

Alternations to 2590 Nottingham Way, Hamilton Township,

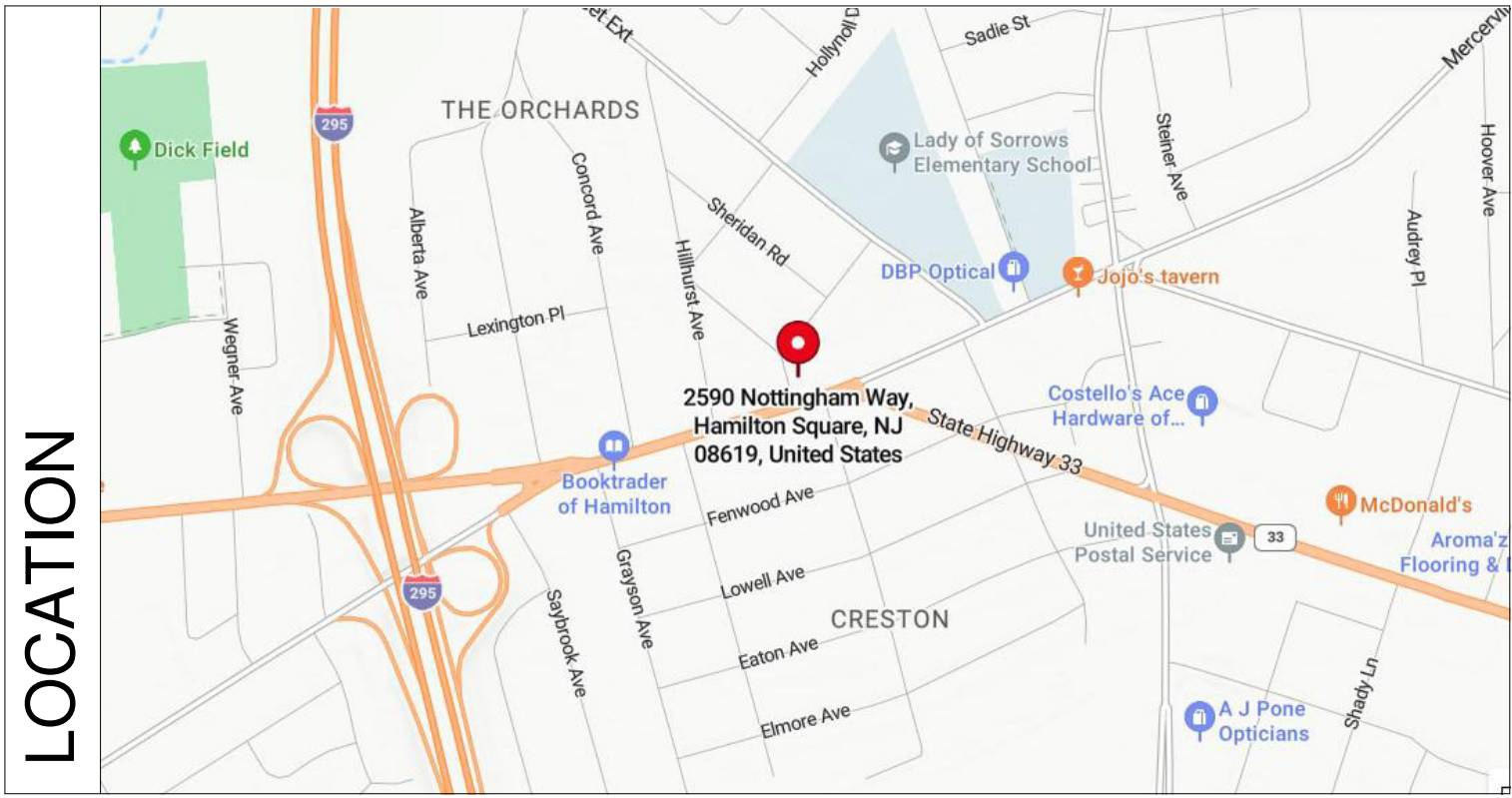
Sheet List				
Sheet Number	Sheet Name	Issue #1	Issue #2	Issue #3
T-1	Title Sheet			
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A-1	Proposed Floor Plan			
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Building data	
USE GROUP:	R-5, RESIDENTIAL
CONSTRUCTION TYPE:	VB
WORK AREA:	GROSS AREA
FIRST FLOOR	2710 SF
TOTAL	2710 SF

CODE INFORMATION	
2021 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION	
2021 INTERNATIONAL PLUMBING CODE	
2020 NATIONAL ELECTRICAL CODE (NFPA 70)	
2021 INTERNATIONAL MECHANICAL CODE	
NUJCC REHABILITATION SUBCODE CHAPTER 6, 5:23-6.6 ALTERATIONS & 5:23 - 6:21 CHANGE OF USE	
CHANGE OF USE FROM B TO R-5	

Abbreviations

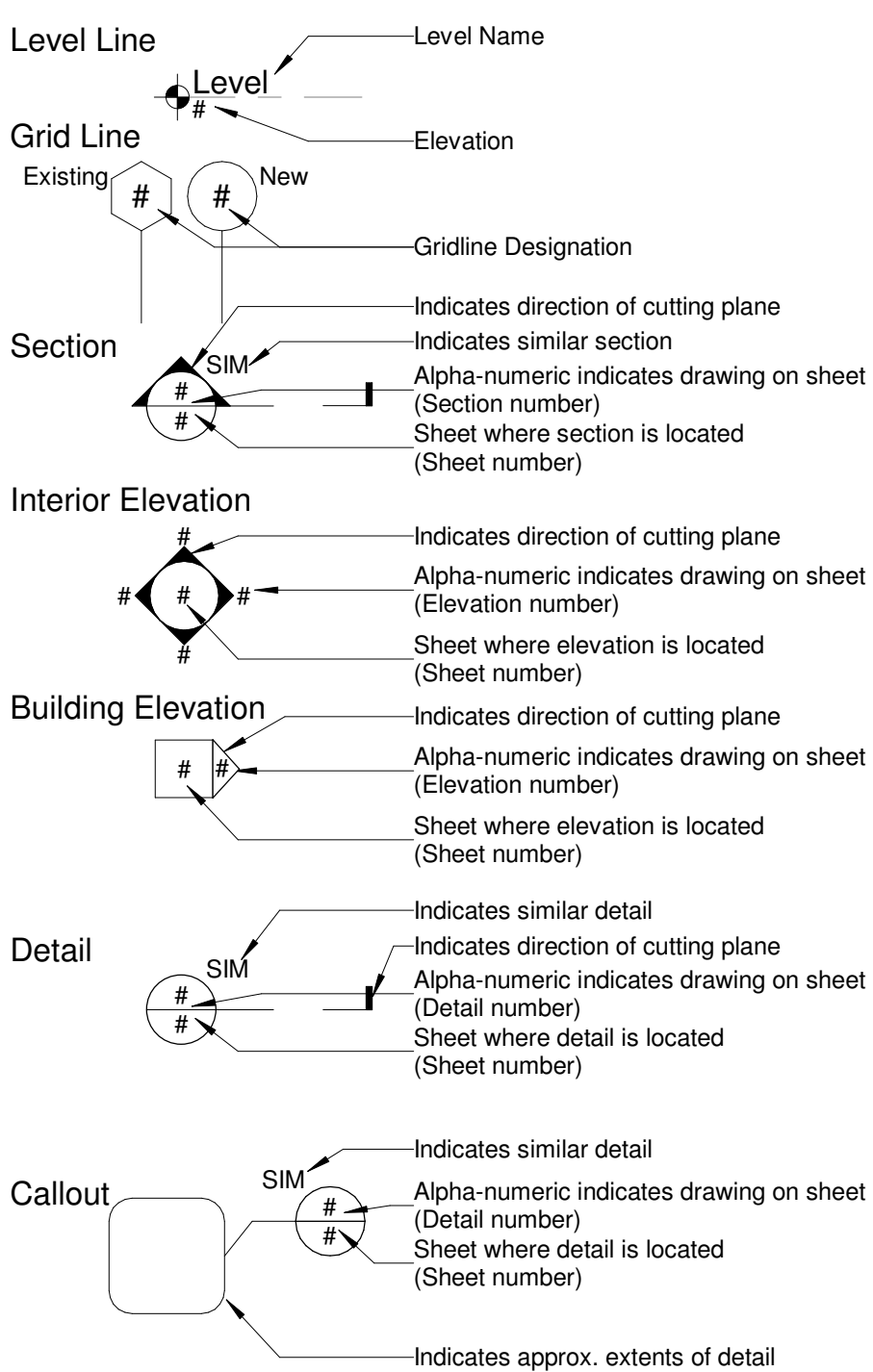
A ABV ACCOUST ADH AGGR A/C ALUM ANCH ANOD APRX ARCH AVG	ABOVE ABOVE FINISHED FLOOR ACOUSTICAL ADHESIVE AGGREGATE AIR CONDITIONING ALUMINUM ANCHOR, ANCHORAGE ANODIZED APPROXIMATE ARCHITECT (URAL) AVERAGE	J JC JT JF J	JANITORS CLOSET JOINT JOINT FILLER JOIST	E EA EAT ELEC EC EP EWC ELEV ENCL. EQ EQUIP EXH EF ESP EXIST ER E EXP EXT EW	EACH OR EXHAUST AIR ENTERING AIR TEMPERATURE ELECTRICAL ELECTRICAL CONTRACTOR ELECTRICAL PANELBOARD ELECTRIC WATER COOLER ELEVATION OR ELEVATOR ENCLOSURE EQUAL EQUIPMENT EXHAUST EXHAUST FAN EXTERNAL STATIC PRESSURE EXISTING EXISTING TO BE RELOCATED EXISTING TO REMAIN EXPOSED EXTERIOR EYE WASH	R RAD RD REF RFL REINF RESIL REV REQD RH RFG RM RO RPM RS RWC	RADIUS ROOF DRAIN REFER, REFERENCE OR REFRIGERATOR REFLECT(ED) REINFORCE(D), REINFORCING RESILIENT REVISION, REVISED REQUIRED RIGHT HAND ROOFING ROOM ROUGH OPENING ROTATIONS PER MINUTE REFRIGERANT SUCTION LINE RAIN WATER CONDUCTOR
B BSMT BRG BLW BTW BVL BHP BIT BLK BLKG BD BO BLDG	BASEMENT BEARING BELOW BETWEEN BEVELED BRAKE HORSE POWER BITUMINOUS BLOCK BLOCKING BOARD BOTTOM OF BUILDING	K KIT KW	KITCHEN KILOWATTS	L LAT LBL LAM LAV LH L LL LRA LT LF LP	LEAVING AIR TEMPERATURE LABEL LAMINATE(D) LAVATORY LEFT HAND LENGTH, LONG REFRIGERANT LIQUID LINE LOCKED ROTOR AMPS LIGHT LINEAIL FOOT LOW POINT	F FL FLR FD FIN FF FLSHG FLUR FT FTG FOUND FPM FRMG FR GL FV	FLOOR FLOOR OR FLOORING FLOOR DRAIN FINISH, FINISHED FINISHED FLOOR FLASHING FLUORESCENT FEET, FOOT FOOTING FOUNDATION FEET PER MINUTE FRAMING, FRAME FOSTED GLASS FIELD VERIFY
C CSMT CS CLG CH CEM CL CER CT CIR CO COL CONC CMU CONST CONT CONTR CJ CORR CT CU CFM CW CYD	CASEMENT CAST STONE CEILING CEILING HEIGHT CEMENT CENTER LINE CERAMIC CERAMIC TILE CIRCLE CLEAN OUT COLUMN CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS, CONTINUE CONTRACTOR CONTROL JOINT CORRUGATED COUNTER CUBIC CUBIC FEET PER MINUTE COLD WATER CUBIC YARD	M MFR MAS MO MAT MECH MC MTL M MIN MISC MR MT	MANUFACTURE(R) MASONRY MASONRY OPENING MATERIAL(S) MAXIMUM MECHANICAL MECHANICAL CONTRACTOR METAL METER(S) MINIMUM MISCELLANEOUS MOP RECEPTOR MOUNT(ED), MOUNTING	N NRC NOIM NIC NTS	NOISE REDUCTION COEFFICIENT NOMINAL NOT IN CONTRACT NOT TO SCALE	G GA GAL GALV GC GFP GL GPM GRD GWB	GAGE, GAUGE GALLONS GALVANIZED GENERAL CONTRACTOR GOVERNMENT FURNISHED PROPERTY GLASS, GLAZING GALLONS PER MINUTE GRADE, GRADING GYPSUM WALL BOARD
D DEMO DEPR DTL DIAG DAM DIM DW DIV DN DR DH DS DB DWG	DEMOLISH, DEMOLITION DEPRESSED DETAIL DIAGONAL DIAMETER DIMENSION DISHWASHER DIVISION DOWN DOOR DOUBLE HUNG DOWNSPOUT DRAWER BASE CABINET DRAWING	O OC OPG OPP OD OA	ON CENTER(S) OPENING OPPOSITE OUTSIDE DIAMETER/DIMENSION OVERALL OR OUTSIDE AIR	P PD PTD PNL PED PERF PERIM PLAS PL PC PLYD PT PVC PSI PREFAB PLAM	PRESSURE DROP PAINT(ED) PANEL PEDESTAL PERFORATE(D) PERIMETER PLASTER PLATE PLUMBING CONTRACTOR OR PRECAST PLYWOOD POINT OR PRESSURE TREATED POLYVINYL CHLORIDE POUNDS PER SQUARE INCH PREFABRICATE(D) PLASTIC LAMINATE (ON 3/4" SUBSTRATE UON)	H HB HDW HWD HDR HTG HVAC HT HM HORIZ HP HTW HW HWH HWR HWS	HOSE BIB HARDWARE HARDWOOD HEADER HEATING HEATING/VENTILATING/AIR CONDITIONING HEIGHT HOLLOW METAL HORIZONTAL HORSE POWER, HIGH POINT HIGH TEMPERATURE WATER HOT WATER HOT WATER HEATER HOT WATER RETURN HOT WATER SUPPLY
I INCL INFO ID INSUL INT	INCHES INCLUDE(D), INCLUDING INFORMATION INSIDE DIAMETER/DIMENSION INSULATE(D), INSULATION INTERIOR	U UON UR	UNLESS OTHERWISE NOTED URINAL	V VD VERT VIF VCT VT VTR	VOLUME DAMPER VERTICAL VERIFY IN FIELD VINYL COMPOSITION TILE VINYL TILE VENT THROUGH ROOM	W WH WF WSCOT WG WP WWF WB W WDW W/ W/O WD W/D	WATER HEATER WATER FOUNTAIN WAINSCOT WATER CLOSET WEATHERPROOF/WATERPROOF WELDED WIRE FABRIC WET BULB TEMPERATURE WIDTH, WIDE WINDOW WITH WITHOUT WOOD WASHER DRYER
Y YD	YARD(S)						



General Notes

- A KEYNOTING SYSTEM IS USED ON THE DRAWINGS FOR MATERIALS, REFERENCES, AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE SHEET FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE ON THE RESPECTIVE DRAWING.
- THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTOR'S OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- DO NOT SCALE DRAWINGS. EXISTING CONDITIONS MAY VARY. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING/SITE BEFORE BEGINNING WORK.
- ALL WORK INDICATED ON THESE DOCUMENTS HAS BEEN DESIGNED TO MEET THE NEW JERSEY UNIFORM CONSTRUCTION CODE, ALL SUB-CODES, AND KCI/ANSI A117.1-1992, CONTRACTOR TO PERFORM ALL WORK IN ACCORDANCE WITH ABOVE MENTIONED CODES, THE NATIONAL STANDARD PLUMBING CODE, AND THE NATIONAL ELECTRICAL CODE.

Conventions



Symbol Legend

	Earth		Stone
	Gravel		Spray Fireproofing
	Concrete		Masonry
	Rigid Insulation		Rough Wood
	Steel		Finished Wood
	Gypsum Wallboard		Concrete Masonry Unit
	Earth		Plywood
	Insulation		North Arrow (True)

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Project Number
24002.07

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12/18/2024

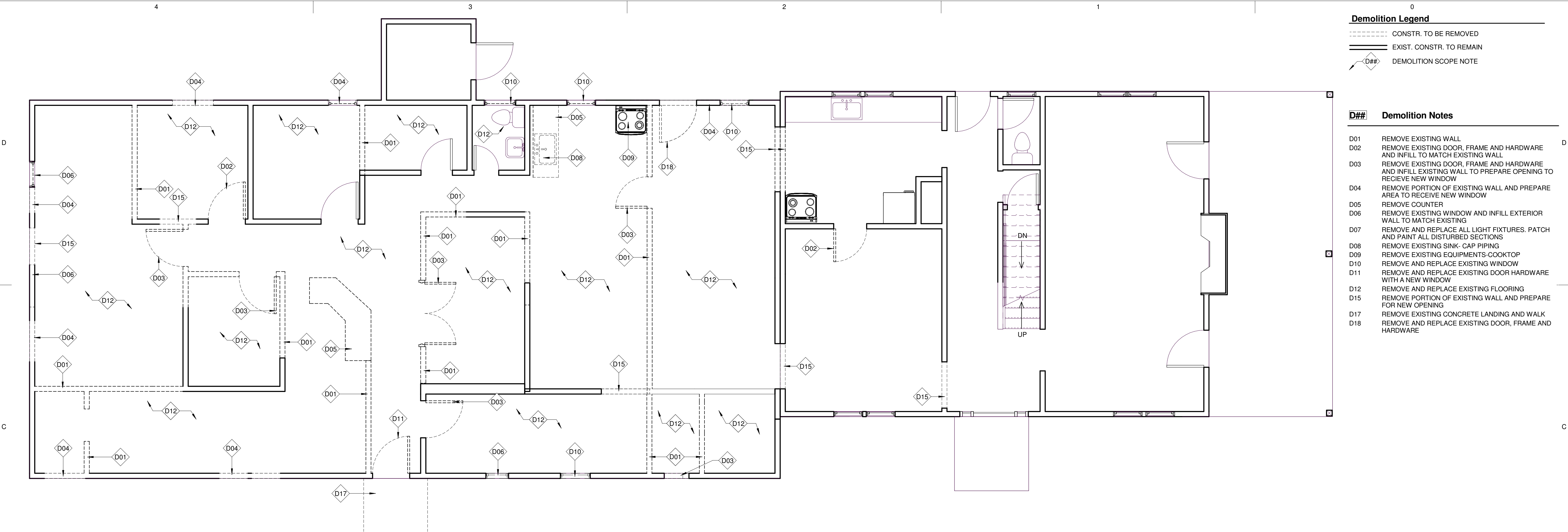
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Anthony Giorgio - AIA - NJ 07626

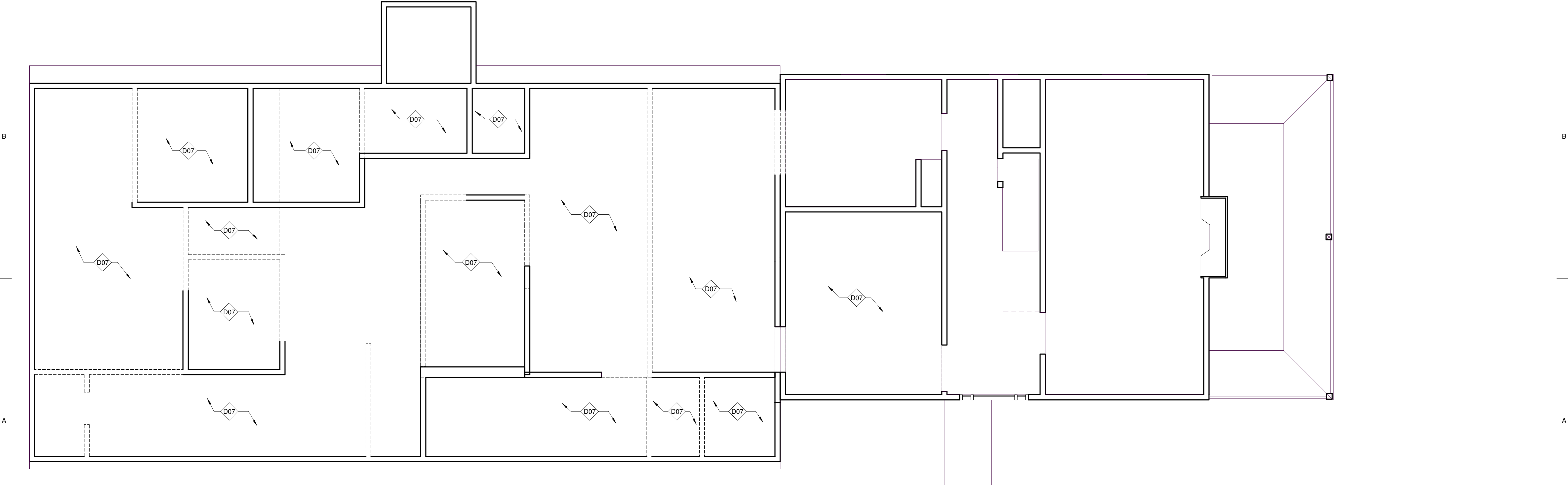
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Sheet Title
Title Sheet

Sheet No.
T-1



1 Demolition - First Floor Plan
1/4" = 1'-0"



2 Demolition - Reflected Ceiling Plan
1/4" = 1'-0"

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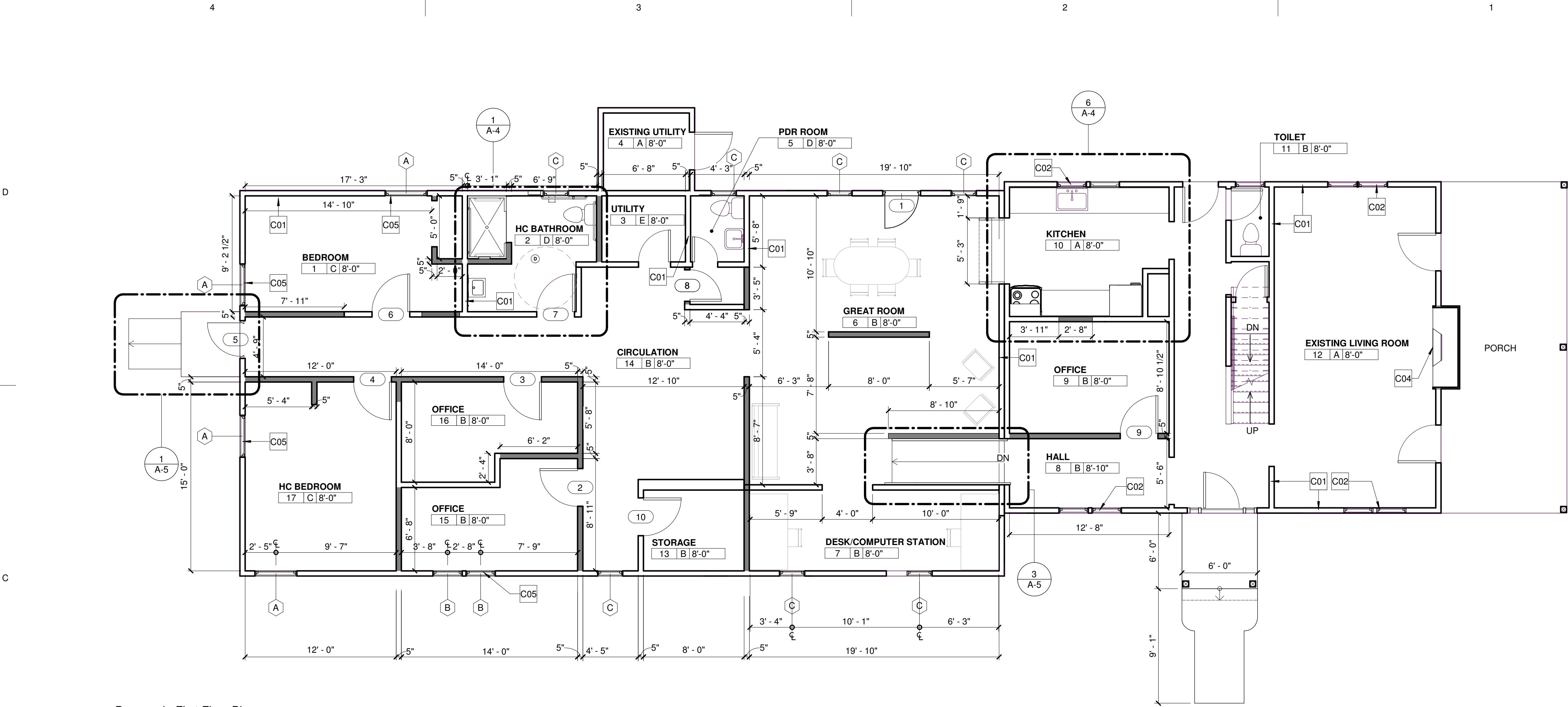
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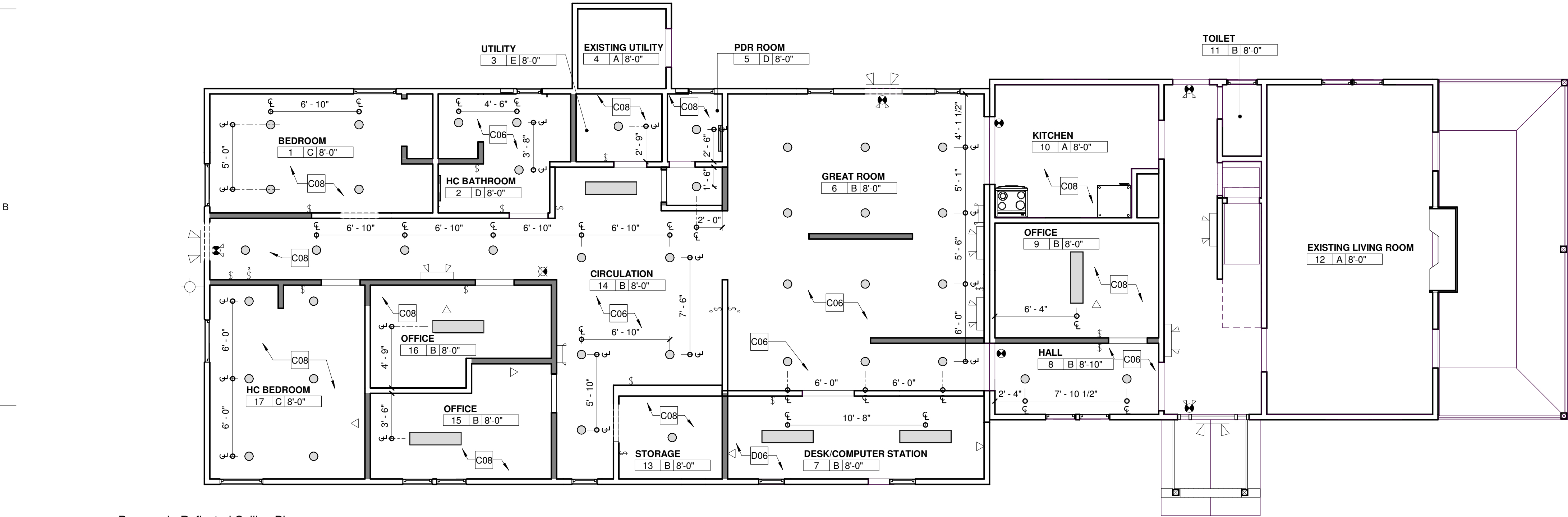
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Sheet Title
Demolition Plan

Sheet No.
D-1



1 Proposed - First Floor Plan
3/16" = 1'-0"



2 Proposed - Reflected Ceiling Plan
3/16" = 1'-0"

FINISHES SCHEDULE							
KEY	FLOOR	BASE	WALL MATERIAL	WALL FINISH	CEILING	CEILING FINISH	REMARKS
A	EXISTING	EXISTING	EXISTING GYPSUM WALLBOARD		EXISTING GYPSUM BOARD		PATCH AND PAINT ALL DISTURBED SURFACES
B	NEW LVT	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
C	NEW CARPET	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
D	CERAMIC TILE	CERAMIC TILE	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
E	CONCRETE	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES

Construction Legend

- NEW WALL CONSTR.
- EXIST. WALL CONSTR.

EXTERIOR WALL - INFILL OPENING WITH NEW 2" x 4" STUD WALL WITH R-13 BATT INSULATION, 1/2" GYPSUM WALL BOARD ON THE INTERIOR SIDE AND 1/2" PLYWOOD SHEATHING WITH HOUSE WRAP AND VINYL SIDING ON THE EXTERIOR TO MATCH EXISTING

INTERIOR WALL - NEW 2" x 4" WOOD STUD WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALL BOARD ON BOTH SIDES. USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS.

- C# CONSTRUCTION NOTE
- 11 WINDOW TAG

Legend

- NEW DUPLEX RECEPTACLE
- NEW GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE
- NEW DATA RECEPTACLE
- NEW SINGLE POLE SWITCH
- NEW 3 WAY SWITCH
- NEW DOWN LIGHT
- NEW WATER PROOF DOWN LIGHT
- NEW VANITY LIGHT
- NEW EXTERIOR WALL SCONCE
- NEW EMERGENCY LIGHT FIXTURE
- NEW REMOTE EMERGENCY LIGHT FIXTURE
- NEW 2X4 SURFACE MOUNTED LIGHT FIXTURE
- NEW EXIT SIGN
- NEW EXIT SIGN WITH EMERGENCY LIGHT

C## Construction Notes

- C01 EXISTING WALL TO REMAIN
- C02 EXISTING WINDOW AND FRAME TO REMAIN
- C04 CLOSE-UP FIREPLACE OPENING WITH WOOD STUDS & 1/2" GYPSUM WALLBOARD
- C05 INSTALL NEW WINDOW
- C06 INSTALL NEW CEILING
- C08 PATCH AND PAINT ALL DISTURBED SURFACES

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Architect

LAMMEY + GIORGIO
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Issue/Revision Date

Sheet Title

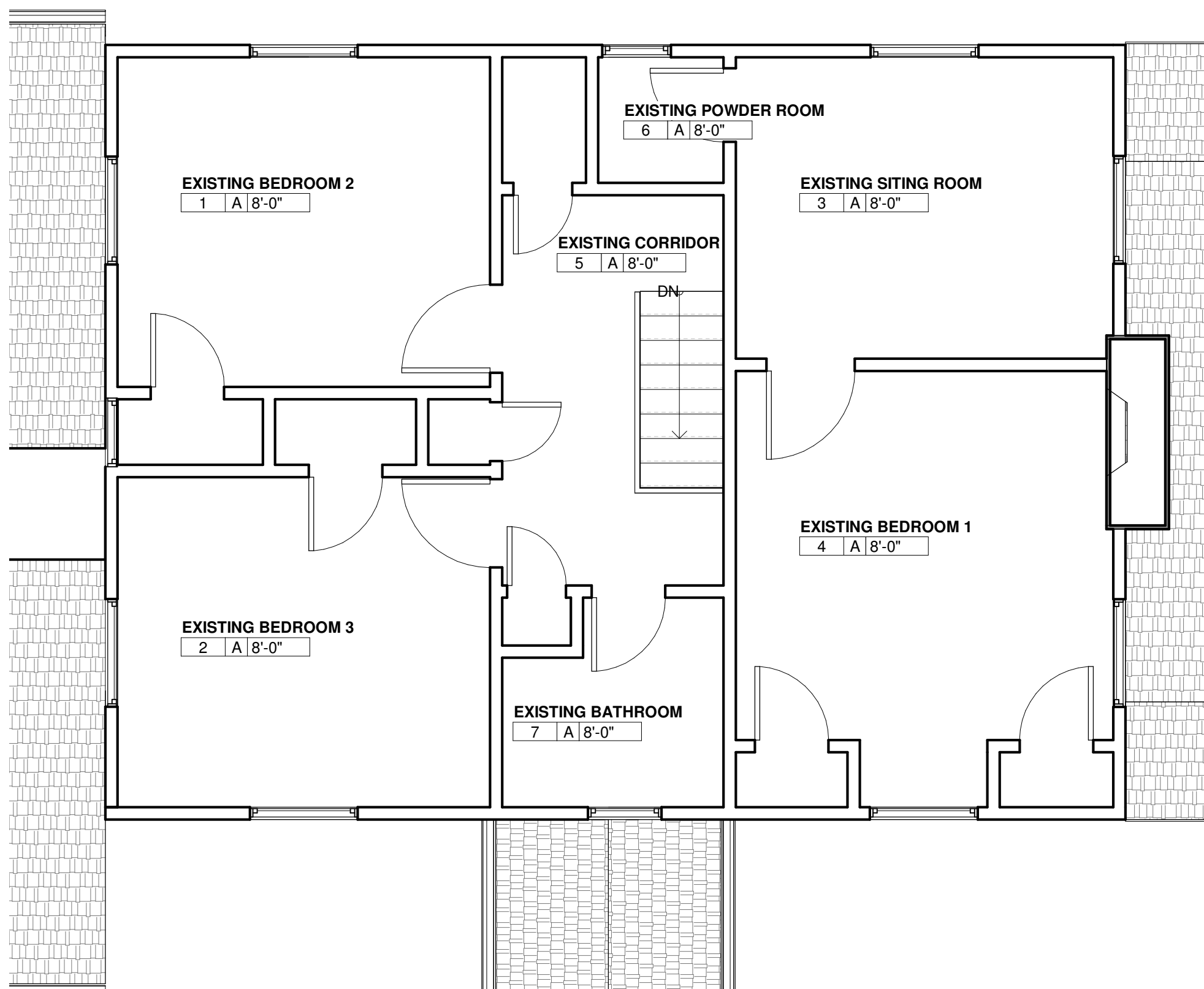
Proposed Floor Plan

Sheet No.

A-1

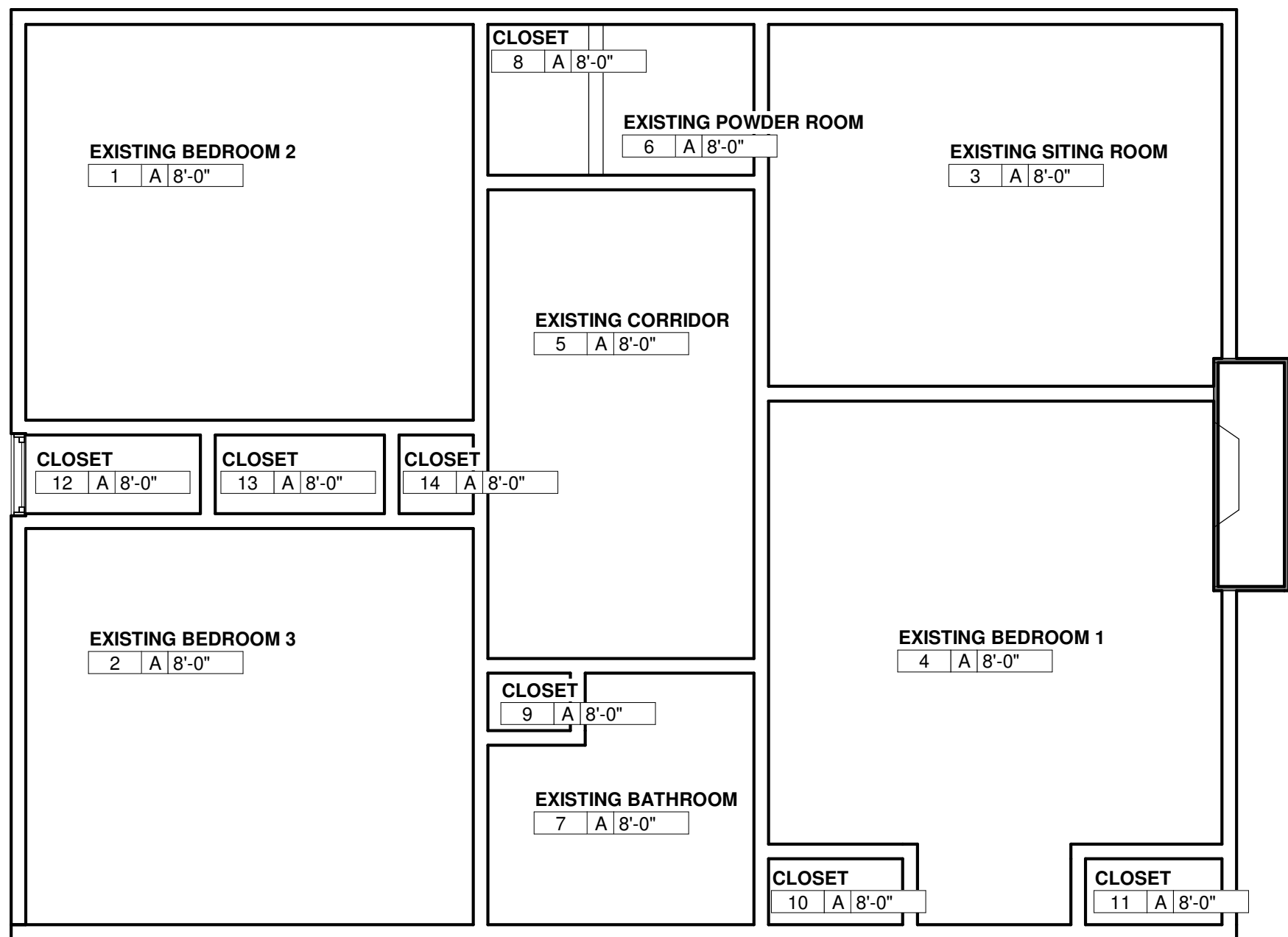
== EXIST. WALL CONSTR

NOTE: NO WORK IS INCLUDED ON THESE FLOORS. THE DRAWINGD ARE PROVIDED SOLEY FOR INFORMATION PURPOSE



① Second Floor Plan
1/4" = 1'-0"

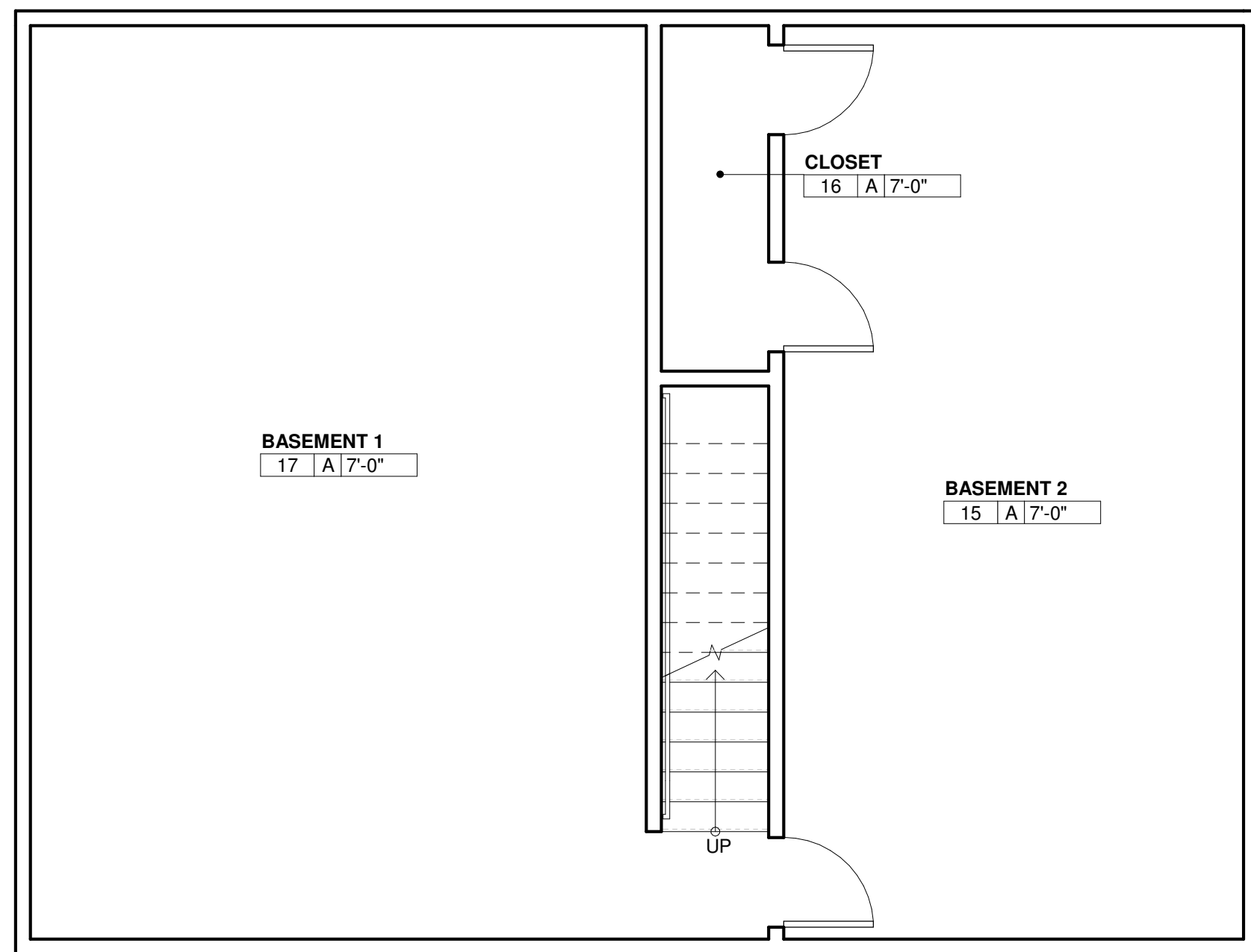
NO WORK



② Second Floor RCP
1/4" = 1'-0"

NO WORK

FINISHES SCHEDULE							
KEY	FLOOR	BASE	WALL MATERIAL	WALL FINISH	CEILING	CEILING FINISH	REMARKS
A	EXISTING	EXISTING	EXISTING GYPSUM WALLBOARD		EXISTING GYPSUM BOARD		PATCH AND PAINT ALL DISTURBED SURFACES
B	NEW LVT	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
C	NEW CARPET	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
D	CERAMIC TILE	CERAMIC TILE	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES
E	CONCRETE	NEW VCT	NEW & EXISTING GYPSUM WALLBOARD	PAINT	GYPSUM BOARD	PAINT	PATCH AND PAINT ALL DISTURBED SURFACES



③ Basement Plan
1/4" = 1'-0"

NO WORK

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Nottingham Way,
Hamilton Township**

Location

2590 Nottingham Way,
Hamilton Township, NJ

Project Number

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Date _____

2/18/2024

LAMMEY
+ **GIORGIO**

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Lammy + Giorgio
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Sheet Title

Proposed Second Floor Plan

Sheet No.

A-2

©Lammev + Giorgio 202



###.# Drawing Notes

6-U NEW 4-INCH VINYL SIDING TO MATCH EXISTING SIDING. CONTRACTOR TO REPLACE SIDING IN ITS ENTIRETY

① North Elevation
1/4" = 1'-0"
NOTE: SEE DRAWING F-1 FOR WINDOW AND DOOR HEADER INFORMATION

② South Elevation
1/4" = 1'-0"
NOTE: SEE DRAWING F-1 FOR WINDOW AND DOOR HEADER INFORMATION

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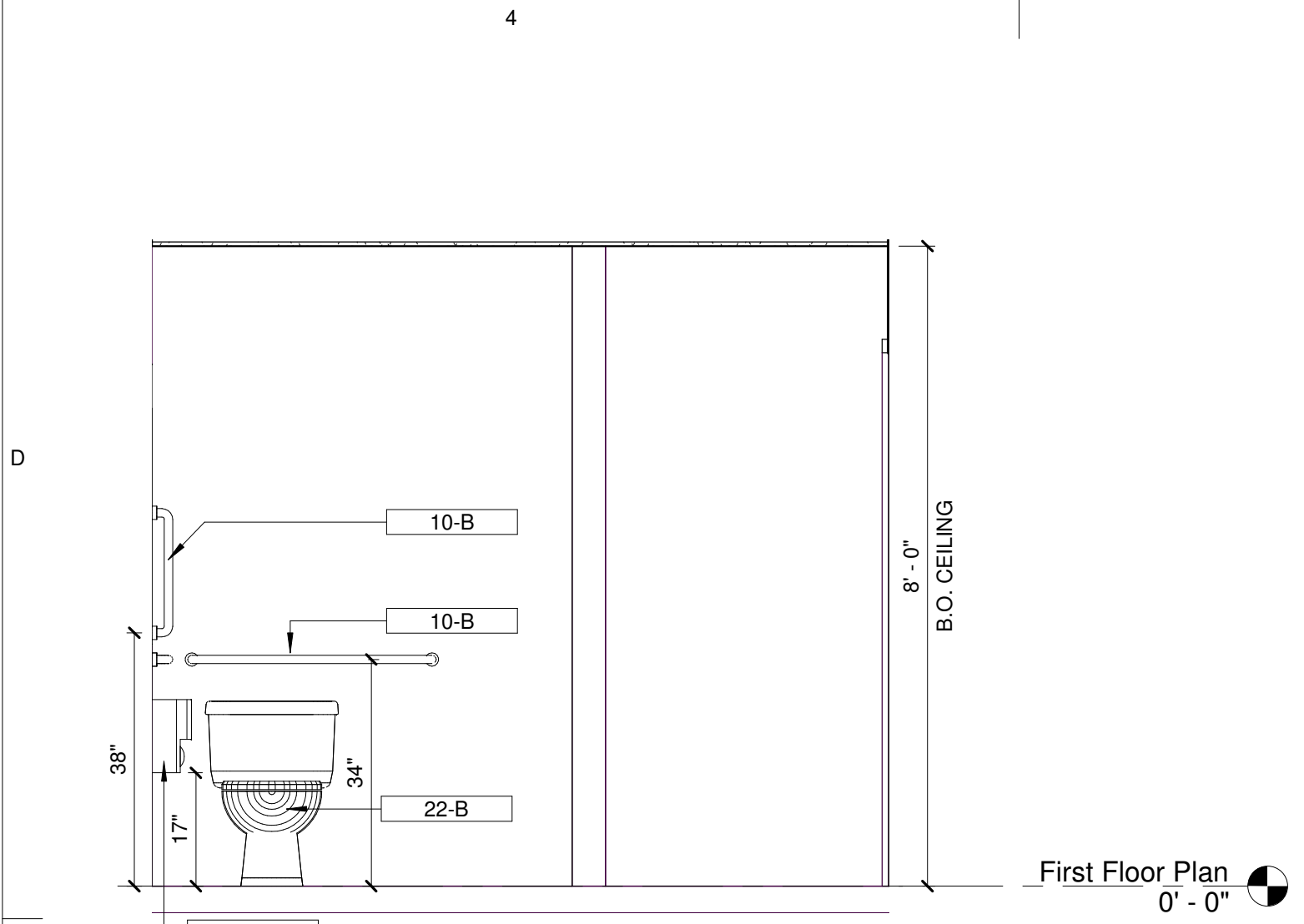
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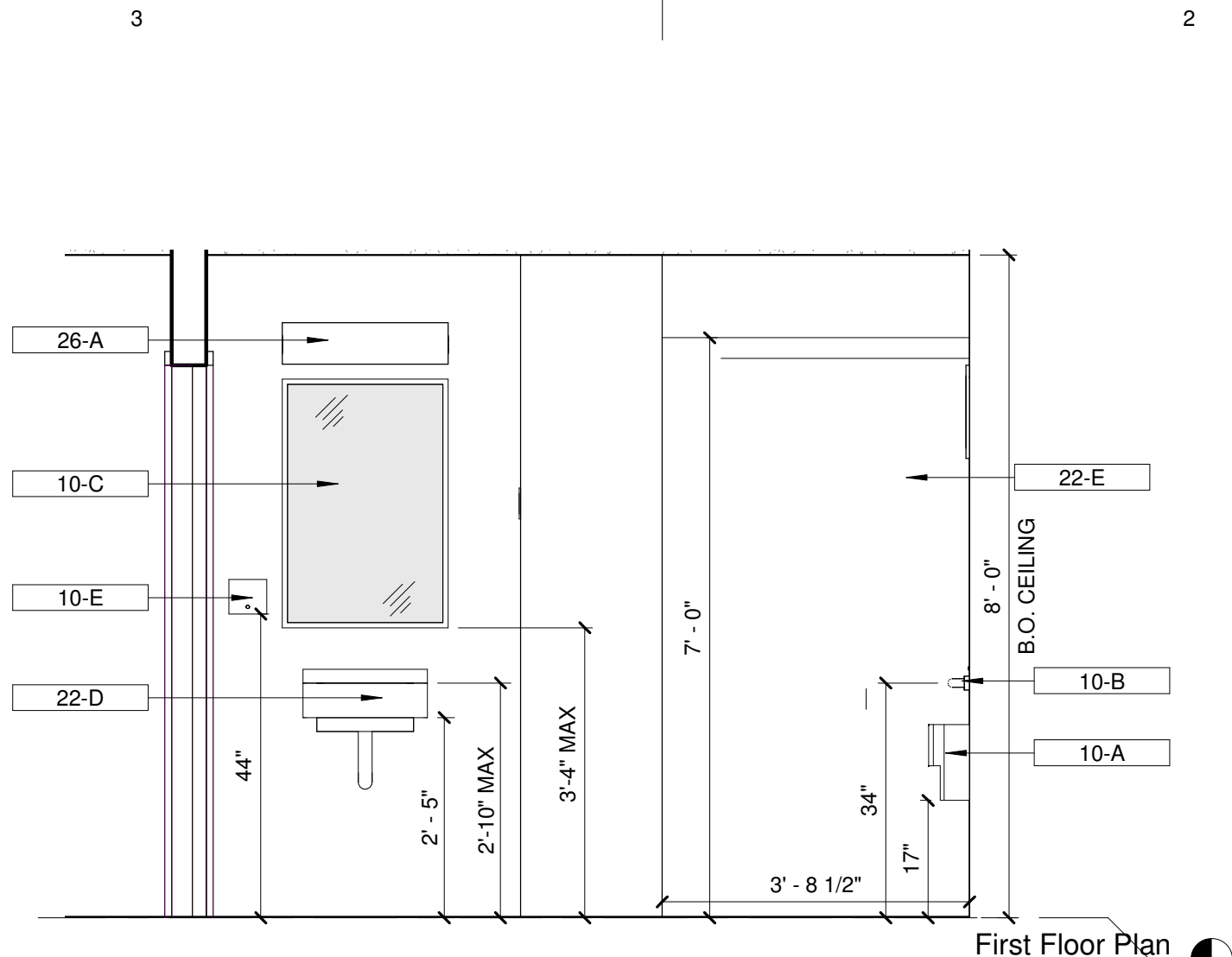
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Sheet Title
Elevations

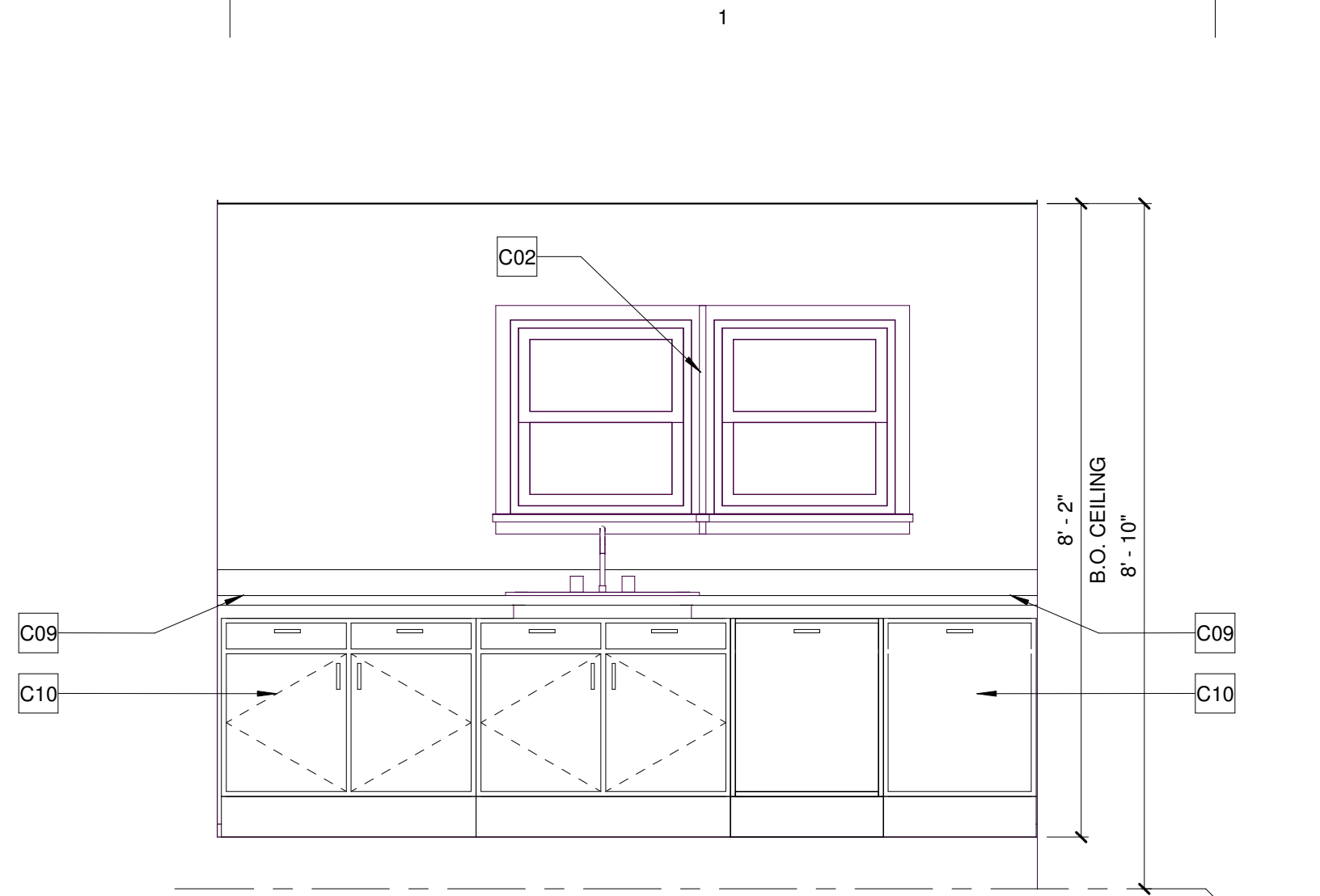
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A-3



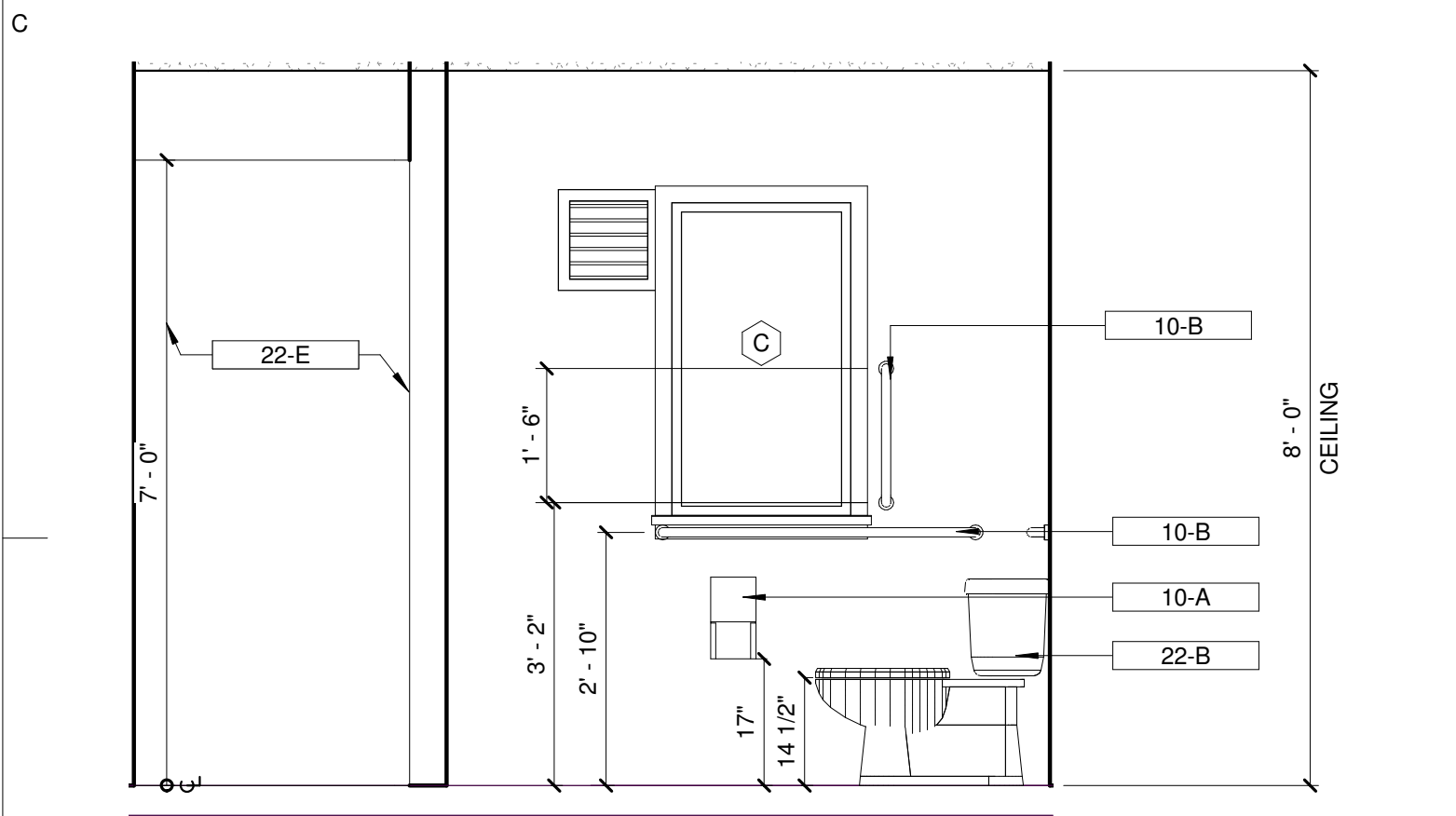
③ HC Bathroom Elevation - 3
1/2" = 1'-0"



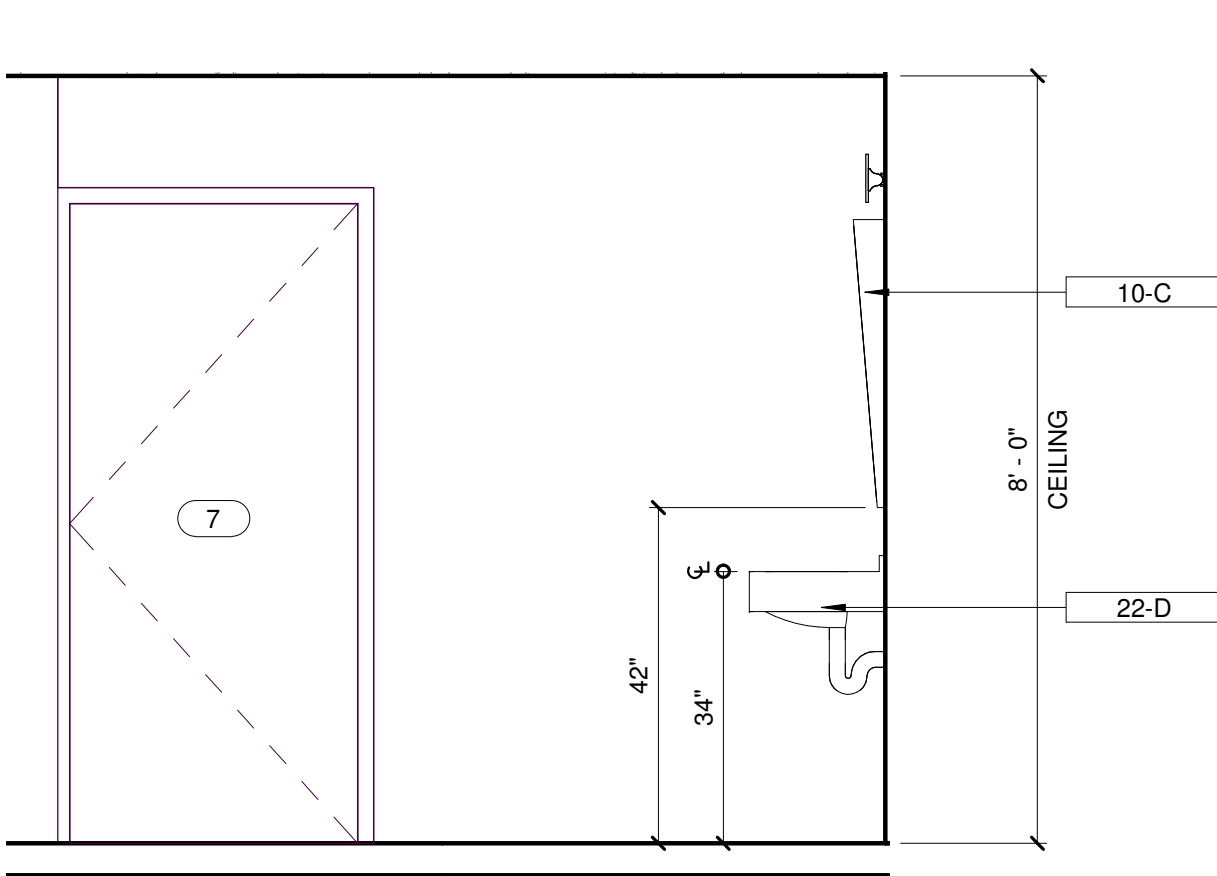
④ HC Bathroom Elevation - 4
1/2" = 1'-0"



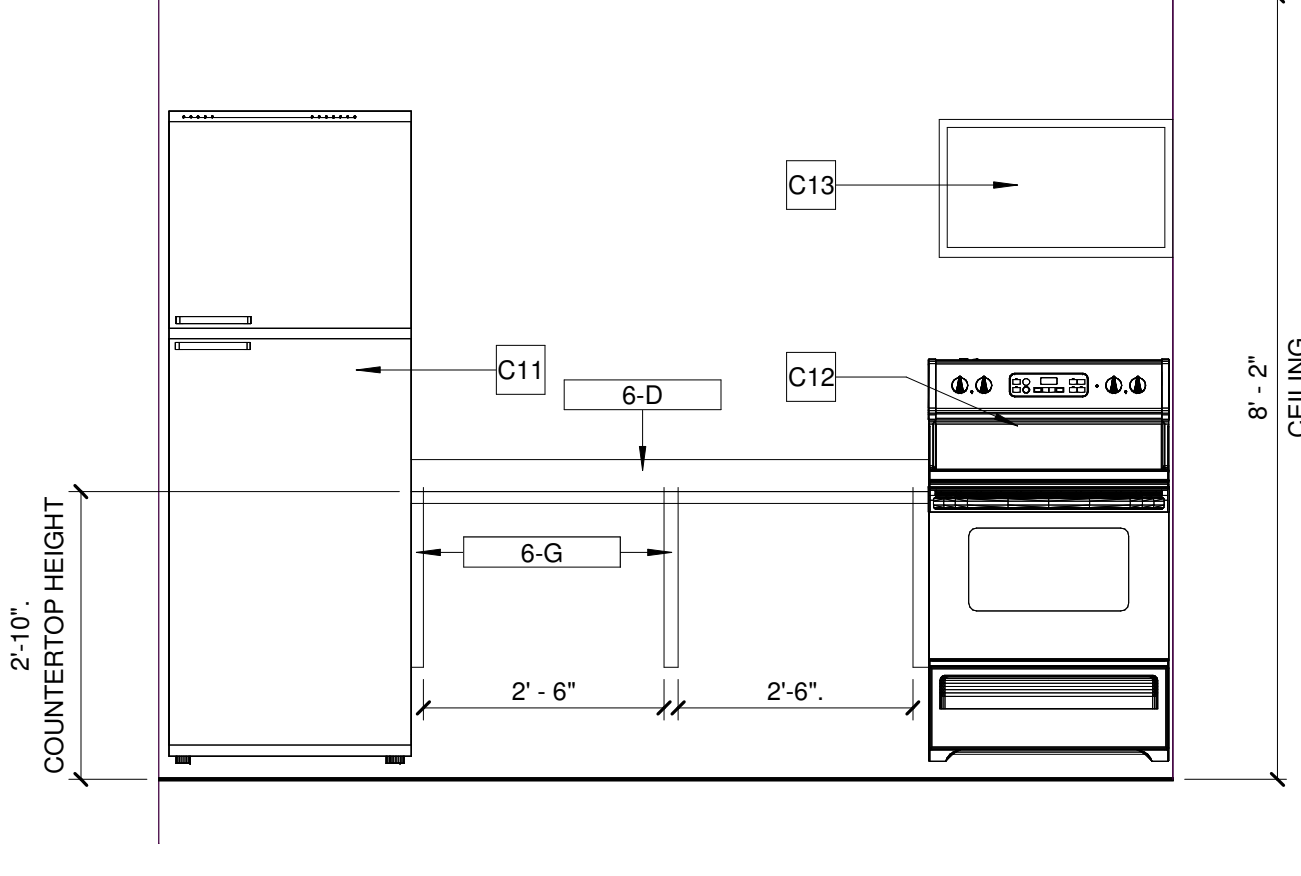
⑧ Kitchen Interior Elevation- 8
1/2" = 1'-0"



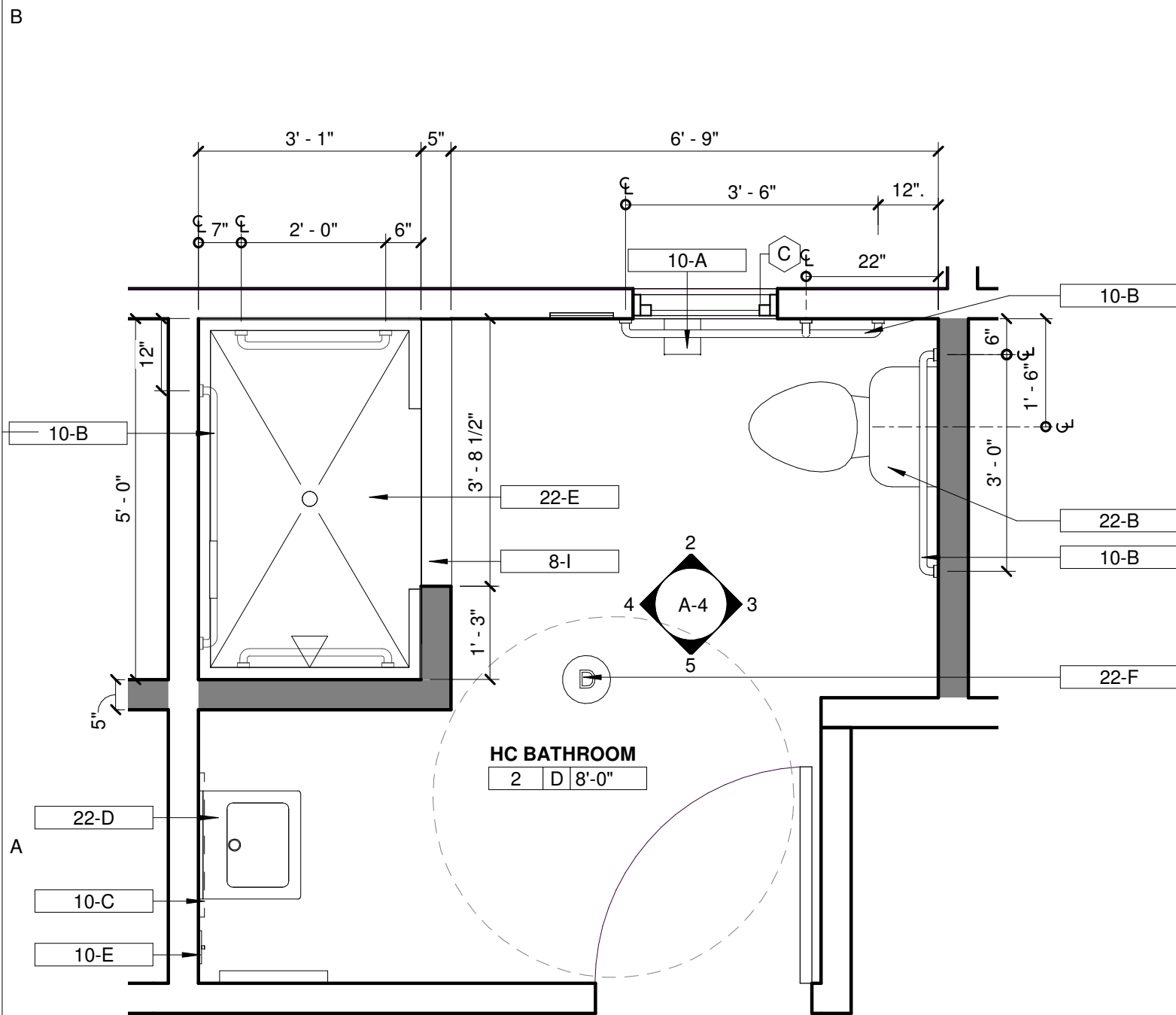
② HC Bathroom Elevation - 2
1/2" = 1'-0"



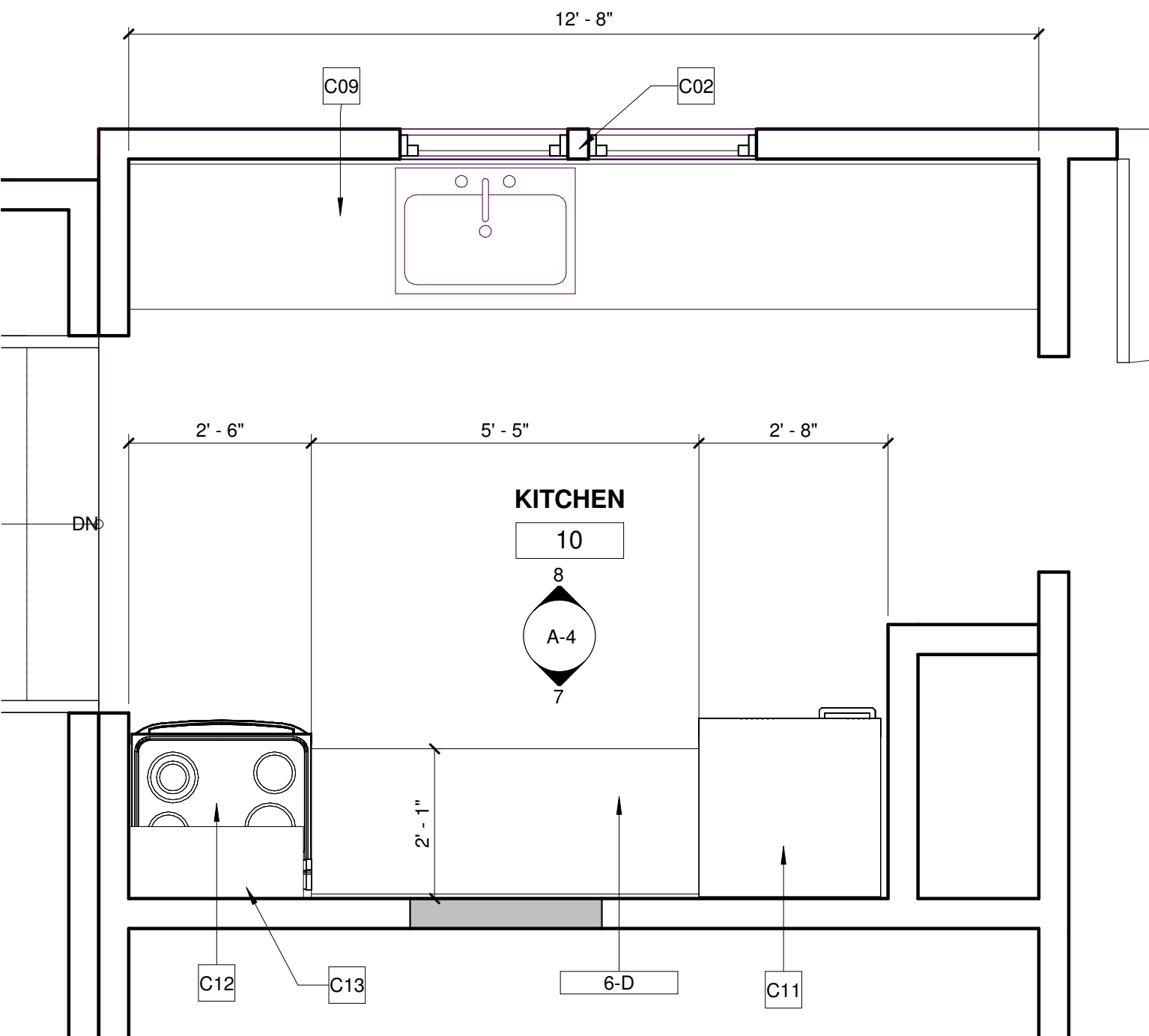
⑤ HC Bathroom Elevation - 5
1/2" = 1'-0"



⑦ Kitchen Interior Elevation- 7
1/2" = 1'-0"



① Enlarged HC Bathroom Plan
1/2" = 1'-0"



⑥ Enlarged Kitchen Plan
1/2" = 1'-0"

Construction Legend

- NEW WALL CONSTR.
EXIST. WALL CONSTR.

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INTERIOR WALL - NEW 2" X 4" WOOD STUD WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALL BOARD ON BOTH SIDES. USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS.

CONSTRUCTION NOTE

- WINDOW TAG

Drawing Notes

- 6-D NEW PLASTIC LAMINATE COUNTERTOP ON 3/4" PARTICLE BOARD WITH 4" HIGH BACKSPLASH
6-G NEW COUNTERTOP ANGLE SUPPORT WRAPPED IN PLASTIC LAMINATE
8-I NEW MARBLE SADDLE
10-A NEW TOILET TISSUE DISPENSER
10-B NEW 1 1/2" HANDICAP ACCESSIBLE GRAB BARS
10-C NEW HANDICAP ACCESSIBLE MIRROR
10-E NEW SOAP DISPENSER
22-B NEW HANDICAP ACCESSIBLE WATER CLOSET
22-D NEW HANDICAP ACCESSIBLE LAVATORY WITH INSULATED EXPOSED PIPING
22-E NEW HANDICAP ACCESSIBLE SHOWER
22-F NEW FLOOR DRAIN
26-A NEW 2'-0" SURFACE MOUNTED VANITY LIGHT FIXTURE

Construction Notes

- C02 EXISTING WINDOW AND FRAME TO REMAIN
C09 EXISTING COUNTER TOP
C10 EXISTING BASE CABINET
C11 EXISTING REFRIGERATOR
C12 EXISTING RANGE/OVEN WITH MICROWAVE HOOD
C13 EXISTING MICROWAVE HOOD

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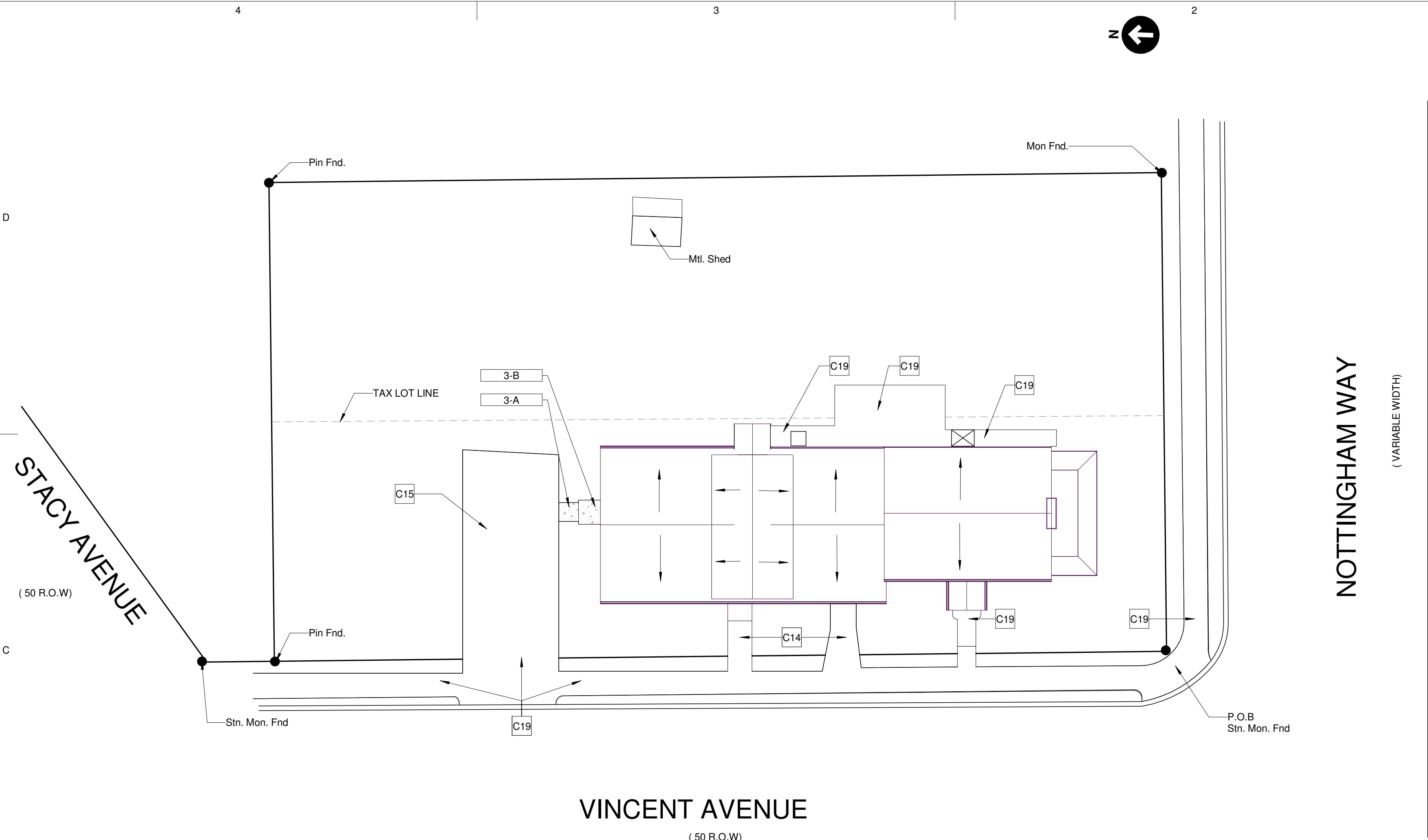
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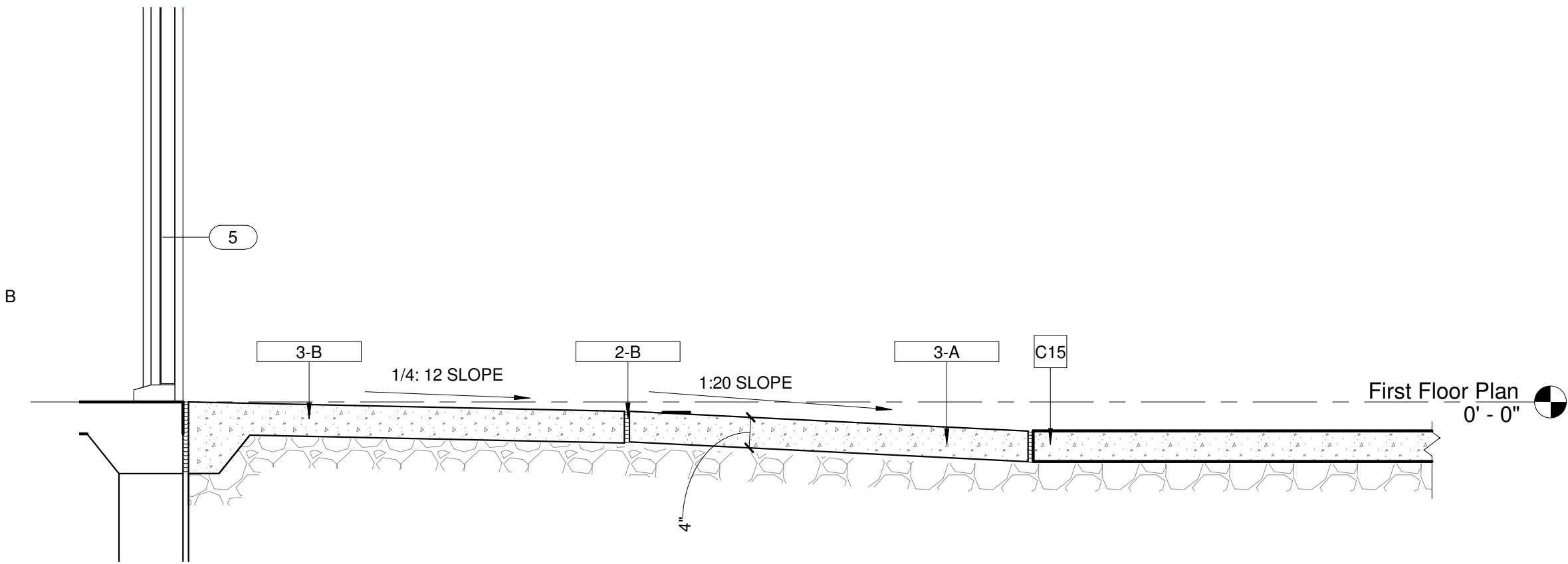
Enlarged Details

Sheet No.

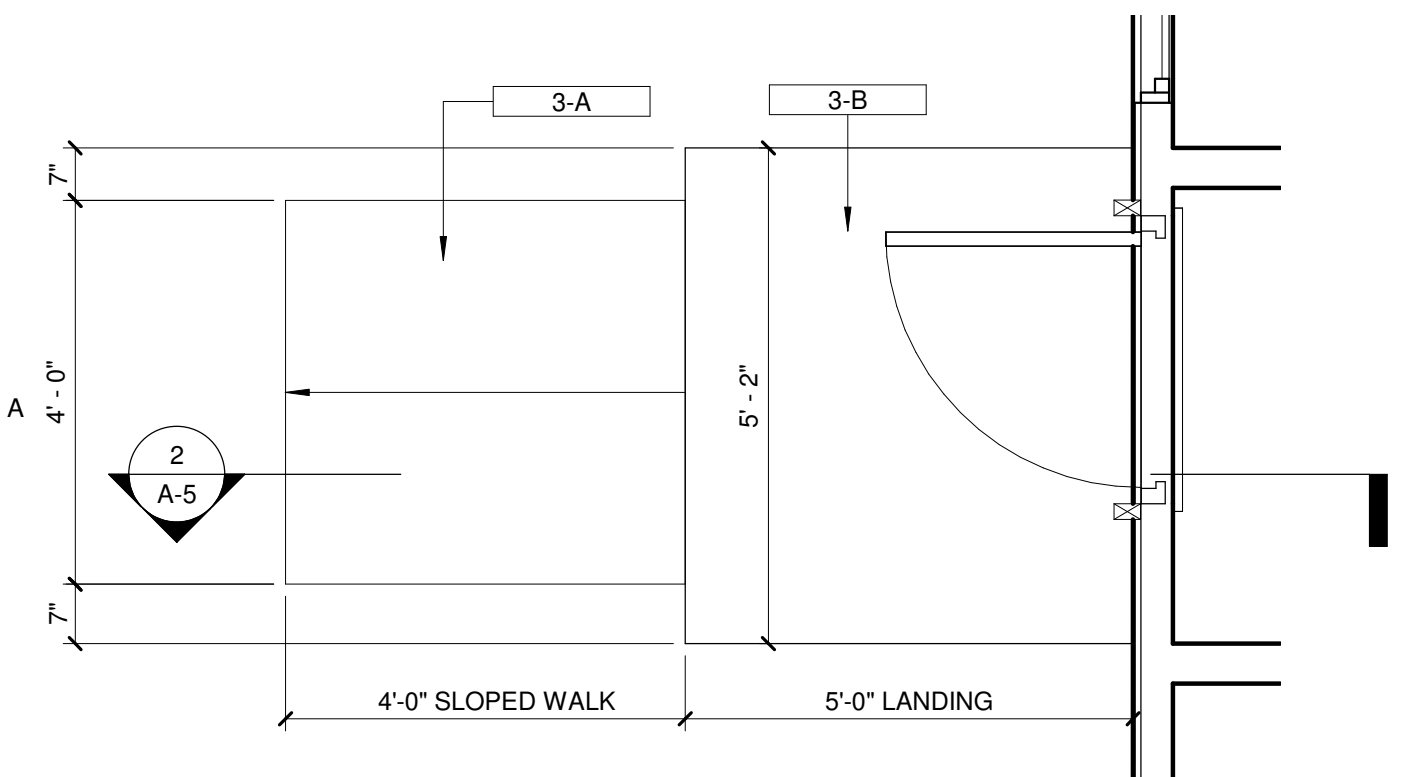
A-4



⑤ Site Plan
1/16" = 1'-0"

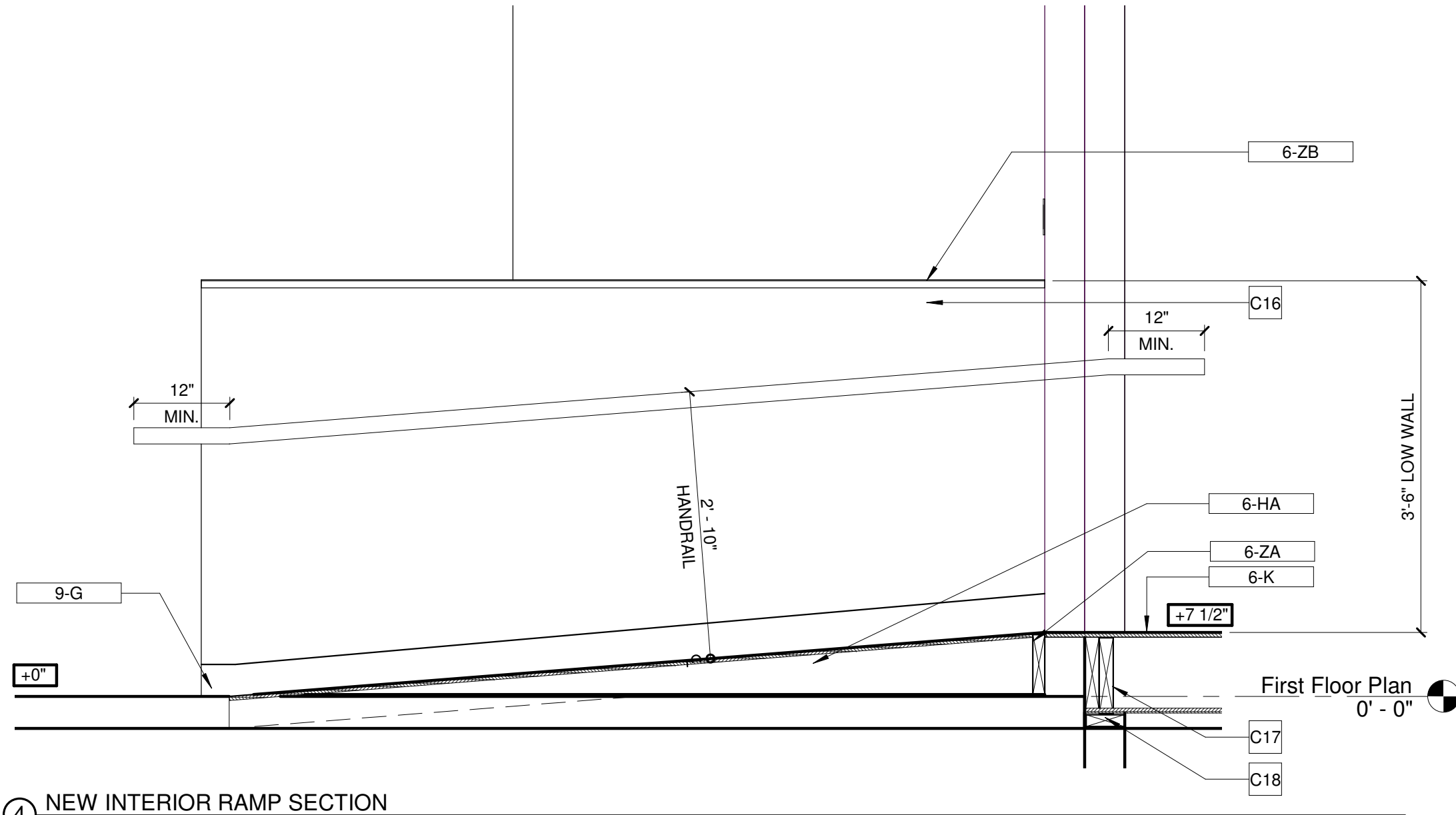


② Section 2
3/4" = 1'-0"

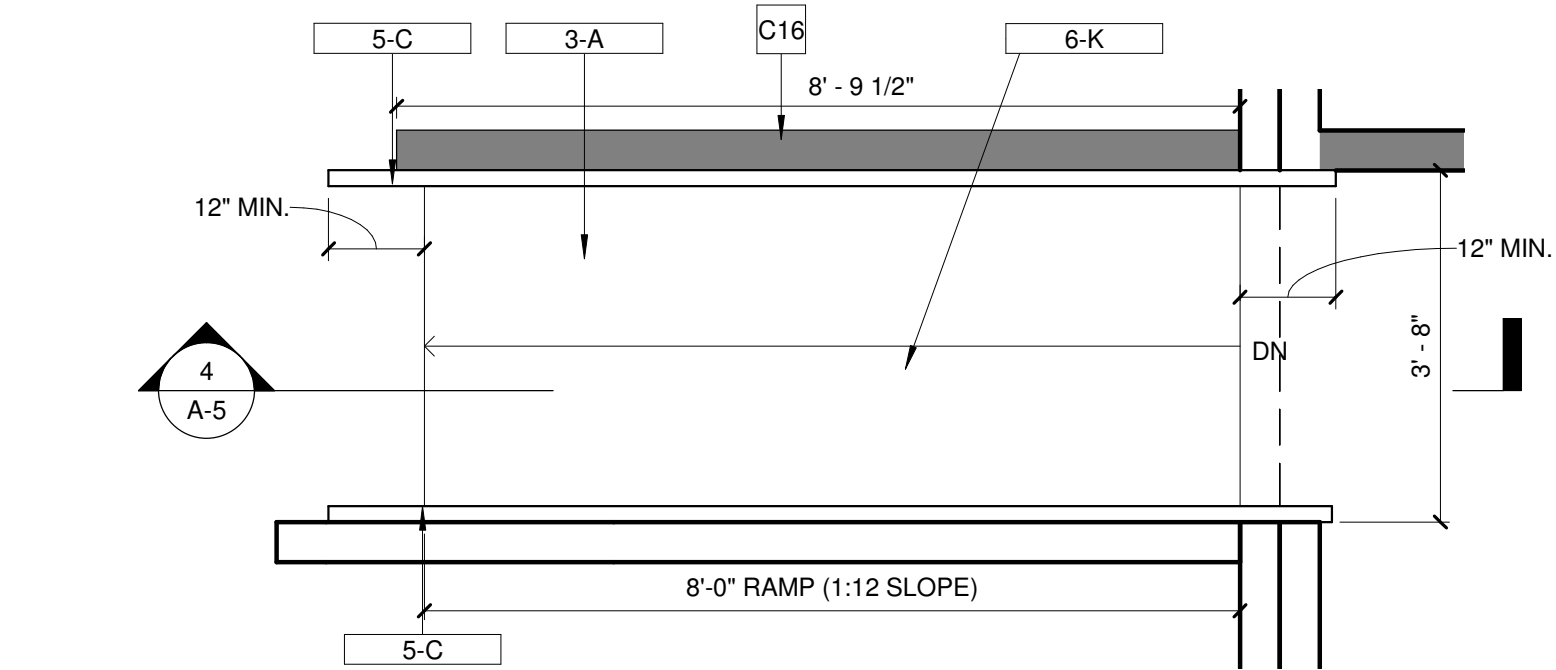


① Proposed - Enlarged HC Entrance Plan
1/2" = 1'-0"

###.#	Drawing Notes	Construction Legend
2-B	1/2" THICK PRE MOLDED JOINT FILLER	NEW WALL CONSTR.
3-A	NEW CONCRETE SLOPED WALK WITH 1:20 SLOPE	EXIST. WALL CONSTR.
3-B	NEW CONCRETE LANDING	
5-C	NEW 1 1/2" DIA. HANDRAIL (2'-10" HIGH)	EXTERIOR WALL - INFILL OPENING WITH NEW 2" X 4" STUD WALL WITH R-13 BATT INSULATION, 1/2" GYPSUM WALL BOARD ON THE INTERIOR SIDE AND 1/2" PLYWOOD SHEATHING WITH HOUSE WRAP AND VINYL SIDING ON THE EXTERIOR TO MATCH EXISTING
6-HA	NEW 2"X8" TAPERED WOOD RAMP JOIST @12" O.C.	INTERIOR WALL - NEW 2" X 4" WOOD STUD WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALL BOARD ON BOTH SIDES. USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS.
6-K	NEW 3/4" PLYWOOD SHEATHING	
6-ZA	NEW 2"X8" LEDGER BOARD	
6-ZB	NEW 1"X8" TOP CAP	
9-G	NEW 4" HIGH VINYL BASE	
C##	Construction Notes	
C14	REMOVE EXISTING CONCRETE LANDING AND SIDEWALK. RESTORE EXISTING GRASS.	C## CONSTRUCTION NOTE
C15	EXISTING BITUMINOUS DRIVEWAY	11 WINDOW TAG
C16	NEW 2"X4" WOOD STUD LOW WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALLBOARD ON BOTH SIDES.	
C17	EXISTING 2"X10" RIM JOIST	
C18	EXISTING PRESSURE TREATED BOTTOM PLATE	
C19	EXISTING CONCRETE SIDEWALK	



④ NEW INTERIOR RAMP SECTION
3/4" = 1'-0"



③ NEW INTERIOR RAMP PLAN
1/2" = 1'-0"

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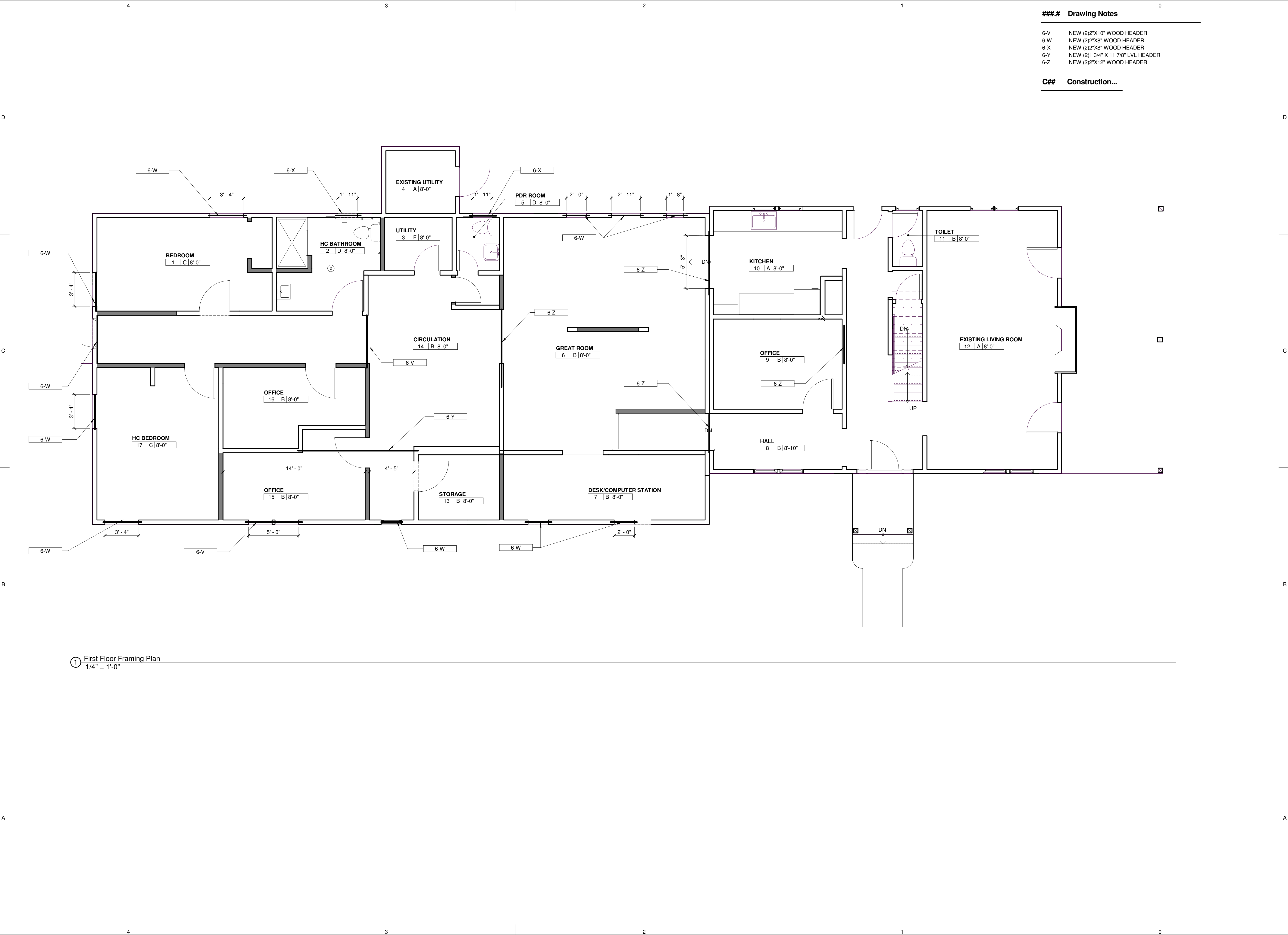
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Sheet Title
Sections and Details

Sheet No.
A-5



**Alternations to 2590
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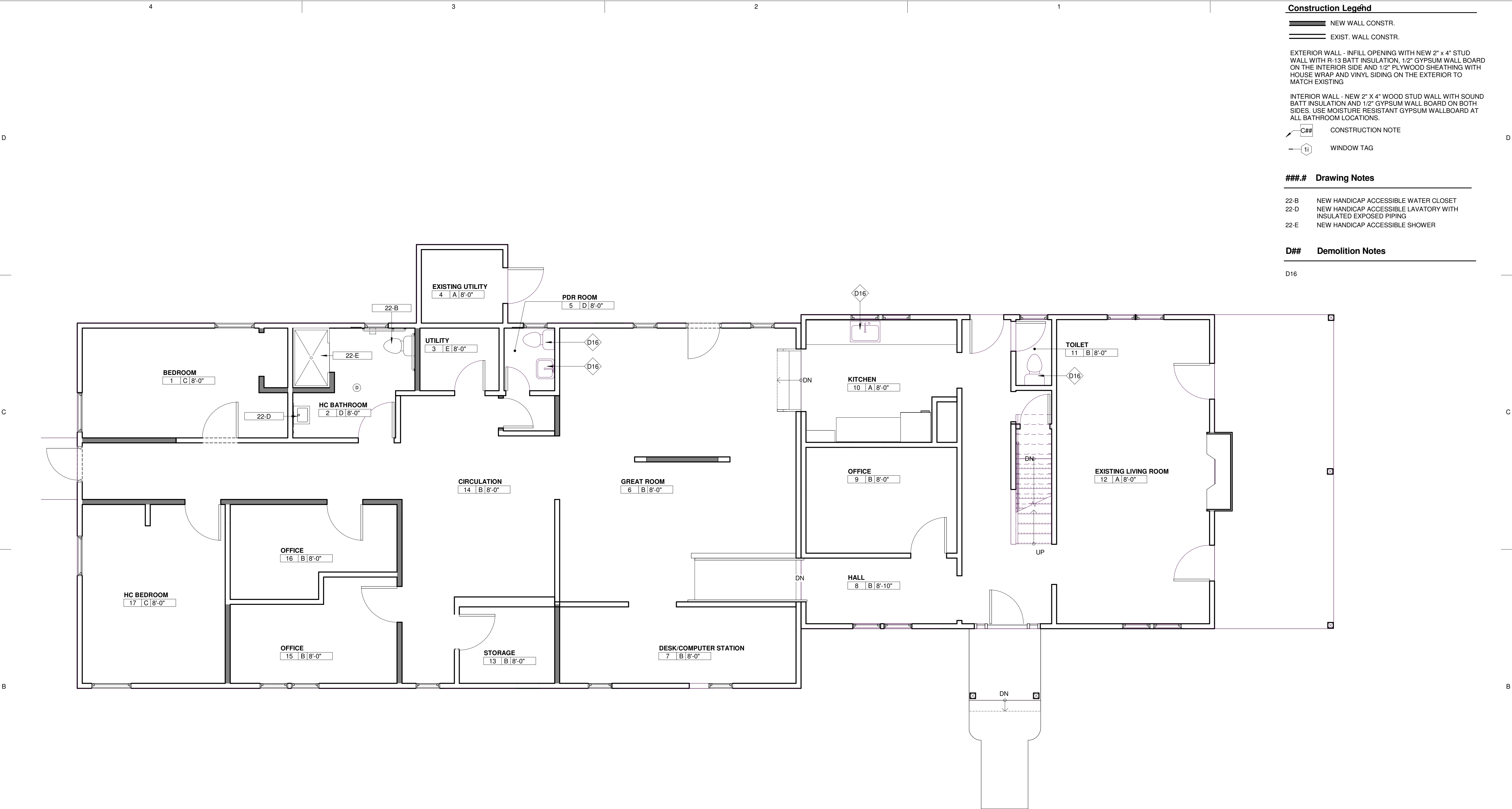
William Lammy - AIA - NJ C6793
Anthony Giorgio - AIA - NJ 07626

#	Issue/Revision	Date
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Sheet Title
Framing Plan

Sheet No.
F-1

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Construction Legend

- NEW WALL CONSTR.
- EXIST. WALL CONSTR.

EXTERIOR WALL - INFILL OPENING WITH NEW 2" x 4" STUD WALL WITH R-13 BATT INSULATION, 1/2" GYPSUM WALL BOARD ON THE INTERIOR SIDE AND 1/2" PLYWOOD SHEATHING WITH HOUSE WRAP AND VINYL SIDING ON THE EXTERIOR TO MATCH EXISTING

INTERIOR WALL - NEW 2" x 4" WOOD STUD WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALL BOARD ON BOTH SIDES. USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS.

- C## CONSTRUCTION NOTE
- 11 WINDOW TAG

Drawing Notes

- 22-B NEW HANDICAP ACCESSIBLE WATER CLOSET
- 22-D NEW HANDICAP ACCESSIBLE LAVATORY WITH INSULATED EXPOSED PIPING
- 22-E NEW HANDICAP ACCESSIBLE SHOWER

D## Demolition Notes

D16

Alternations to 2590 Nottingham Way, Hamilton Township

Location

2590 Nottingham Way,
Hamilton Township, NJ

Project Number

24002.07

Date

12/18/2024

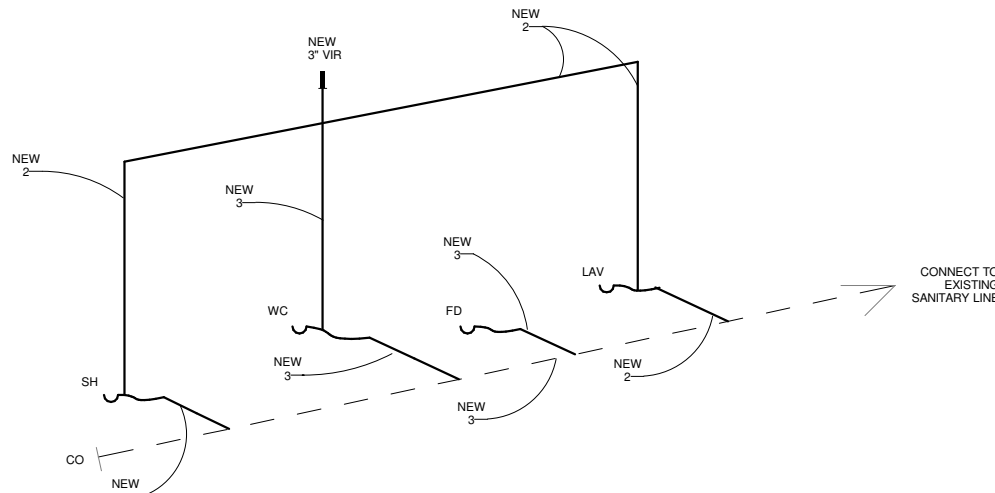
Architect

LAMMEY + GIORGIO
Lammey + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp, NJ, 08108
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William Lammey - AIA - NJ C6793
Anthony Giorgio - AIA - NJ 07626

1 First Floor Plumbing Plan

1/4" = 1'-0"



2 Sanitary Riser Diagram

1/2" = 1'-0"

Issue/Revision Date

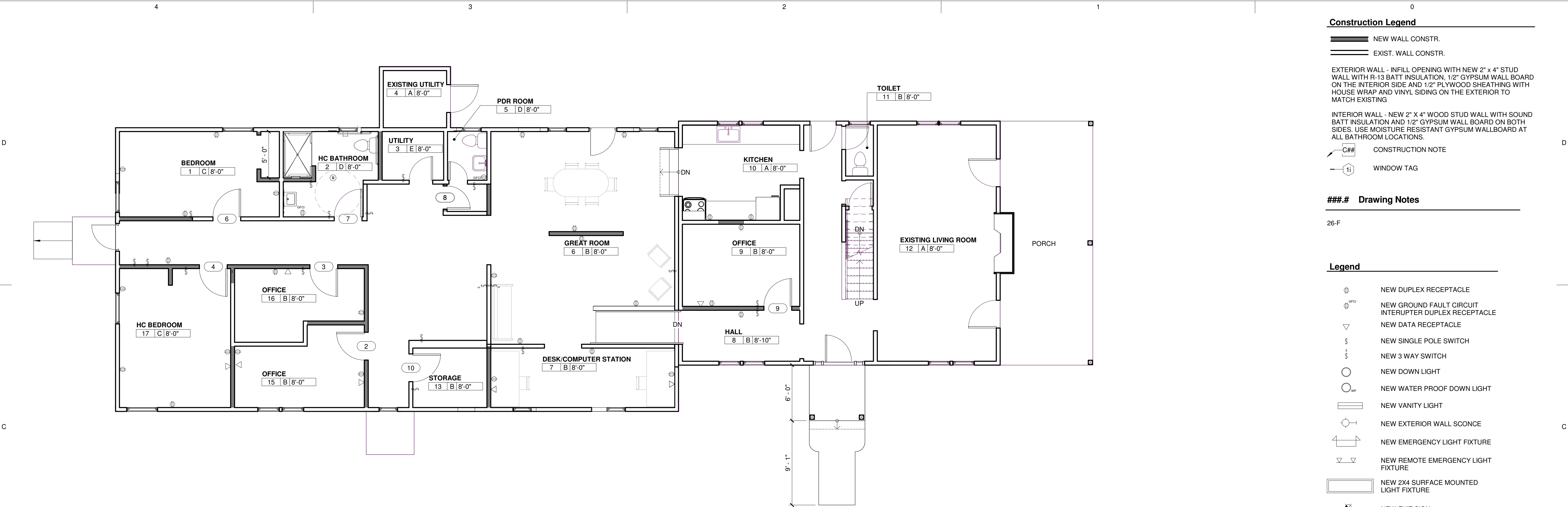
#	Issue/Revision	Date

Sheet Title

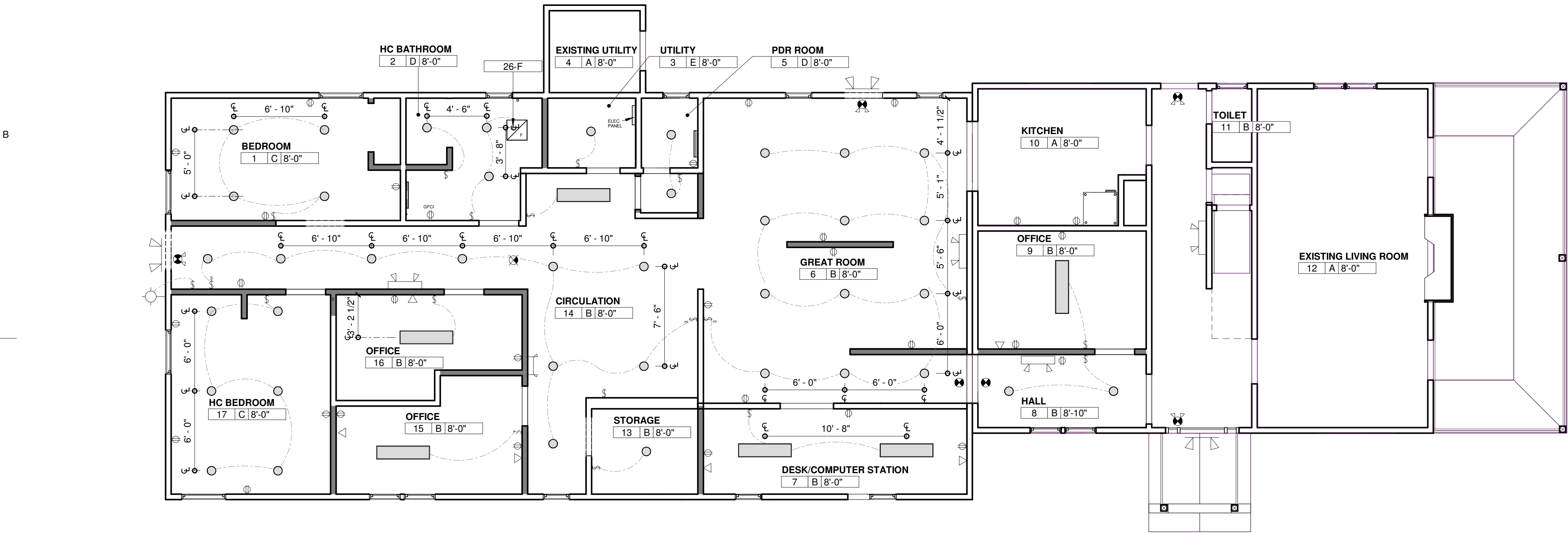
Plumbing Plan

Sheet No.

P-1



2 Proposed - First Floor Electrical Layout
3/16" = 1'-0"



1 Proposed - First Floor Electrical Ceiling Plan
3/16" = 1'-0"

Construction Legend

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EXIST. WALL CONSTR.

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INTERIOR WALL - NEW 2" X 4" WOOD STUD WALL WITH SOUND BATT INSULATION AND 1/2" GYPSUM WALL BOARD ON BOTH SIDES. USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS.

- C## CONSTRUCTION NOTE
11 WINDOW TAG

Drawing Notes

26-F

Legend

- NEW DUPLEX RECEPTACLE
NEW GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE
NEW DATA RECEPTACLE
NEW SINGLE POLE SWITCH
NEW 3 WAY SWITCH
NEW DOWN LIGHT
NEW WATER PROOF DOWN LIGHT
NEW VANITY LIGHT
NEW EXTERIOR WALL SCONCE
NEW EMERGENCY LIGHT FIXTURE
NEW REMOTE EMERGENCY LIGHT FIXTURE
NEW 2X4 SURFACE MOUNTED LIGHT FIXTURE
NEW EXIT SIGN
NEW EXIT SIGN WITH EMERGENCY LIGHT

LIGHTING FIXTURE SCHEDULE			
SYMBOL	STYLE AND TYPE	NUMBER AND TYPE OF LAMP	WATT
○	NEW 6" DIA. RECESSED DOWNLIGHT LED FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING. MODEL #WL2-08L-LP35	LED - 1020 NOMINAL LUMENS -3000K	12.6
○ _{WP}	NEW 6" DIA. RECESSED DOWNLIGHT LED FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING. MODEL #WL2-08L-LP35 - WET LOCATION RATED	LED - 1020 NOMINAL LUMENS -3000K	12.6
≡	NEW 2'-0" LONG SURFACE MOUNTED LED FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING MODEL #WL2-08L-L935	LED - 800 NOMINAL LUMENS -3500K	7.5
⊙	NEW EXTERIOR WALL SCONCE DUSK TO DAWN WALL MOUNTED LIGHT FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING MODEL #264TNT	LED -4000K	7.5
⌌	NEW EMERGENCY LIGHT FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING MODEL # ELM2-LED-HO	LED - 2 1.5 WALL WHITE LED HEADS	2.88
▽▽	NEW REMOTE EMERGENCY LIGHT FIXTURE AS MANUFACTURED BY LITHONIA LIGHTING AND IS COMPATABLE WITH THE EMERGENCY LIGHT FIXTURE	LED - 2 1.5 WALL WHITE LED HEADS	2.88
▮	NEW 2X4 SURFACE MOUNTED LED LIGHT FIXTURE AS MANUFACTURED BY LUXRITE	LED - 3000k	50
⊗	NEW CEILING AND WALL MOUNTED EXIT SIGNS AS MANUFACTURED BY LITHONIA LIGHTING MODEL # LHOM-LED-R-HORO	LED - 2 1.5 WALL WHITE LED HEADS	4.3
⊗	NEW EXIT SIGN WITH EMERGENCY LIGHTING HEADS AS MANUFACTURED BY LITHONIA LIGHTING MODEL # LHQM-LED-R-HO	LED	4.3

Alternations to 2590
Nottingham Way,
Hamilton Township

Location

2590 Nottingham Way,
Hamilton Township, NJ

Project Number

24002.07

Date

12/18/2024

Architect

Lammy + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp, NJ, 08108
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William Lammy - AIA - NJ C6793
Anthony Giorgio - AIA - NJ 07628

Issue/Revision Date


Sheet Title

Electrical Layout

Sheet No.

E-1

Specifications	4	3	2	1	0
D	1. GENERAL REQUIREMENTS	8. DOORS, WINDOWS, GLASS	11. — 20. NOT USED		
	1.1 Contractor shall furnish tools, equipment, material, labor, and supervision to perform operations necessary and reasonably incidental for the proper completion of all work as shown on the drawings and in the specifications.	8.1 Exterior Fiberglass Doors: Shall be 1—3/4 inch thick, fiberglass, insulated as manufactured by Pioneer, or approved manufacturer. Tops shall be flush and weathertight. Size as indicated on drawings.	21. FIRE PROTECTION- ALTERNATE NO. 1		
	1.2 All work shall be in strict accordance with all local and state codes and regulations, including but not limited to the Uniform Construction Code of the State of New Jersey, the Standard National Plumbing Code, and the National Electric Code.	8.2 Interior Doors: Shall be 1 3/4" structural composite wood core door, style to match existing, as manufactured by Weyerhaeuser, Willdon, Oskosh or equal. Fire Rating as indicated on the door schedule.	21.1 Contractor shall design and install a new fire protection system throughout entire building (including floor and attic) in accordance, with NFPA 13D. Provide all calculations, and drawings that indicate layout, holding tank, sump, concealed piping and concealed heads. Contractor shall provide drawings and calculations that are signed and sealed by an engineer licensed in the State of New Jersey		
	1.3 The Contractor shall check and verify all plan dimensions and all existing conditions before proceeding with construction. He shall report any discrepancies to the Architect for correction prior to beginning any work. The discovery of discrepancies after the beginning of work will be evidence of faulty work and shall be the responsibility of the Contractor. Do not scale drawings.	8.3 Wood door frames and stops shall be 5/4—inch thick, wood shall be premium grade, sizes as indicated.	22. PLUMBING		
	1.4 These documents are the property of the Architect and shall not be altered or used for construction unless signed and sealed by the Architect. No deviations from the work shown or reasonably implied shall be undertaken without Architect's written consent, a copy of which will be filed with the construction official.	8.4 Fiberglass Frames: Shall be as manufactured by Pioneer, or approved equal Frames shall be factory prepared for hardware.	22.1 All plumbing work to be in accordance with the National Standard Plumbing Code.		
	1.5 The Contractor shall comply with all State and Federal OSHA safety requirements.	8.5 All doors shall be delivered in first class condition with no defects, properly protected and stored until ready for installation. Doors shall be factory prepared for hardware and shall be properly installed in accordance with manufacturer's directions and details. Provide manufacturer's guarantees.	22.2 The water closet shall be as manufactured by American Standard. Cadet 3 FloWise Right Height Elongated Toilet model \$2835.1 28 shall be used.		
	2. SITEWORK	8.6 All glazing in doors shall be 1/4" tempered glass.	22.3 The lavatory shall be as manufactured by American Standard. Lucerne Wall —Hung Lavatory model \$0356.421 shall be used. The Faucet shall be as manufactured by Moen. Chateau Single— Handle Lavatory Faucet shall be used.		
	2.1 Contractor shall protect existing structures, appurtenances, and materials which are not to be altered. Provide bracing and shoring as necessary. Patch disturbed surfaces to match adjacent undisturbed surfaces.	8.7 Hardware: Furnish and install all locksets, hinges, stops, etc. as required for a complete installation. Finish to match existing hardware. Provide the following hardware; locks shall be manufactured by Schlage, Corbin or Sargent. Finish shall match existing.	22.4 Shower Head with adjustable slide bar shall be model 3668EP chrome as manufactured by Moen. Shower Controls shall be anti — scaled type as manufactured by Moen.		
	2.2 Contractor shall remove all demolished materials from the site. Do not burn or bury materials on site.	Butts (per door): 1-1/2 PR Hager BB1191 x 4-1/2 x 4-1/2 X 606	22.5 Floor Drain to have a 3" Dia as manufactured by Moen.		
	3. CONCRETE	Continuous Hinge: Full Surface Stainless Steel Continuous Hinge - Hager 790-909	23. HEATING, VENTILATION, & AIR CONDITIONING		
C	3.1 All concrete shall be ready—mix, have a minimum compressive strength of 3000 PSI at 28 days, and have a minimum of 500 lbs of cement per cubic yard. Slump (at point of concrete placement) shall be 3 inch minimum and 6 inch maximum. Submit mix designs for review.	Cylindrical Locks: Schlage AL-Series X Saturn Lever X 606 X Interchangeable Core	23.1 All HVAC work to be in accordance with the N.J. Uniform Construction Code.		
	3.2 All concrete work shall comply with the requirements of the ACI Building Code (ACI 318), the ACI Detailing Manual (ACI 315), and the Specifications for Structural Concrete for Buildings (ACI 301).	Interchangeable Core: Schlage 6-Pin Core System. Provide full size cores for each door and (6) spare cores.	23.2 The extent of mechanical work includes modification or relocation of existing baseboard heating and adding a new exhaust fans in new Handicap Bathrooms.		
	3.3 All reinforcing steel shall be manufactured from high strength billet steel conforming to ASTM designation A615 Grade 60. WWF shall comply with ASTM A185.	Wall Stop: Wall mounted, Type (concave). Hager, Glynn-Johnson, Stanley or equal.	23.4 Exhaust Fan: Provide exhaust fan at new Bathroom. Exhaust fan shall have corrosion resistant galvanized steel housing and shall be ducted using minimum 6 round ductwork. Blower assembly shall be removable, have a centrifugat type blower wheel and permanently lubricated motor designed for continuous operation. The exhaust fan shall be mounted with anti—vibration mounts and a non — metallic damper shall be included. The minimum rating shall be 75 CFM. Exhaust fan shall be NuTone QTXEN Series. Broan & Panasonic shall be considered for substitution.		
	3.4 Lap all bars minimum 40 diameters. Lap all WWF a minimum of 6 inches.	Closer: LCN, Non-Sized, Non-Handed, Handicapped Type	26. ELECTRICAL		
	3.5 Construction joints in slabs shall be at mid —span and key jointed with reinforcing continuous across joint.	Silencers: Hager 307D.	26.1 All electrical work shall be in accordance with the N.J. Uniform Construction Code and the National Electrical Code.		
	4-5 NOT USED	8.8 Hardware Schedule:	26.2 Provide all permits and cutting and patching for this work. Patched surfaces shall match adjacent undisturbed surfaces.		
	6. WOOD AND PLASTICS	HW- A Butts Lockset: Privacy Lock X Lever Silencers Marble Saddle (@ Bathroom Only) Wall Stop	26.3 All materials shall be new unless stated otherwise on the drawings. Provide product data for cable, wire, conduit and devices.		
	6.1 Rough Carpentry: Provide and install all rough and framing lumber, all stripping, blocking, studs, braces, etc. as required for the proper completion of the job. All rough framing lumber shall bear a visible grade stamp of a certified agency. The Contractor shall thoroughly examine the drawings and shall be responsible for the inclusion of all carpentry and materials required. Installation shall be in accordance with National Forest Products Association (NFPA) specifications. Engineered lumber may be substituted, but it shall be the responsibility of the Contractor to confirm sizing and load requirements.	HW- C Butts Lockset: Entrance Lock & Lever Silencers Weatherstripping Wall Stop Aluminum Threshold Closer	26.4 All equipment shall be installed in strict accordance with the manufacturer's instructions.		
	6.1.1 Maximum spacing of all studs, floor joists, ceiling joists and roof rafters shall be 16 inches on center unless otherwise noted. Triple studs at all bearing points in wood frame walls. Double floor joists under all parallel partitions.	9. FINISHES	26.5 Make a thorough inspection of the site prior to commencing any work or ordering any materials in order to verify site conditions which may affect the work		
	6.1.2 All framing lumber shall be installed true, level, in —line, plumbed, squared, well spiked and nailed, properly braced and well secured in position.	9.1 Gypsum Wallboard: All wallboard, tape, joint compound, beads, and other accessories shall be as manufactured by U.S. Gypsum Company, Lafarge, National Gypsum or equal. All material shall be installed in strict accordance with manufacturer's directions, using Type S drywall screws spaced 12 inches on center. Use manufacturer's tape reinforcement and joint compound, applied in three applications. At completion, leave all walls and ceilings true, smooth and without noticeable irregularities, ready for painting and decorating. Wallboard shall be 1/2-inch thick, with tapered edges on walls. Use moisture resistant wallboard at new bathroom.	26.6 All electrical work shall be grounded properly. Test all wiring for proper ground s.		
B	6.1.3 All lumber and millwork delivered to the job shall be in first class condition, and shall be properly stored and protected against the weather and termite infestation. Store all lumber off the ground and keep covered when not in use. Do not accept any material that is not in accordance with the requirements herein.	9.2 Painting: The Contractor shall furnish all material and labor necessary to completely finish the spaces to be smooth, even and free from any defects. Brushwork shall show even coatings free from brush marks. Prepare all surfaces before painting, removing dust, grease, and marks from surface. Putty nail holes, cracks, etc. after primer on painted surfaces. Painting materials used shall be as manufactured by M.A. Bruler, Sherwin Williams, Benjamin Moore or equal. All colors to be selected by Owner.	26.7 All electric materials shall bear the Underwriter's Laboratory seal.		
	6.1.4 All structural lumber shall be stress grade lb = 1,200 PSI, E = 1,400,000 PSI minimum. Moisture content for all framing shall be 19R or less.	9.2.1 Painting Schedule:	26.8 All wire shall be minimum (2) § 12 AWG and (1) § 12 ground Cu., Type THWN.		
	6.1.5 Joints and studs shall be Hem-Fir No. 2 and better.	1. Interior Gypsum Wallboard: 1st coat: Primer 2nd coat: Acrylic latex, low luster 3rd coat: Acrylic latex, low luster	26.9 All junctions, splices, and terminations shall be made in approved metal junction boxes.		
	6.1.6 Nails, spikes, and staples shall be hot dipped galvanized for exterior surfaces high humidity locations, and treated lumber; plain finish for locations not subject to moisture.	2. Interior Wood Doors, Natural: 1st coat: Primer 2nd coat: Latex enamel, semi-gloss 3rd coat: Latex enamel, semi-gloss	26.10 Provide ivory colored devices with stainless steel plates. All devices shall be specification grade.		
	6.1.7 Rough Hardware: Provide all rough building hardware such as shoes, dogs, spikes, bolts, stirrups, joist hangers, nails, lag screws, lagging bolts, and anchors, as called for required to hold woodwork together or to anchor it to other material.	3. Metal Frames: 1st coat: Primer 2nd coat: Latex enamel, semi-gloss 3rd coat: Latex enamel, semi-gloss	26.11 Conduit shall be EMT, minimum 3/4— inch diameter.		
	6.1.8 Nails shall be "Stormguard" nails as manufactured by Maze Nails, Division of W. H. Maze Company, Peru, IL 61354, as a standard of quality.	4. Exterior Doors, Painted 1st coat: Primer 2nd coat: Latex enamel, semi-gloss 3rd coat: Latex enamel, semi-gloss	26.12 See Lighting Fixture Schedule for fixture types and manufacturers.		
	6.1.9 All nails and rough hardware shall be hot dipped zinc coated twice in molten zinc.	9.3 Ceramic tile floor shall be as manufactured by Daltile. Floor tile shall be 2x2-inch mosaic "Dal-Keystone". Base shall be 2x2-inch mosaic "Dal-Keystone", 4" high minimum. All colors shall be as selected by Owner.	26.13 Automatic Fire Alarm System: Contractor is responsible for the design and installation of a fully automatic fire alarm system, complete with detectors, pull stations, horn/strobes, etc. in accordance with NFPA 72.		
	6.1.10 Exterior wall sheathing shall be 1/2— inch APA rated, Exposure 1 plywood, 1/2— inch thick with Tyvek Housewrap as manufactured by DuPont, or approved equal.	9.4 The modified Roll — In shower floor shall be Selbatwede HD Decorative Floor System as manufactured by BASF. Floor shall be a three—component epoxy floor system consisting of epoxy resin, cure agent and specially graded aggregate troweled to a minimum thickness of 1/8 inch into which colored quartz aggregate is broadcast at a thickness of 1/16 inch. Decorative heavy— duty flooring shall be finished with a minimum two coats of clear epoxy for a minimum finished thickness of 3/16 inch. Dur— a —flex, ArmorPoxy or approved equal shall be considered for substitution.	26.14 Carbon Monoxide Detector: Contractor is responsible for the installation of a carbon monoxide detection system that is compatible with the new fully automatic fire alarm system.		
	6.1.11 Fireblocking and Draftstopping: When the work being performed creates or exposes the framing of any wall, ceiling or roof, the framing shall be fireblocked and draftstopped to cut off concealed draft openings				

Alternations to 2590 Nottingham Way, Hamilton Township		
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