRID LAY-IN	120-277V	27W	
О	FOCAL POINT	FSM4LP-FL-375LF -35K-1C-UNV-LD1 -G1-WH-4'	4" x 4' FLUSH MOUNT LED - LINEAR SEEM	120-277V	14W	
<b>4</b> EM	CHLORIDE - SIGNIFY	VLLU2	EMERGENCY BATTERY UNIT	120-277V	2W	

**RON LEWERT -**

ron@slsltg.com

Cell Phone: 732-815-6931

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- 2. CONNECT UNSWITCHED HOT LEG OF AREA LIGHTING/POWER PACK BRANCH CIRCUIT TO INVERTER RELAY FOR ALL 'EM' EMERGENCY BATTERY UNIT LIGHTS

PLEASE CONTACT SLS CONTROLS WITH ANY **QUESTIONS OR REVISIONS:** 

**VENTURA RIVERA -**

ventura@slsltg.com

Cell Phone: 732-484-9932

**DICKSON FERNANDES -**

Cell Phone: 732-740-2294

dickson@slsltg.com

# Proposed Electrical Key Notes

**Electrical General Notes** 

AN INSPECTION OF THE PREMISES.

4. ALL NEW WIRING/CONDUIT TO BE CONCEALED.

**Demolition Electrical Key Notes** 

PREPARE TO BE RECONNECTED TO NEW AREA LIGHTING.

AND RUN BACK TO HEAD UNIT. VERIFY LOCATION OF HEAD UNIT IN FIELD.

TO NEW CEILING IN THE SAME LOCATION.

EXISTING CONVECTORS TO REMAIN.

RE-LABEL PANEL DIRECTORY DESCRIPTION SHEET AS REQUIRED.

SHIELDS AT ADT COMMERCIAL VIA PHONE NUMBER 856-912-1768.

FINDINGS TO THE ENGINEER.

CONSTRUCTION.

CONTRACTOR SHALL CONDUCT A THOROUGH EXAMINATION OF THE PREMISES PRIOR TO PREPARING A

CONVEYED TO THE ENGINEER PRIOR TO PREPARING A PROPOSAL. NO ADDITIONAL COSTS BEYOND THE

PROPOSAL PRICE WILL BE ACCEPTED FOR FIELD CONDITIONS THAT COULD HAVE BEEN DETERMINED BY

PROPOSAL. ANY CHANGES TO THE DESIGN MADE NECESSARY BY THE FIELD CONDITIONS SHALL BE

CONTRACTOR SHALL TAKE READING ON ANY PANEL PRIOR TO ADDING ADDITIONAL LOADS. REPORT

ALL FIRE ALARM DEVICES SHALL REMAIN UNLESS NOTED OTHERWISE; PROTECT DEVICES DURING

CONSTRUCTION. COORDINATE ALL FIRE ALARM REQUIRED WORK WITH FIRE ALARM VENDOR PRIOR TO

WORKING ON THE FIRE ALARM SYSTEM AND/OR MOVING CEILING MOUNTED DEVICES. CONTACT JAMES

ALL EMERGENCY LOCK-DOWN ALARM AND SPEAKER SYSTEMS TO REMAIN; PROTECT DEVICES DURING

EXISTING EXHAUST FAN TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING

DEMOLITION. IF EXHAUST FAN IS MOUNTED TO EXISTING SUSPENDED CEILING IT SHALL BE REMOUNTED

EXISTING UNIT HEATER TO REMAIN. CIRCUIT SERVING HEATER TO BE PRESERVED AND PROTECTED

DURING DEMOLITION. COORDINATE WITH MECHANICAL CONTRACTOR IF HEATER IS TO BE RELOCATED. IF

RELOCATION REQUIRED, DISCONNECT ELECTRICAL CONNECTION AND RECONNECT AT NEW LOCATION.

DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES AND CONTROLS. REMOVE WIRING BACK TO

SOURCE. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE. SAFE-OFF EXISTING CIRCUIT AND

SUSPENDED CEILING TO BE RELOCATED TO NEW SUSPENDED CEILING IN SAME APPROXIMATE LOCATION.

EXISTING WALL MOUNTED SPEAKER TO BE REPLACED WITH A FLUSH MOUNTED CEILING SPEAKER IN NEW

SUSPENDED CEILING. VERIFY EXISTING WIRING CAN BE RE-ROUTED AND WILL WORK WITH NEW CEILING

SPEAKER. IF EXISTING WIRING NOT COMPATIBLE, PROVIDE MANUFACTURER'S RECOMMENDED WIRING

EXISTING HEAT DETECTOR MOUNTED IN HARD CEILING TO REMAIN. EXISTING HEAT DETECTOR IN

SYMBOL INDICATES PROPOSED KEY NOTE

SYMBOL INDICATES

DEMOLITION KEY NOTE

RECONNECT NEW LIGHTING TO EXISTING LIGHTING CIRCUIT. PROVIDE NEW WIRE AND CIRCUIT BREAKER(S); MATCH EXISTING. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE.

Neutral Load Neutral White Line Black Ground Green

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TYPICAL PW-301 WIRING DIAGRAM

NJ Certificate of Authorization Eng'r. Nos. 12/14/20:

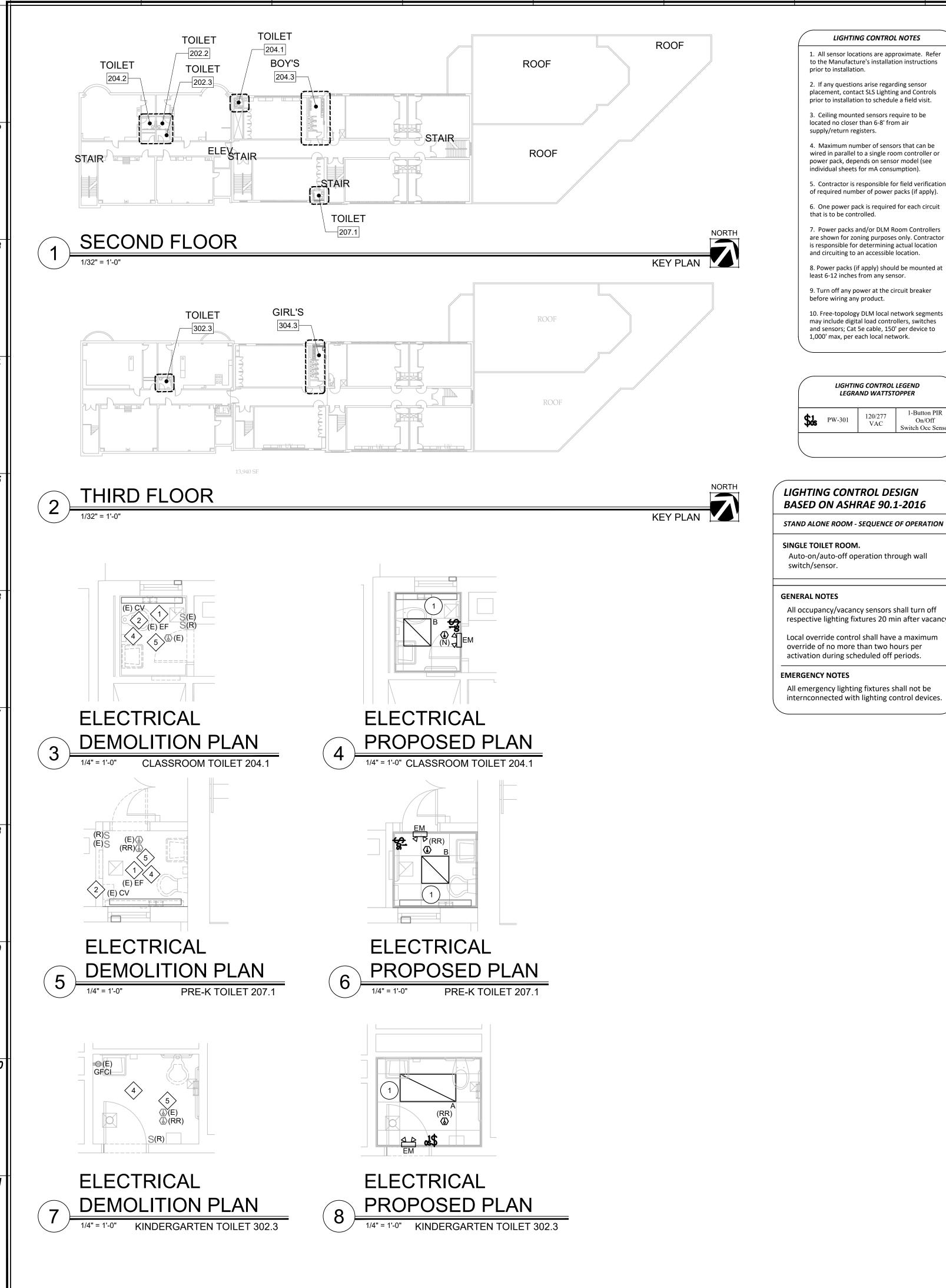
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**Revisions:** 

12/14/2022 ISSUED FOR BID

ob No. 20277.14 ile No. 20277.14JFTES\_



to the Manufacture's installation instructions

2. If any questions arise regarding sensor placement, contact SLS Lighting and Controls

3. Ceiling mounted sensors require to be located no closer than 6-8' from air

4. Maximum number of sensors that can be wired in parallel to a single room controller or

5. Contractor is responsible for field verification

of required number of power packs (if apply). 6. One power pack is required for each circuit

7. Power packs and/or DLM Room Controllers

least 6-12 inches from any sensor.

10. Free-topology DLM local network segments may include digital load controllers, switches

\$1s	PW-301	120/277 VAC	1-Button PIR On/Off Switch Occ Sensor

### LIGHTING CONTROL DESIGN BASED ON ASHRAE 90.1-2016

STAND ALONE ROOM - SEQUENCE OF OPERATION

Auto-on/auto-off operation through wall

All occupancy/vacancy sensors shall turn off respective lighting fixtures 20 min after vacancy.

override of no more than two hours per activation during scheduled off periods.

All emergency lighting fixtures shall not be internconnected with lighting control devices.

## Device Legend

SYMBOL DESCRIPTION

**EXISTING DUPLEX RECEPTACLE (WALL)** - EXISTING WALL MOUNTED

<u>EXISTING LIGHT SWITCH & OR EXHAUST FAN SWITCH</u> - EXISTING TOGGLE SWITCH TO BE REMOVED. BACK BOX AND CONDUIT MAY BE RE-USED IF IN GOOD (R)/(E)S CONDITION. EXHAUST FAN SWITCH TO REMAIN.

**EXISTING HEAT DETECTOR - EXISTING HEAT DETECTOR TO REMAIN.** 

**NEW HEAT DETECTOR - NEW HEAT DETECTOR. CONTACT JAMES SHIELDS AT ADT** PRIOR TO ADDING NEW DEVICES TO CURRENT FIRE ALARM CONTROL PANEL.

PPB

EXISTING 120/208V OR 120/240V PANELBOARD - REFER TO PANEL SCHEDULE FOR ADDITIONAL INFORMATION. WHEN SHOWN, DASHED LINES W/ HATCH INDICATE REQUIRED CLEARANCE.

### **DEVICE ABBREVIATIONS & DESIGNATIONS**

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SYMBOL/TYPE

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- (ER) EXISTING TO BE DISCONNECTED & RECONNECTED
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LUMINAIRE SCHEDULE

DAY-BRITE CFI - 2FGX-G-38L-835- 2' x 4' LED LUMINAIRE - 120-277V 27W

DAY-BRITE CFI - 2FGX-G-38L-835- 2' x 2' LED LUMINAIRE - 120-277V 28W

EMERGENCY

BATTERY UNIT

4-RS-UNV-DIM GRID LAY-IN

2-RS-UNV-DIM GRID LAY-IN

DESCRIPTION VOLTAGE WATT

120-277V

**VENTURA RIVERA -**

ventura@slsltg.com

Cell Phone: 732-484-9932

2W

MANUF. MODEL

VLLU2

1. CONFIRM ALL COLOR TEMPERATURES, LENS, REFLECTORS, DIFFUSERS, TRIMS,

TO INVERTER RELAY FOR ALL 'EM' EMERGENCY BATTERY UNIT LIGHTS

FINISHES, AND PAINT COLOR WITH ARCHITECT/OWNER PRIOR TO BID/INSTALLATION.

PLEASE CONTACT SLS CONTROLS WITH ANY **QUESTIONS OR REVISIONS:** 

**DICKSON FERNANDES -**

Cell Phone: 732-740-2294

dickson@slsltg.com

2. CONNECT UNSWITCHED HOT LEG OF AREA LIGHTING/POWER PACK BRANCH CIRCUIT

SIGNIFY

CHLORIDE -

SIGNIFY

(E) EXISTING TO REMAIN (N) NEW

**LUMINAIRE SCHEDULE NOTES** 

**RON LEWERT -**

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## **Electrical General Notes**

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RE-LABEL PANEL DIRECTORY DESCRIPTION SHEET AS REQUIRED.

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## **Demolition Electrical Key Notes**

SYMBOL INDICATES DEMOLITION KEY NOTE

EXISTING EXHAUST FAN TO REMAIN. CIRCUIT SERVING FAN TO BE PRESERVED AND PROTECTED DURING DEMOLITION. IF EXHAUST FAN IS MOUNTED TO EXISTING SUSPENDED CEILING IT SHALL BE REMOUNTED TO NEW CEILING IN THE SAME LOCATION.

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## **Proposed Electrical Key Notes**

SYMBOL INDICATES PROPOSED KEY NOTE

RECONNECT NEW LIGHTING TO EXISTING LIGHTING CIRCUIT. PROVIDE NEW WIRE AND CIRCUIT BREAKER(S); MATCH EXISTING. CONTRACTOR MAY REUSE CONDUIT WHERE APPLICABLE.

Neutral Load 0 Neutral White Red Line Black Ground Green

TYPICAL PW-301 WIRING DIAGRAM

12/14/2022 ISSUED FOR BID

NJ Certificate of Authorization

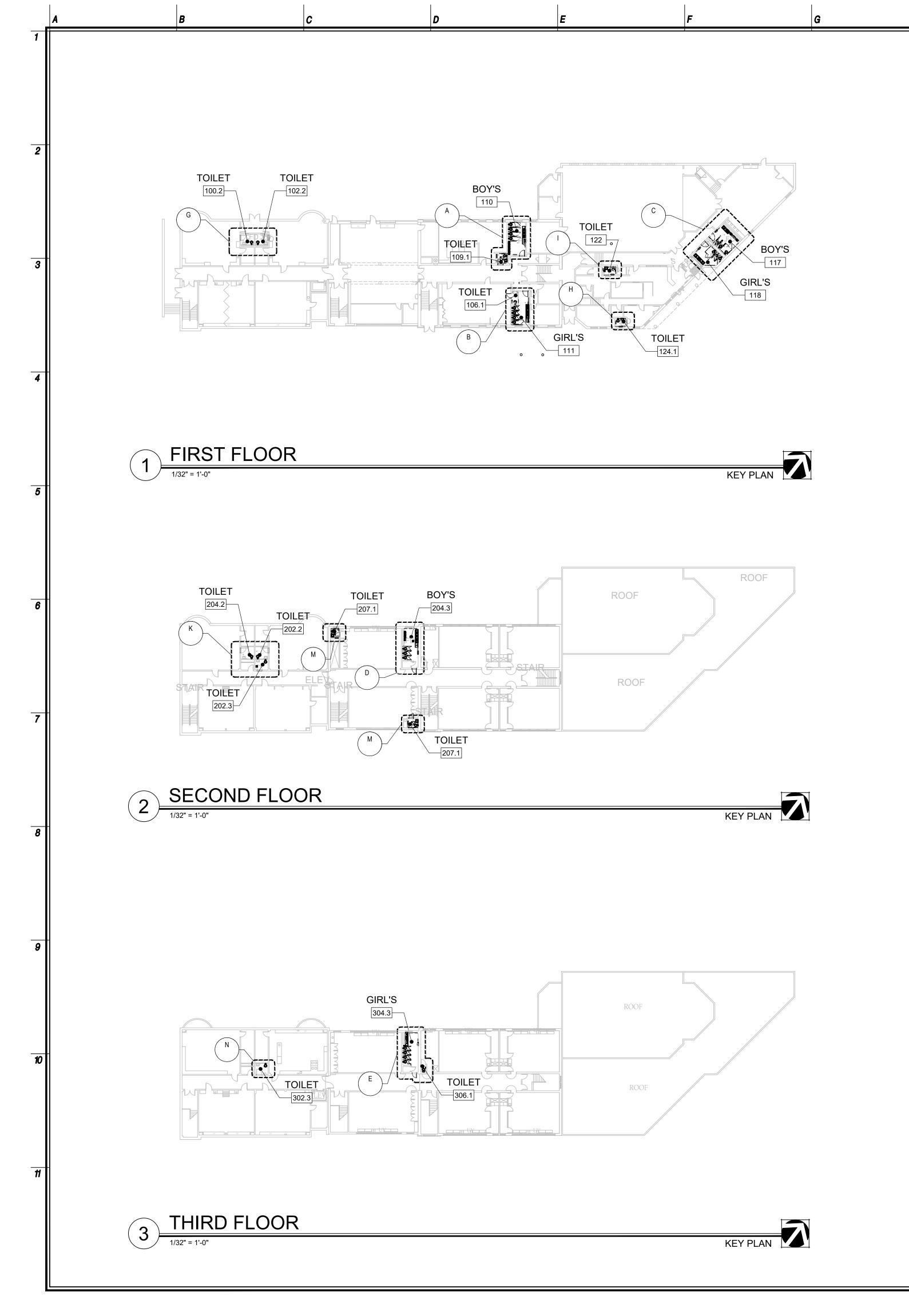
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Revisions:

SSO

ob No. 20277.14

File No. 20277.14JFTES\_



### Plumbing General Notes

- PLUMBING CONTRACTOR SHALL VISIT JOB SITE AND NOTE ALL EXISTING CONDITIONS TO BE MET BEFORE SUBMITTING BID. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND SHOW THE INTENT OF WORK.
- PLUMBING CONTRACTOR TO PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT WORK, OBTAIN AND PAY FOR ALL NECESSARY CERTIFICATES OF APPROVAL FOR WORK, AND PAY FOR ANY LEGAL FEES.
- B. INSTALLATION TO COMPLY WITH ALL FEDERAL, STATE, MUNICIPAL LAWS, AND ALL CODES, RULES, ORDINANCES, AND REGULATIONS OF HEALTH, PUBLIC OR OTHER AUTHORITIES CONTROLLING OR LIMITING THE METHODS, MATERIALS TO BE USED OR ACTIONS OF THOSE EMPLOYED IN THE WORK.
- PLUMBING CONTRACTOR TO PROVIDE TEMPORARY WATER. OWNER TO PAY FOR WATER CONSUMED.
- 5. PIPE INSTALLATION AS FOLLOWS:
- A. ALL PIPING TO BE PITCHED TO LOW POINTS WITH DRAIN VALVES. SOIL, STORM, AND WASTE TO BE SLOPED @ 1/8" PER
- B. RUN ALL PIPING CONCEALED IN CEILINGS, WALLS AND PARTITIONS. C. SLEEVE PIPING THAT PASSES THROUGH WALLS.
- D. FLASH ALL PIPING THAT PASSES THROUGH ROOF. E. PROVIDE ROD HANGERS WITH CLEVIS PIPE SUPPORT PER NATIONAL PLUMBING CODE 2003.
- F. PROVIDE VALVES REQUIRED FOR COMPLETE CONTROL OF ALL SYSTEMS. STOP VALVES FOR SUPPLY TO ALL FIXTURES TO BE CHROME PLATED WHERE EXPOSED.
- G. PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES AND CLEANOUTS.
- 5. PLUMBING CONTRACTOR TO PERFORM ALL TESTING OF THE PLUMBING WORK IN THE PRESENCE OF THE OWNER. PROVIDE ALL APPARATUS, TEMPORARY CONNECTIONS, AND OTHER REQUIREMENTS TO DO SUCH TESTS. ANY DEFECTS, LEAKS, ETC. WILL BE REPLACED AND TEST REPEATED UNTIL TEST REQUIREMENTS ARE MET.
- SUBMIT SHOP DRAWINGS OF ALL WORK TO BE DONE, EQUIPMENT, AND FIXTURES FURNISHED.
- B. PLUMBING CONTRACTOR TO CARRY OUT PERIODIC CLEANING TO REMOVE RUBBISH ETC., TO LEAVE PREMISES FREE FROM DEBRIS, AND DISCARDED MATERIALS. AFTER INSTALLATION, CLEAN FIXTURES, FITTINGS, ETC. AND LEAVE READY FOR USE.

- 1. ALL WORK SHALL CONFORM TO NEW JERSEY STATE ENERGY CODE, NATIONAL STANDARD PLUMBING CODE 2018, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND LOCAL AUTHORITY HAVING JURISDICTION.
- 2. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE EXTENT AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS OR COMMENCING
- 3. CONTRACTOR SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, AND ADDRESS ALL QUESTIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCING
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP WORK AREAS UPON COMPLETION OF WORK.
- 5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES AND INSPECTIONS PRIOR TO COMMENCING WORK. UPON COMPLETION OF WORK THE CONTRACTOR SHALL SECURE CERTIFICATE OF OCCUPANCY.
- 6. CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OF SITE IN AN APPROVED MANNER.

	ENLARGED PLAN DRAWING LIST					
MARK	ROOM TYPE / NUMBER	DEMOLITION PLAN	PROPOSED SANITARY & VENTING PLAN	PROPOSED DOMESTIC WATER PLAN		
А	BOYS TOILET 110	1 / P2.01	2 / P2.01	3 / P2.01		
В	GIRLS TOILET 111	4 / P2.01	5 / P2.01	6 / P2.01		
С	BOYS TOILET 117, GIRL'S TOILET 118	1 / P2.02	2 / P2.02	3 / P2.02		
D	BOY'S TOILET 204.3	1 / P2.03	2 / P2.03	3 / P2.03		
Е	GIRLS TOILET 304.3	4 / P2.03	5 / P2.03	6 / P2.03		
F	TOILET 109.1	4 / P2.01	5 / P2.01	6 / P2.01		
G	TOILET 100.2 & TOILET 102.2	7 / P2.01	8 / P2.01	9 / P2.01		
Н	TOILET 124.1	4 / P2.02	5 / P2.02	6 / P2.02		
ı	TOILET 122	7 / P2.02	8 / P2.02	9 / P2.02		
J	TOILET 306.1	4 / P2.03	5 / P2.03	6 / P2.03		
K	TOILET 202.1, TOILET 202.3 & TOILET 204.2	1 / P2.04	2 / P2.04	3 / P2.04		
L	TOILET 2.4.1	4 / P2.04	5 / P2.04	6 / P2.04		
М	TOILET 207.1	7 / P2.04	8 / P2.04	9 / P2.04		
N	TOILET 302.3	1/ P2.05	2 / P2.05	3 / P2.05		

NJ Certificate of Authorization

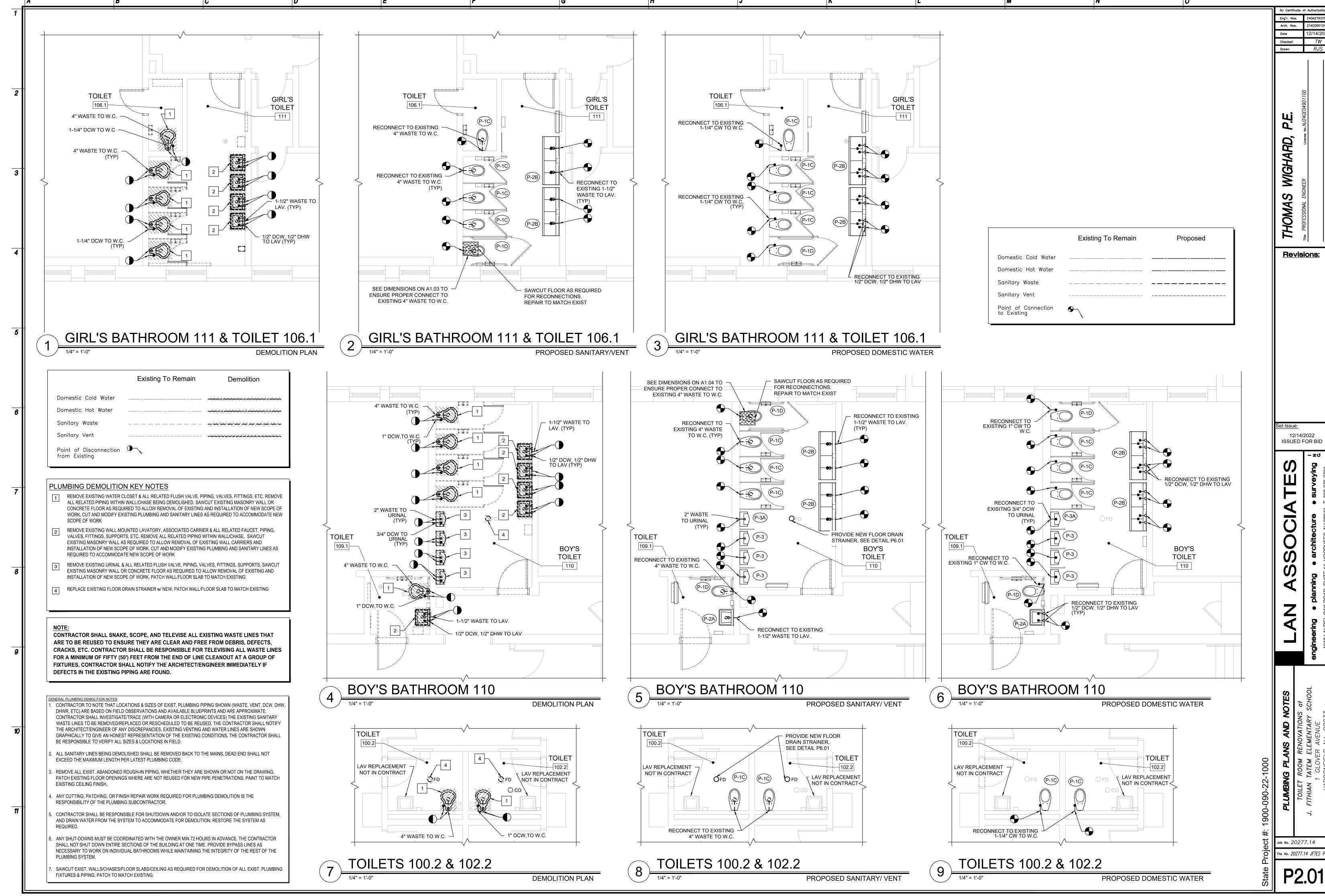
**Revisions:** 

12/14/2022 ISSUED FOR BID

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Job No. 20277.14 File No. 20277.14 JFTES-P2

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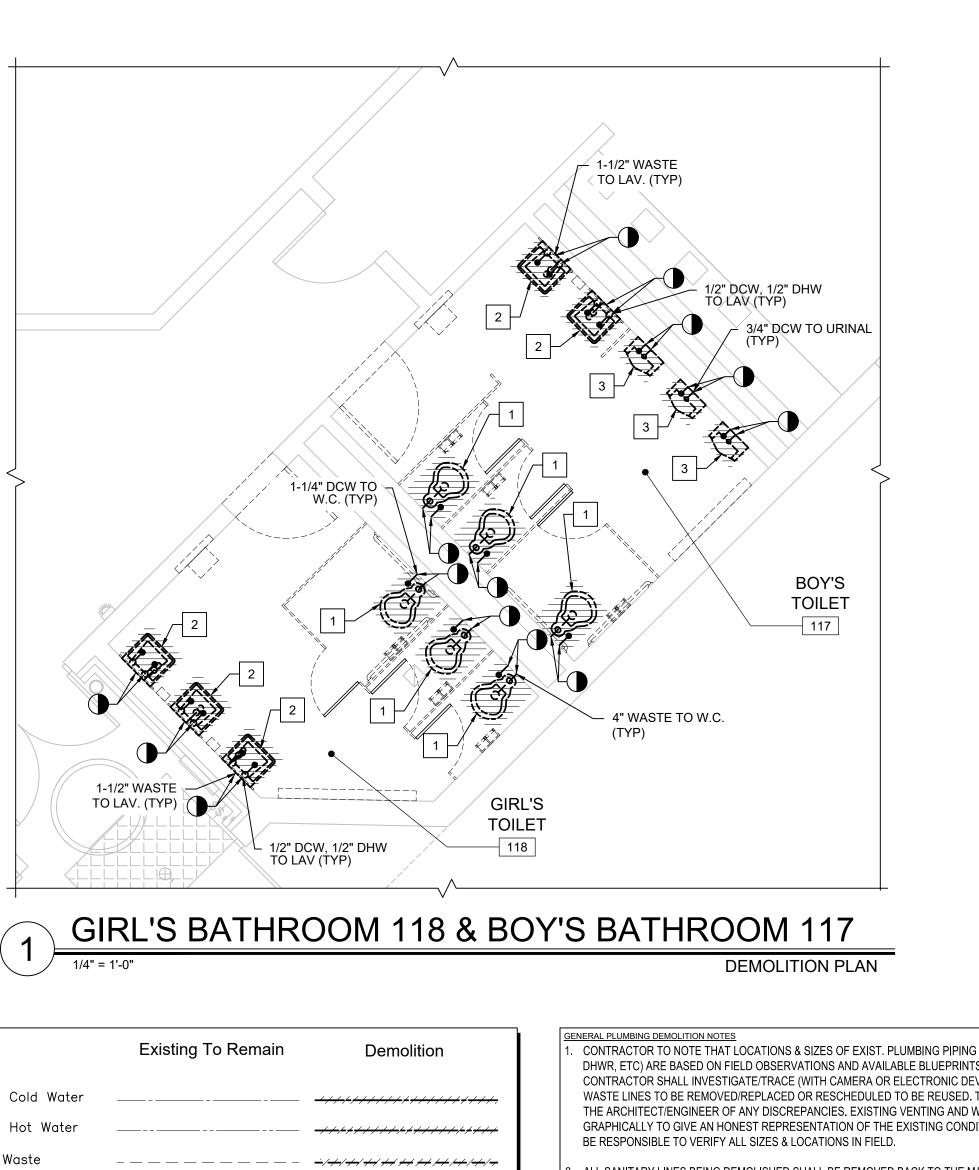
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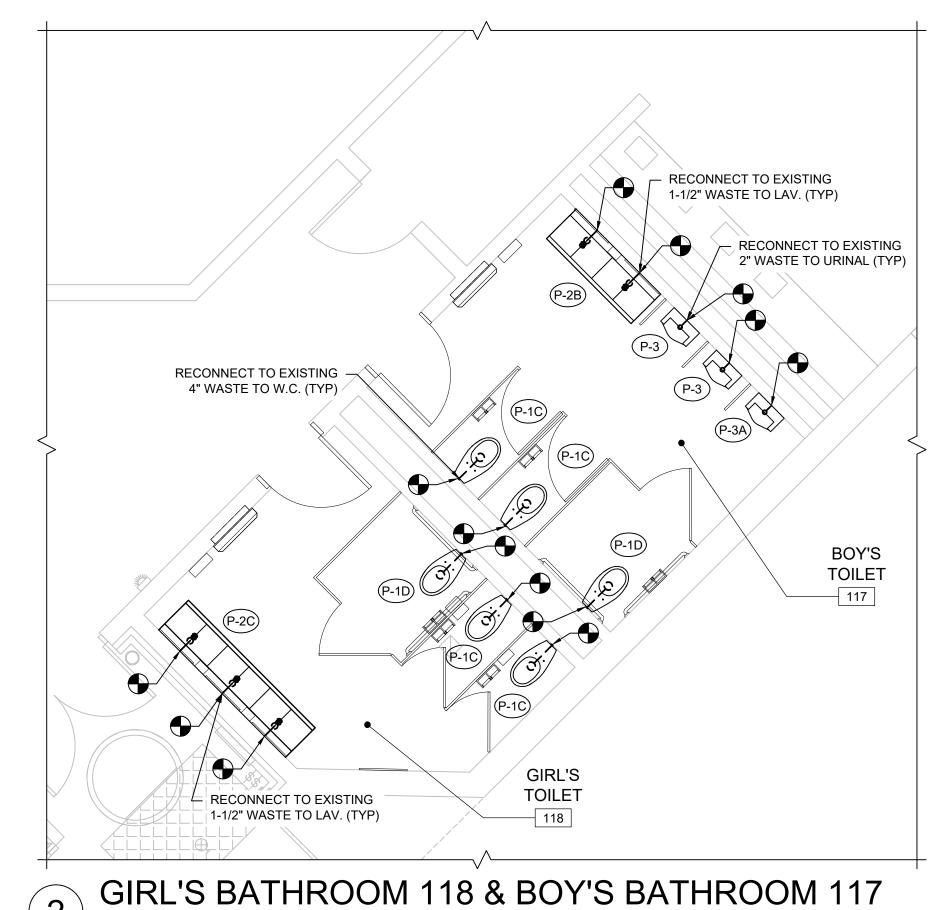
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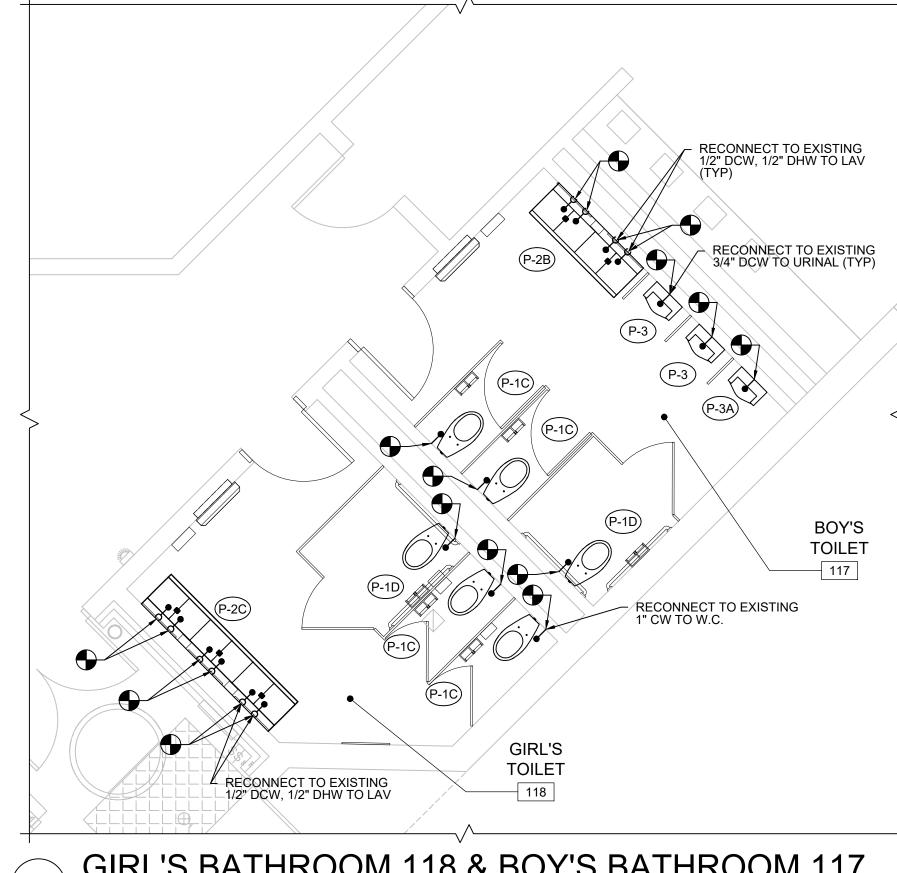
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GIRL'S BATHROOM 118 & BOY'S BATHROOM 117

Domestic Hot Water Sanitary Waste Sanitary Vent \_\_\_\_\_\_ Point of Disconnection from Existing

### PLUMBING DEMOLITION KEY NOTES

- REMOVE EXISTING WATER CLOSET & ALL RELATED FLUSH VALVE, PIPING, VALVES, FITTINGS, ETC. REMOVE ALL RELATED PIPING WITHIN WALL/CHASE BEING DEMOLISHED. SAWCUT EXISTING MASONRY WALL OR CONCRETE FLOOR AS REQUIRED TO ALLOW REMOVAL OF EXISTING AND INSTALLATION OF NEW SCOPE OF WORK. CUT AND MODIFY EXISTING PLUMBING AND SANITARY LINES AS REQUIRED TO ACCOMMODATE NEW SCOPE OF WORK
- REMOVE EXISTING WALL MOUNTED LAVATORY, ASSOCIATED CARRIER & ALL RELATED FAUCET, PIPING, VALVES, FITTINGS, SUPPORTS, ETC. REMOVE ALL RELATED PIPING WITHIN WALL/CHASE. SAWCUT EXISTING MASONRY WALL AS REQUIRED TO ALLOW REMOVAL OF EXISTING WALL CARRIERS AND INSTALLATION OF NEW SCOPE OF WORK. CUT AND MODIFY EXISTING PLUMBING AND SANITARY LINES AS REQUIRED TO ACCOMMODATE NEW SCOPE OF WORK
- REMOVE EXISTING URINAL & ALL RELATED FLUSH VALVE, PIPING, VALVES, FITTINGS, SUPPORTS, SAWCUT EXISTING MASONRY WALL OR CONCRETE FLOOR AS REQUIRED TO ALLOW REMOVAL OF EXISTING AND INSTALLATION OF NEW SCOPE OF WORK. PATCH WALL/FLOOR SLAB TO MATCH EXISTING
- REPLACE EXISTING FLOOR DRAIN STRAINER w/ NEW. PATCH WALL/FLOOR SLAB TO MATCH EXISTING

CONTRACTOR SHALL SNAKE, SCOPE, AND TELEVISE ALL EXISTING WASTE LINES THAT ARE TO BE REUSED TO ENSURE THEY ARE CLEAR AND FREE FROM DEBRIS, DEFECTS, CRACKS, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR TELEVISING ALL WASTE LINES FOR A MINIMUM OF FIFTY (50') FEET FROM THE END OF LINE CLEANOUT AT A GROUP OF FIXTURES. CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF DEFECTS IN THE EXISTING PIPING ARE FOUND.

CONTRACTOR SHALL INVESTIGATE/TRACE (WITH CAMERA OR ELECTRONIC DEVICES) THE EXISTING SANITARY WASTE LINES TO BE REMOVED/REPLACED OR RESCHEDULED TO BE REUSED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES. EXISTING VENTING AND WATER LINES ARE SHOWN GRAPHICALLY TO GIVE AN HONEST REPRESENTATION OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL

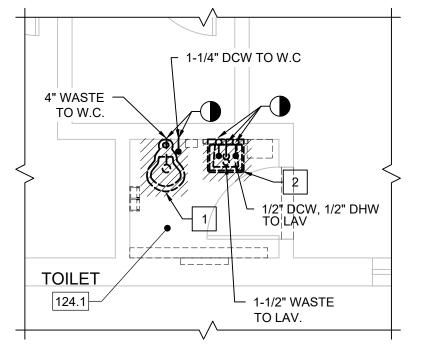
ALL SANITARY LINES BEING DEMOLISHED SHALL BE REMOVED BACK TO THE MAINS. DEAD END SHALL NOT EXCEED THE MAXIMUM LENGTH PER LATEST PLUMBING CODE.

REMOVE ALL EXIST. ABANDONED ROUGH-IN PIPING, WHETHER THEY ARE SHOWN OR NOT ON THE DRAWING. PATCH EXISTING FLOOR OPENINGS WHERE ARE NOT REUSED FOR NEW PIPE PENETRATIONS. PAINT TO MATCH EXISTING CEILING FINISH.

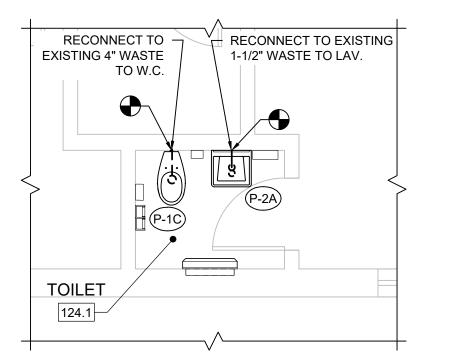
ANY CUTTING, PATCHING, OR FINISH REPAIR WORK REQUIRED FOR PLUMBING DEMOLITION IS THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR.

- CONTRACTOR SHALL BE RESPONSIBLE FOR SHUTDOWN AND/OR TO ISOLATE SECTIONS OF PLUMBING SYSTEM, AND DRAIN WATER FROM THE SYSTEM TO ACCOMMODATE FOR DEMOLITION. RESTORE THE SYSTEM AS REQUIRED.
- ANY SHUT-DOWNS MUST BE COORDINATED WITH THE OWNER MIN 72 HOURS IN ADVANCE. THE CONTRACTOR SHALL NOT SHUT DOWN ENTIRE SECTIONS OF THE BUILDING AT ONE TIME. PROVIDE BYPASS LINES AS NECESSARY TO WORK ON INDIVIDUAL BATHROOMS WHILE MAINTAINING THE INTEGRITY OF THE REST OF THE PLUMBING SYSTEM.
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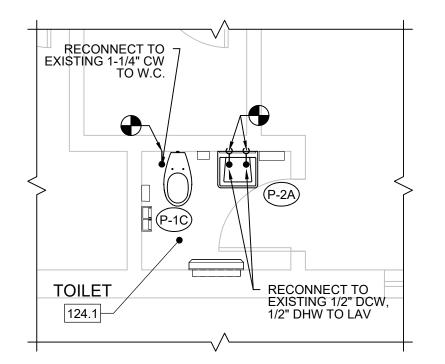
	Existing To Remain	Proposed
Domestic Cold Water		
Domestic Hot Water		
Sanitary Waste		
Sanitary Vent		
Point of Connection to Existing		



**DEMOLITION PLAN** 

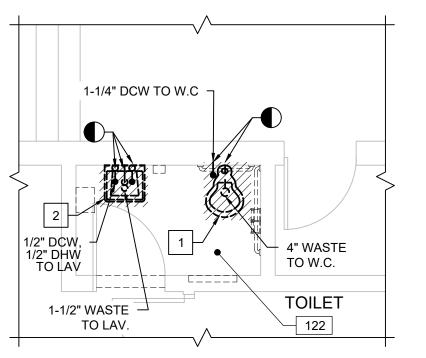


**TOILET 124.1** SANITARY / VENTING PLAN

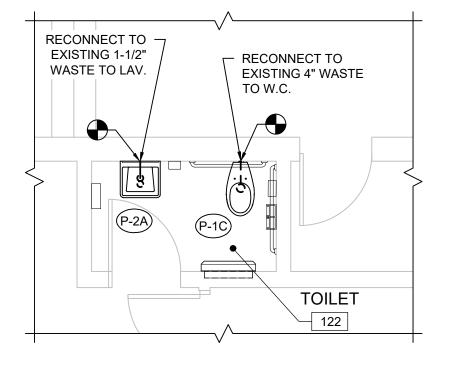


DOMESTIC WATER PLAN

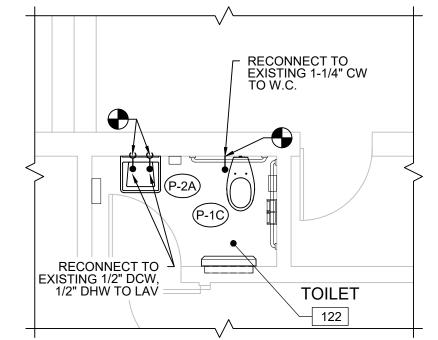
DOMESTIC WATER PLAN



TOILET 122 DEMOLITION PLAN



TOILET 122 SANITARY / VENTING PLAN



TOILET 122 DOMESTIC WATER PLAN

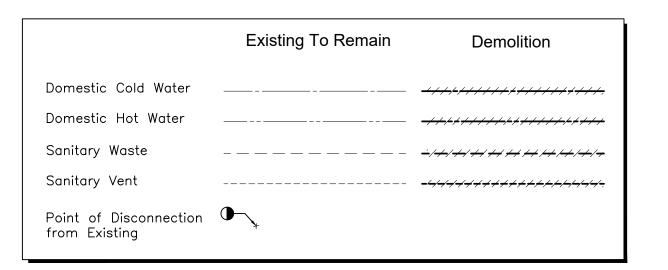
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Revisions:

12/14/2022 ISSUED FOR BID

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#### PLUMBING DEMOLITION KEY NOTES

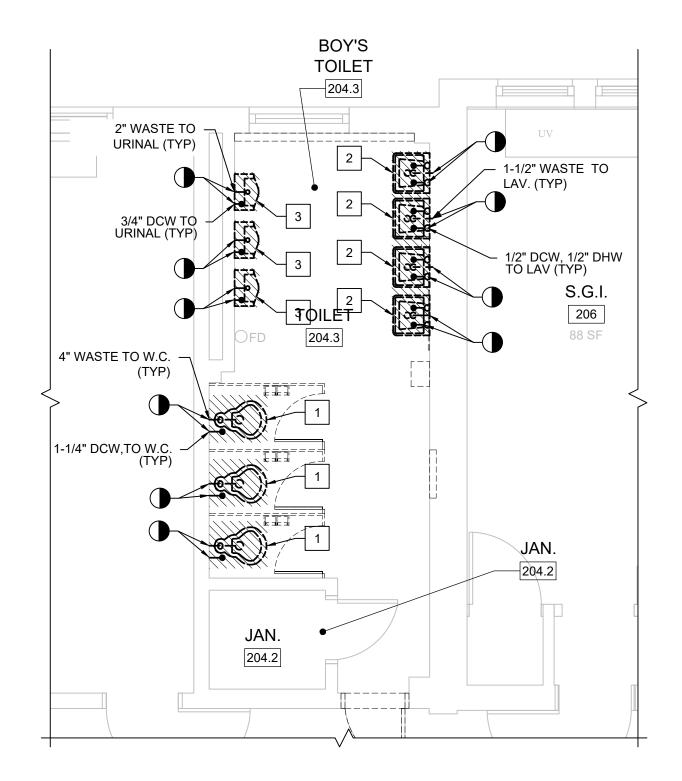
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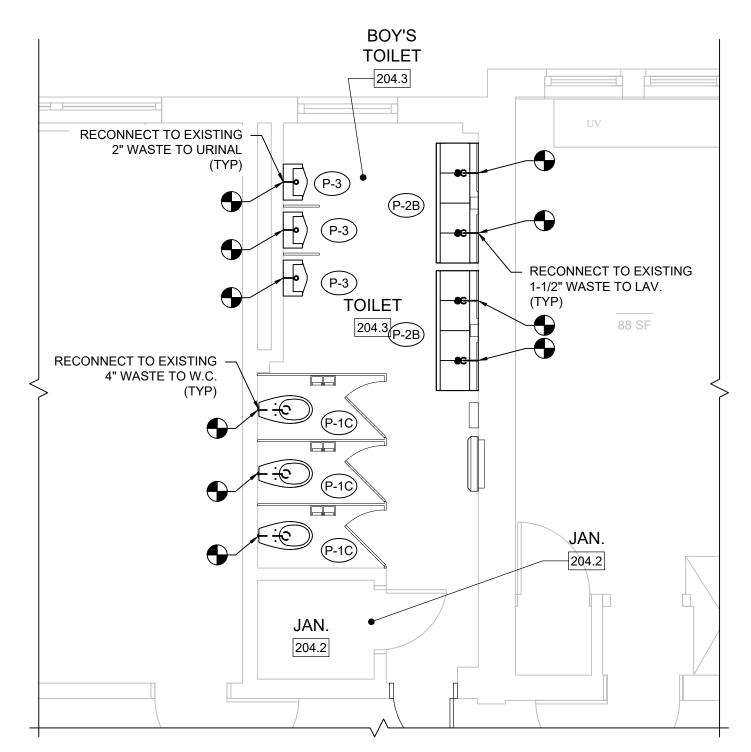
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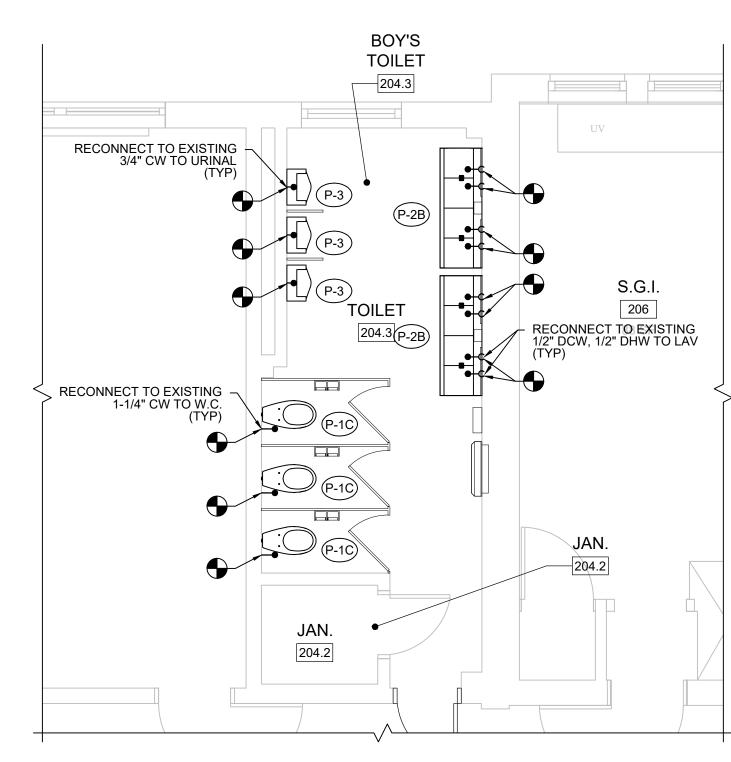
	Existing To Remain	Proposed
Domestic Cold Water		
Domestic Hot Water		
Sanitary Waste		
Sanitary Vent		
Point of Connection to Existing	•	



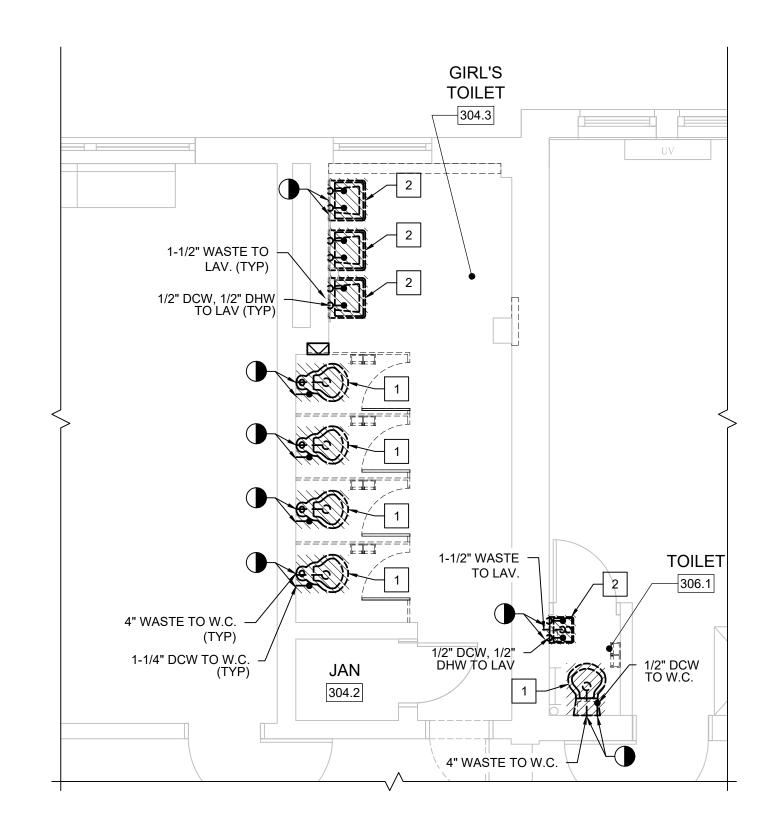
BOY'S BATHROOM 204.3 DEMOLITION PLAN



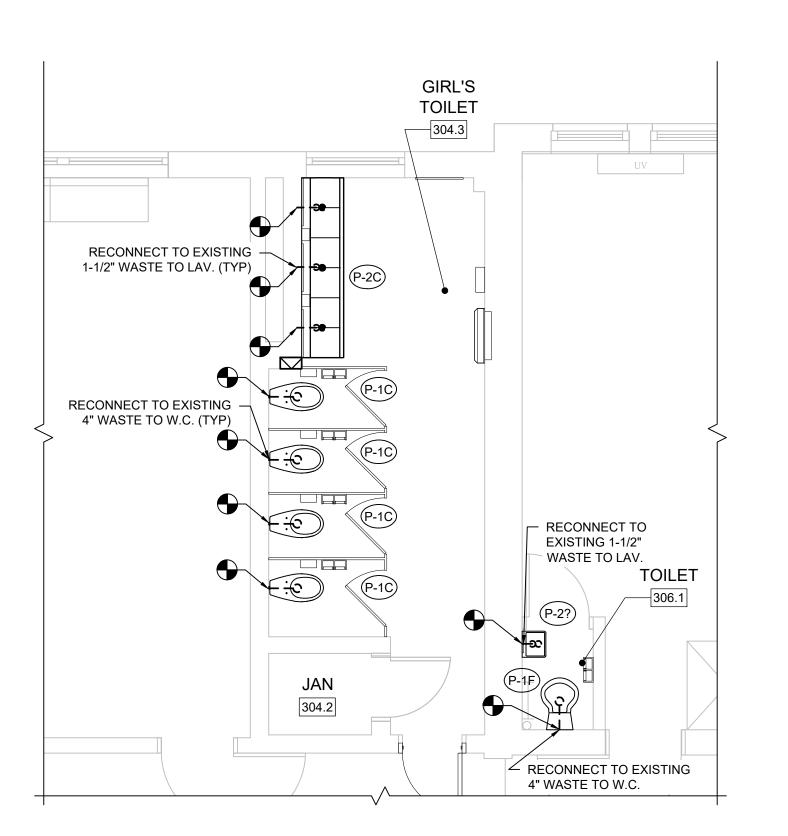
BOY'S BATHROOM 204.3 SANITARY / VENTING PLAN



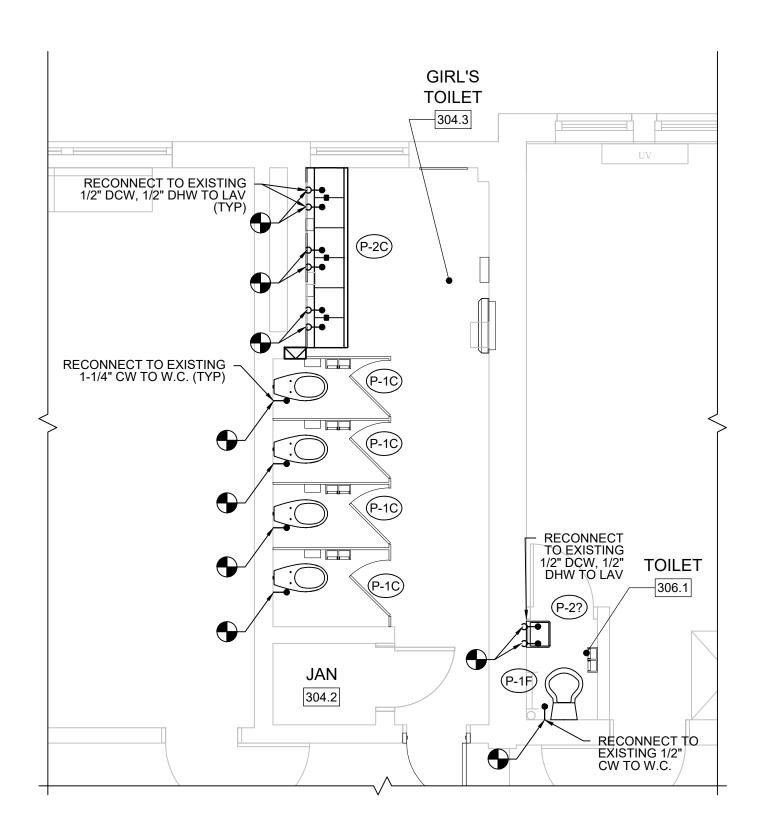
BOY'S BATHROOM 204.3 DOMESTIC WATER PLAN



GIRL'S BATHROOM 304.3 DEMOLITION PLAN



GIRL'S BATHROOM 304.3 SANITARY / VENTING PLAN



GIRL'S BATHROOM 304.3 DOMESTIC WATER PLAN

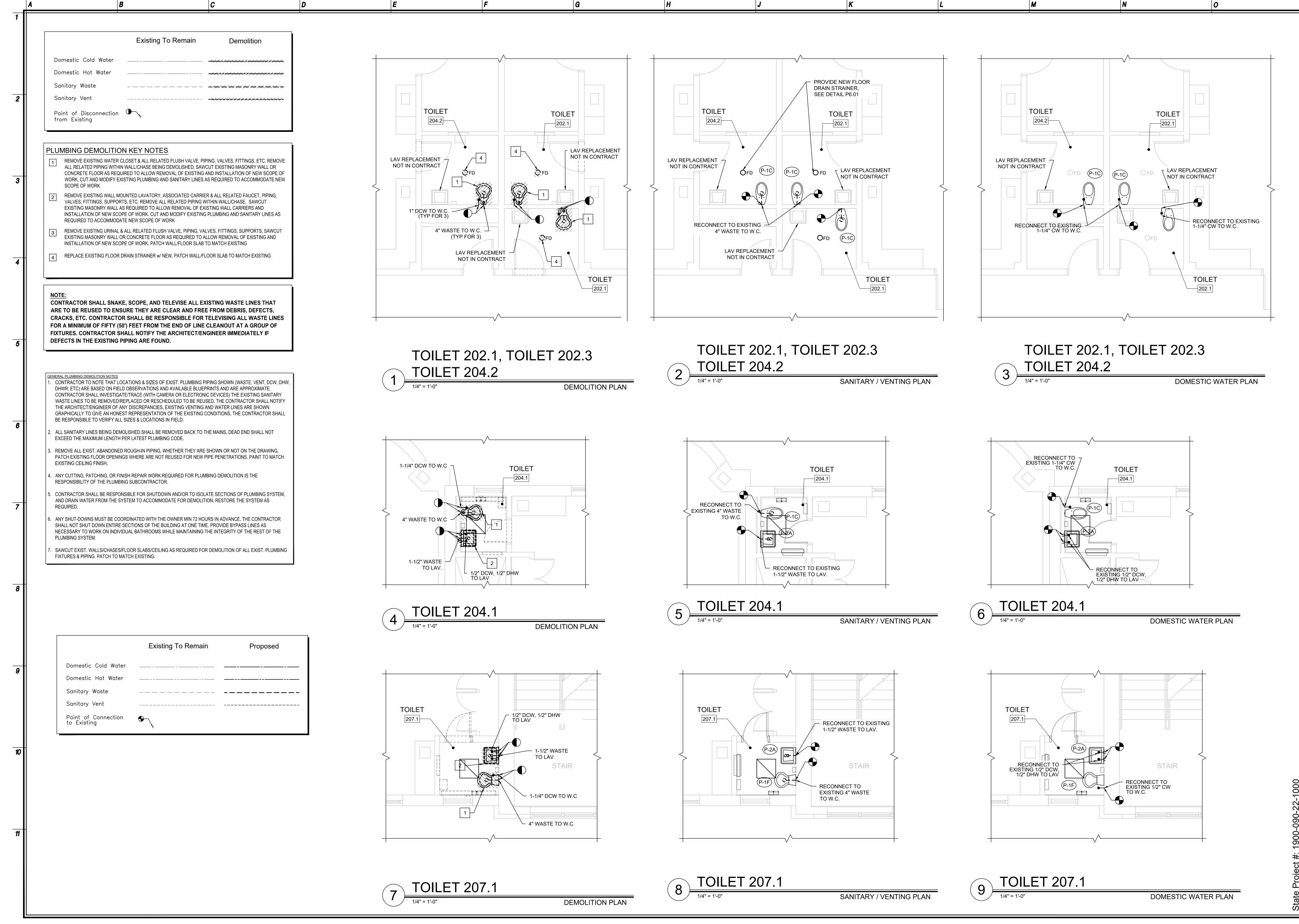
NJ Certificate of Authorization

Revisions:

12/14/2022

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Job No. 20277.14 File No. 20277.14JFTES-P20



 NJ Certificate of Authorization

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 Arch. Nos.
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Revisions:

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		Existing To Remain	Demolition
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Sa	nitary Vent		
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PLUI	MBING DEMOLITION	N KEY NOTES	
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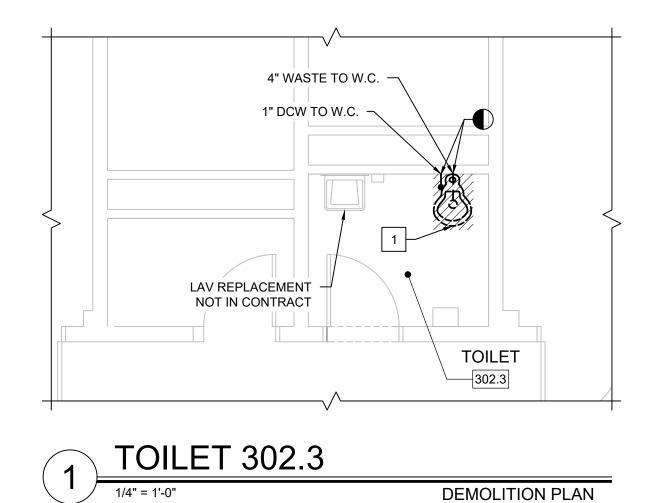
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	Existing To Remain	Proposed
Domestic Cold Water		
Domestic Hot Water		
Sanitary Waste		
Sanitary Vent		
Point of Connection to Existing		



RECONNECT TO EXISTING -4" WASTE TO W.C. LAV REPLACEMENT NOT IN CONTRACT TOILET 302.3

**TOILET 302.3** SANITARY / VENTING PLAN LAV REPLACEMENT NOT IN CONTRACT TOILET 302.3

**TOILET 302.3** 

DOMESTIC WATER PLAN

**Revisions:** 

NJ Certificate of Authorization

12/14/2022

ISSUED FOR BID

Job No. 20277.14 File No. 20277.14JFTES-P20

PLUMBING FIXTURE SCHEDULE															
NUMBER	FIXTURE	MANUFACTURER	MODEL NO.	TRIM NO.	SUPPLY PIPE NO.	TRAP NO.	SUPPORT NO.	TRAP	PIP WASTE	PE SIZES VENT	DCW	DHW	DFU	WSFU	NOTES
P-1 (P-1A)	WATER CLOSET	AMERICAN STANDARD	AFWALL 3351.101	A.S. SELECTRONTIC 6065.121.002	-	-	J.R. SMITH 0210Y-M54	INTEGRAL	4"	2"	1-1/4"	-	4	5	WALL-MOUNTED ELONGATED FLUSH VALVE TOILET W/ EVERCLEAN, TOP SPUD & 1.28 GPF. COLOR SHALL BE WHITE. PROVIDE W/ AMERICAN STANDARD #5901.100 HEAVY-DUTY OPEN FRONT SEATLESS COVER, SELECTRONIC EVERCLEAN SENSOR ACTIVATED FLUSHOMETER (BATTERY OPERATED).
(P-1C) (P-1D)	WATER CLOSET	AMERICAN STANDARD	MADERA 3451.528	A.S. SELECTRONTIC 6065.121.002	-	-	FLOOR MOUNTED	INTEGRAL	4"	2"	1-1/4"	-	4	5	FLOOR-MOUNTED ELONGATED FLUSH VALVE TOILET W/ EVERCLEAN, TOP SPUD & 1.28 GPF. COLOR SHALL BE WHITE. PROVIDE W/ AMERICAN STANDARD #5901.100 HEAVY-DUTY OPEN FRONT SEATLESS COVER, SELECTRONIC EVERCLEAN SENSOR ACTIVATED FLUSHOMETER (BATTERY OPERATED). P.1D INSTALL TO MEET ADA REQUIREMENTS.
(P-1E)	KINDERGARTEN WATER CLOSET	AMERICAN STANDARD	BABY DEVERO 2282.001	A.S. SELECTRONTIC 6065.121.002	-	-	FLOOR MOUNTED	INTEGRAL	4"	2"	1-1/4"	-	4	5	"KINDERGARTEN HEIGHT" FLOOR-MOUNTED ELONGATED FLUSH VALVE TOILET W/ EVERCLEAN, TOP SPUD & 1.28 GPF. COLOR SHALL BE WHITE. PROVIDE W/ AMERICAN STANDARD #5901.100 HEAVY-DUTY OPEN FRONT SEATLESS COVER, SELECTRONIC EVERCLEAN SENSOR ACTIVATED FLUSHOMETER (BATTERY OPERATED).
P-1F)	WATER CLOSET (TANK)	AMERICAN STANDARD	CADET 2467.016.020	-	-	-	FLOOR MOUNTED	INTEGRAL	4"	2"	1/2"	-	4	5	FLOOR-MOUNTED ELONGATED PRESSURE ASSIST TANK TOILET . COLOR SHALL BE WHITE. PROVIDE W/ AMERICAN STANDARD #5901.100 HEAVY-DUTY OPEN FRONT SEATLESS COVER.
(P-2A)	SINGLE LAVATORY SINK	BRADLEY	LVSD1	S53-3000 SERIES R-T-3-PC-BA 6-3000 SERIES R-F-T-BA	MCGUIRE LF158	MCGUIRE 8902C	WALL MOUNTED	1-1/4" x 1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	1	1	SNGLE-STATION WALL MOUNTED LAV SYSTEM W/ ENCLOSURE. COLOR SHALL BE, & MOUNTING WALL BRACKETS. PROVIDE ADEQUATE STRUCTURAL SUPPORT IN OR BEHIND THE WALL AS REQUIRED. INSTALL TO MEET ADA REQUIREMENTS. INSULATE WATER AND WASTE WITH ADA INSULATION KIT.
P-2B	2-STATION LAVATORY SYSTEM SINK	BRADLEY	LVSD2	S53-3000 SERIES R-T-3-PC-BA 6-3000 SERIES R-F-T-BA	MCGUIRE LF158	MCGUIRE 8902C	WALL MOUNTED	1-1/4" x 1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	2	2	2-STATION WALL MOUNTED LAV SYSTEM W/ ENCLOSURE. COLOR SHALL BE, & MOUNTING WALL BRACKETS. PROVIDE ADEQUATE STRUCTURAL SUPPORT IN OR BEHIND THE WALL AS REQUIRED. INSTALL TO MEET ADA REQUIREMENTS. INSULATE WATER AND WASTE WITH ADA INSULATION KIT.
P-2C)	3-STATION LAVATORY SYSTEM SINK	BRADLEY	LVSD3	S53-3000 SERIES R-T-3-PC-BA 6-3000 SERIES R-F-T-BA	MCGUIRE LF158	MCGUIRE 8902C	WALL MOUNTED	1-1/4" x 1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	3	3	3-STATION WALL MOUNTED LAV SYSTEM W/ ENCLOSURE. COLOR SHALL BE, & MOUNTING WALL BRACKETS. PROVIDE ADEQUATE STRUCTURAL SUPPORT IN OR BEHIND THE WALL AS REQUIRED. INSTALL TO MEET ADA REQUIREMENTS. INSULATE WATER AND WASTE WITH ADA INSULATION KIT.
P-3 (P-3A)	URINAL	AMERICAN STANDARD	WASHBROOK 6590.001EC	-	-	-	J.R. SMITH 0637	INTERGRAL	2"	2"	3/4"	-	4	4	WALL-HUNG URINAL W/ 3/4" INLET SPUD, EVERCLEAN & 0.5 GPF. COLOR SHALL BE WHITE. PROVIDE W/ SLOAN SENSOR ACTIVATED FLUSHOMETER & TRANSFORMER #EL-154 FOR EACH FIXTURE. (P-2A) INSTALL TO MEET ADA REQUIREMENTS.

## PLUMBING SYSTEM MATERIALS

WASTE & VENT PIPING BELOW GRADE SHALL BE SERVICE WEIGHT CAST IRON PIPE WITH GASKETS. ABOVE GRADE SHALL BE NO-HUB SERVICE WEIGHT CAST IRON PIPE WITH STAINLESS STEEL SHIELDED

DOMESTIC HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE TYPE "L" COPPER WITH WROUGHT COPPER SOLDERED FITTINGS (LEAD-FREE SOLDER). BELOW GRADE SHALL BE TYPE "K" COPPER WITH NO FITTINGS. PROPRESS TYPE OR GROOVED TYPE FITTINGS ARE NOT ACCEPTABLE.

ALL HOT AND COLD WATER PIPING SHALL BE INSULATED WITH FIBERGLASS PIPE INSULATION WITH ASJ JACKET. REFER TO SPECIFICATIONS FOR INSULATION THICKNESS.

FLOOR: J.R. SMITH #4020 W/ ROUND NICKEL-BRONZE TOP.

WALL: J.R. SMITH #4532 W/ ROUND STAINLESS STEEL TOP.

### WATER HAMMER ARRESTORS:

J.R. SMITH SERIES 5000 "HYDROTROL" W/ ALL STAINLESS STEEL CONSTRUCTION OR APPROVED EQUAL. REFER TO BELOW CHART FOR SIZING & PLACEMENT.

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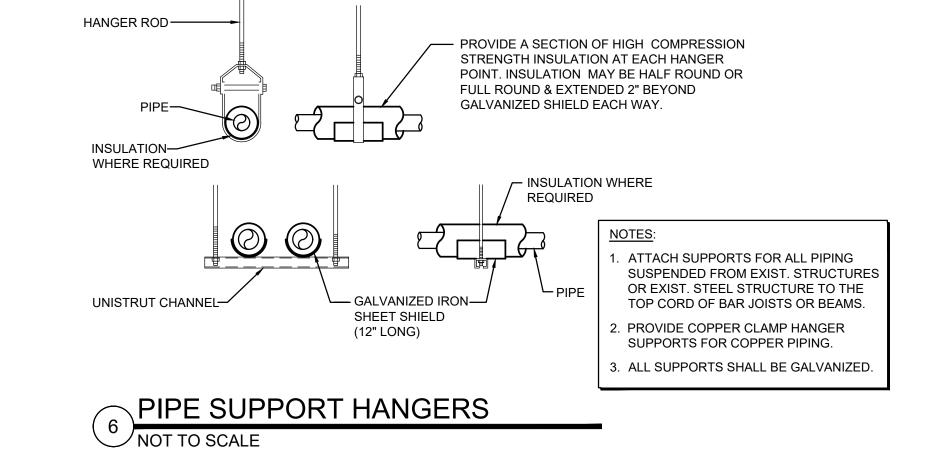
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File No. 20277.14EHES-P601 P6.01



1. Floor or Wall Assembly - Min 5-½ in. thick reinforced lightweight or normal weight (100-150 pcf) concrete. Wall may also be constructed of any UL Classified Concrete Blocks\*. Max dia. of opening is 14 in. See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.

2. Through Penetrants - One metallic pipe or tubing to be installed either concentrically or eccentrecally within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly.

3. Pipe Covering\* - Cellular Glass Insulation - Max 3 in. thick cellular glass units sized to the outside diam. of the steel pipe and supplied in nom 24 in. long half sections or nom 18 in. long segments. The annular space shall be min 0 in. (point contact) to max 2 in. Pipe insulation installed on pipe in accordance with the manufacturer's instructions. PITTSBURGH CORING CORP - FOAMGLAS

4. Metal Jacket - Min. 12 in. long jacket formed on min. 0.010 in. thick steel or aluminum sheet cut to wrap tightly around the pipe insulation with a min. 2 in. lap. Jacket secured with min. ½ in. wide stainless steel hose clamps or bands located within 2 in. of each end of the jacket and spaced a max. of 10 in. O.C.

Jacket to be installed with edges abutting surface of caulk fill material (Item 5) on both surfaces of wall. Metal jacket to be used in addition to any other jacketing material which may be required to or desired on the pipe

5. Firestop System - The firestop system shall consist of the following: A Packaging Material - Min 5 in. thickness of min. 4 pcf mineral woll batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as a permanent form. Facking material to be recessed from top surface of floor of from both surfaces of war as required to accommodate the required thickness of fill material.

B Fill, Void or Cavity Material\* - Sealant - Min. ½ in. thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall. At point contact location between penetrant and periphery of opening, a min  $rac{1}{2}$  in. diam. bead of fill material shall be applied at the periphery of opening/pipe covering interface on top surface of floor assembly or both surfaces of wall assembly. JOHNS MANVILLE INTERNATIONAL INC - Firetemp \*Bearing the UL Classification Mark

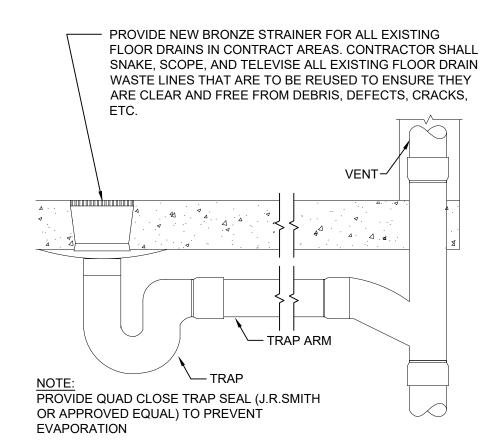
## TYPICAL PIPE PENETRATION (ALL LOCATIONS)

NOT TO SCALE

UL SYSTEM NO. C-BJ-5011

F RATING - 2 HR. T RATING - 2 HR.

2-HOUR RATED



## FLOOR DRAIN ALTERATIONS

NOT TO SCALE