

CDBG FY 2025
AUDUBON SENIOR CENTER
FIRST FLOOR LOBBY RENOVATION

247 OAKLAND AVENUE
AUDUBON, NEW JERSEY 08106
CAMDEN COUNTY, NEW JERSEY



BACH Associates, PC
ENGINEERS • ARCHITECTS • PLANNERS

304 White Horse Pike
Haddon Heights, New Jersey 08035
Tel 856-546-8611
Fax 856-546-8612
www.BachDesignGroup.com

Code Review Data:

APPLICABLE BUILDING CODES & GUIDELINES
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL FUEL GAS CODE
2020 NATIONAL ELECTRICAL CODE NFPA 70
2021 NATIONAL STANDARD PLUMBING CODE
2017 ICC/ANSI A117.1
USE GROUP CLASSIFICATION (303.1)
A2- ASSEMBLY
TYPE OF CONSTRUCTION (CHAPTER 6)
TYPE - 5B
HEIGHT AND AREA LIMITATIONS (TABLE 503)
A-2 USE-1 STORY 40', 6,000 SF- (5B CONSTRUCTION)
AREA OF FLOOR PLAN:
1ST FLOOR VESTIBULE AND FOYER: 725 SF +/-

Index of Drawings:

C-1 COVER SHEET AND INDEX OF DRAWINGS

A-0.1 FIRST FLOOR LOBBY RENOVATION - WORK AREA PLAN

D-1.1 FIRST FLOOR VESTIBULE DEMOLITION PLAN
D-1.2 FIRST FLOOR FOYER DEMOLITION PLAN
D-1.3 FIRST FLOOR VESTIBULE CEILING DEMOLITION PLAN
D-1.4 FIRST FLOOR FOYER CEILING DEMOLITION PLAN

A-1.1 FIRST FLOOR VESTIBULE FLOOR PLAN
A-1.2 FIRST FLOOR FOYER FLOOR PLAN
A-1.3 FIRST FLOOR VESTIBULE CEILING PLAN
A-1.4 FIRST FLOOR FOYER CEILING PLAN



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SEALS:



STEVEN M. BACH, PE, RA, PP, CME
NJ PROFESSIONAL ENGINEER No. GE 41507
NJ REGISTERED ARCHITECT No. AJ 14872
NJ PROFESSIONAL PLANNER No. LI 05557

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

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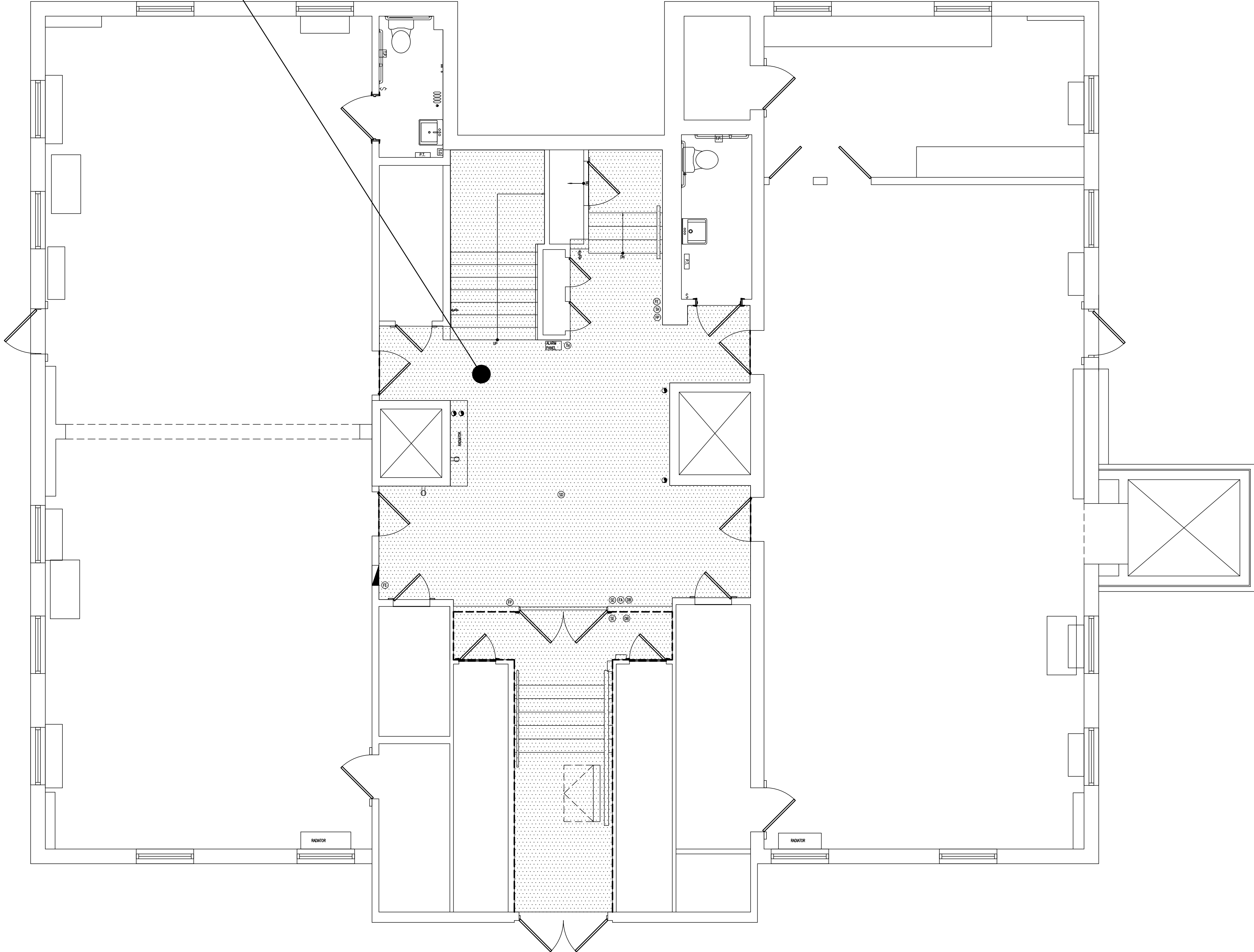
DRAWING TITLE:
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AND INDEX
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C-1

SHADED AREA INDICATES SCOPE OF WORK



1 FIRST FLOOR LOBBY RENOVATION - WORK AREA PLAN
SCALE: 1/4" = 1'-0"



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FIRST FLOOR LOBBY RENOVATION WORK AREA PLAN

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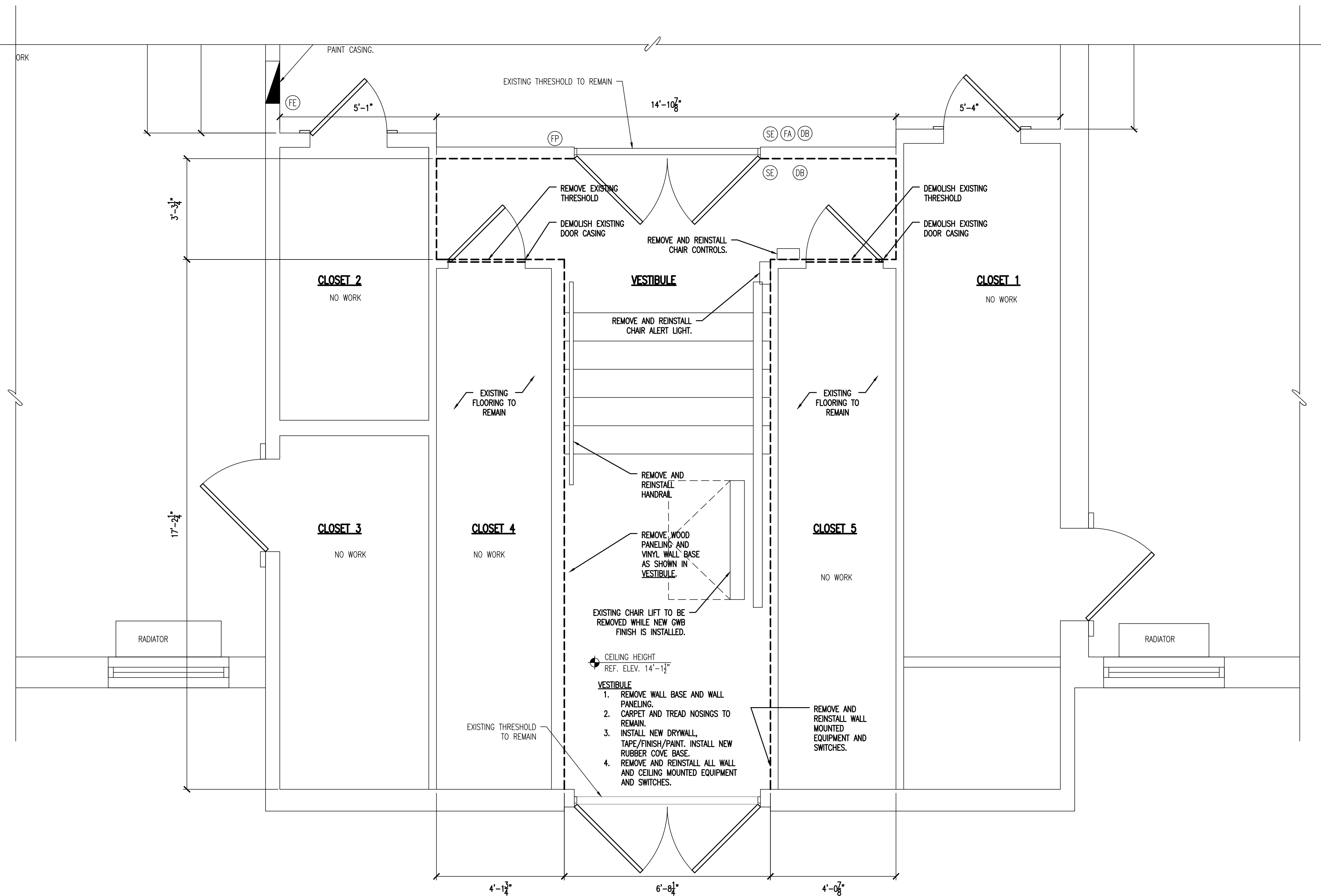
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1 FIRST FLOOR VESTIBULE DEMOLITION PLAN
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DRAWN BY:

AAW

SCALE:

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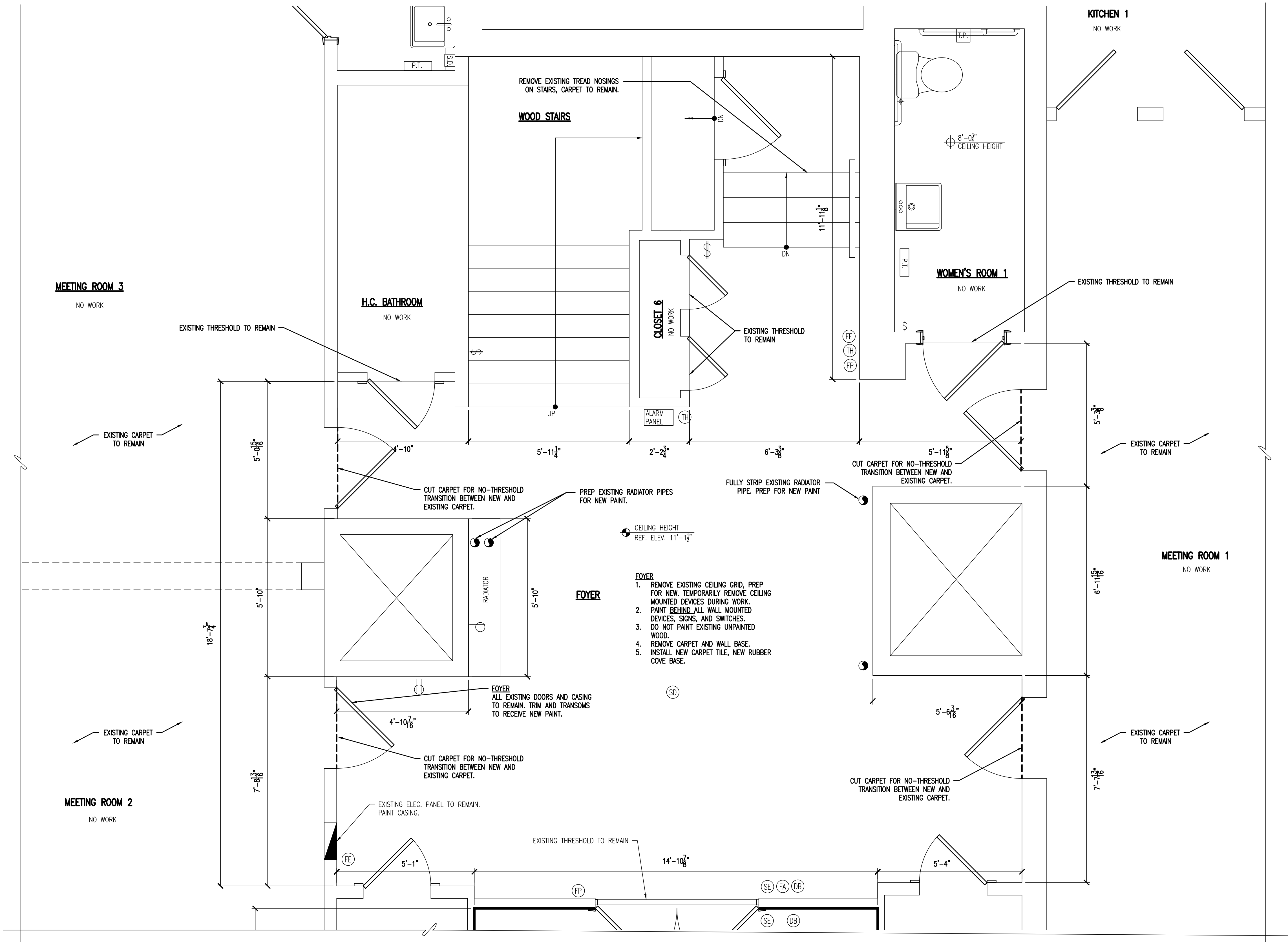
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1 FIRST FLOOR FOYER DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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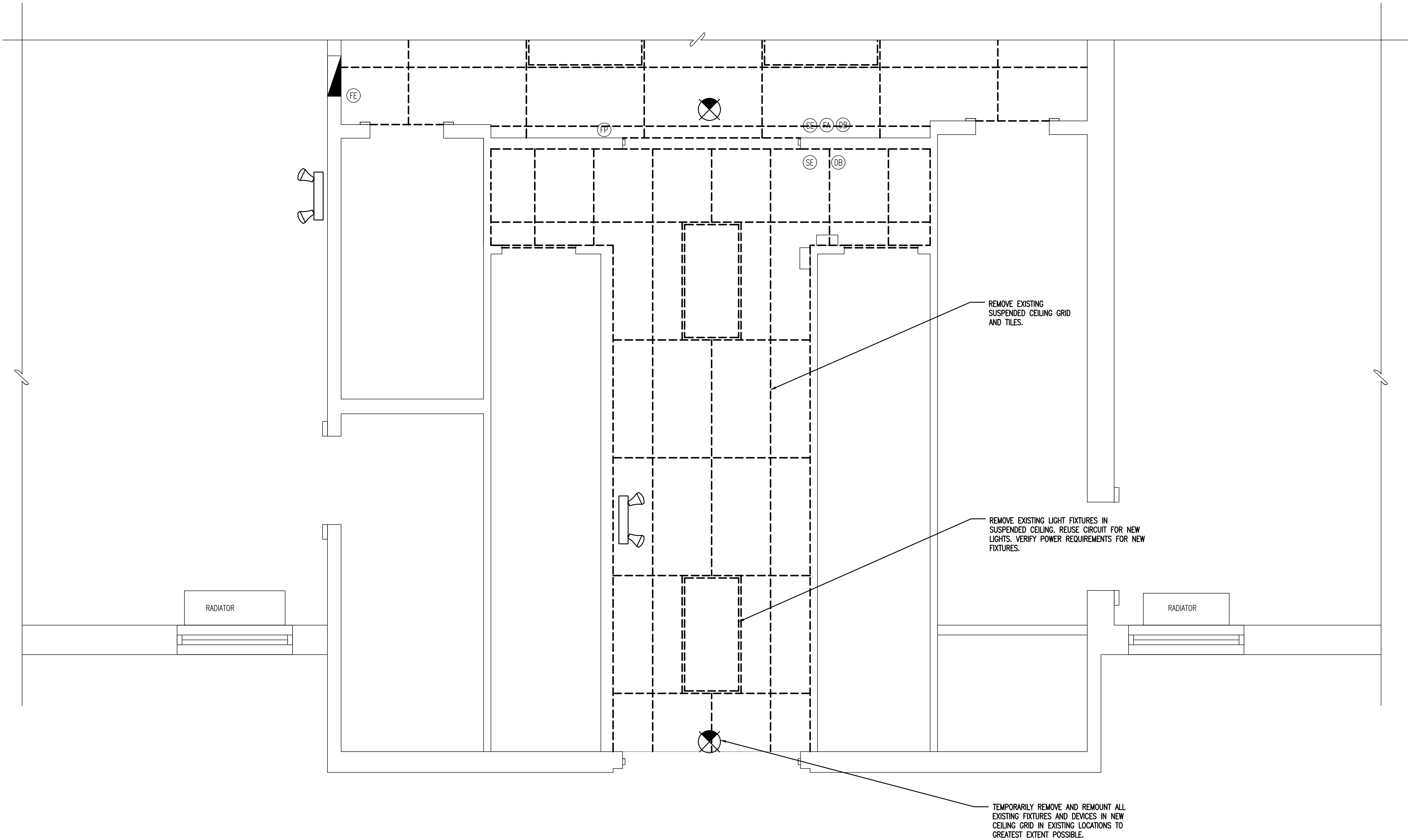
D-1.3

FLOOR PLAN LEGEND:

- EXISTING PARTITION
- EXISTING DOOR AND FRAME
- SMOKE DETECTOR - HARDWIRE & INTERCONNECTED
- FIRE STROBE/ALARM
- EMERGENCY PULL SWITCH
- EMERGENCY EXIT LIGHT WITH DIRECTION INDICATOR
- EMERGENCY LIGHT
- EXG. DUPLEX RECEPTACLE OUTLET
- WM INDICATES SURFACE MOUNTED DEVICE W/ SURFACE MOUNTED WIREMOLD
- SURFACE MOUNTED LIGHT FIXTURE
- EXG. THERMOSTAT
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- SECURITY EQUIPMENT
- WALL MOUNTED SPEAKER
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1 FIRST FLOOR VESTIBULE CEILING DEMOLITION PLAN
SCALE: 1/2" = 1'-0"





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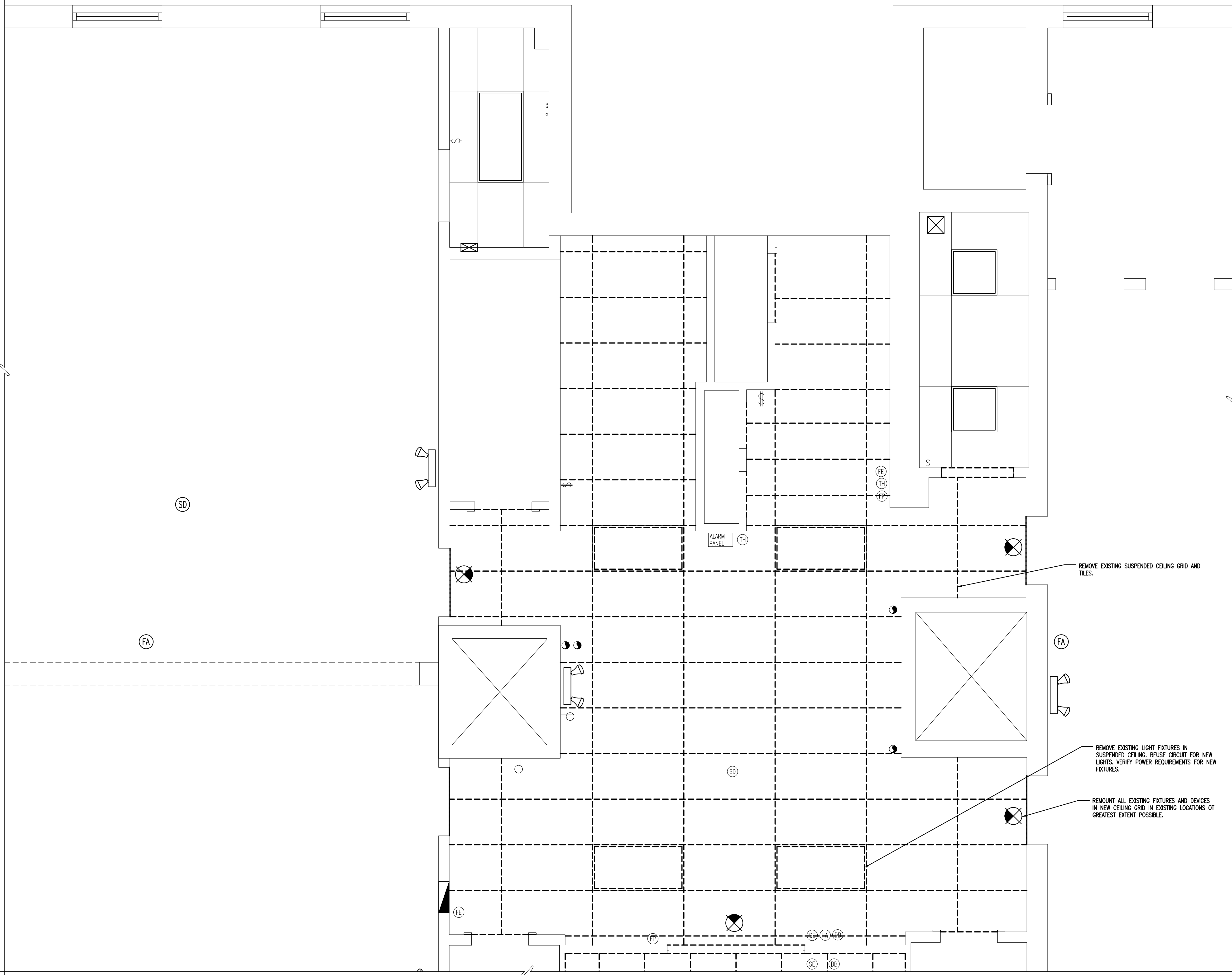
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FLOOR PLAN LEGEND:

- EXISTING PARTITION
- EXISTING DOOR AND FRAME
- SMOKE DETECTOR - HARDWIRE & INTERCONNECTED
- FIRE STROBE/ALARM
- EMERGENCY PULL SWITCH
- EMERGENCY EXIT LIGHT WITH DIRECTION INDICATOR
- EMERGENCY LIGHT
- EXG. DUPLEX RECEPTACLE OUTLET
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- SURFACE MOUNTED LIGHT FIXTURE
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- EXG. FIRE STROBE/ALARM
- EXG. FIRE PULL STATION
- EXG. SMOKE DETECTOR
- SECURITY EQUIPMENT
- WALL MOUNTED SPEAKER
- EXG. SWITCH
- NEW SWITCH
- TELEPHONE JACK

1 FIRST FLOOR FOYER CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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FLOOR PLAN

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PROJECT NOTES:

ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY ROOM SIZES AND MATERIAL QUANTITIES FOR BIDDING PURPOSES.

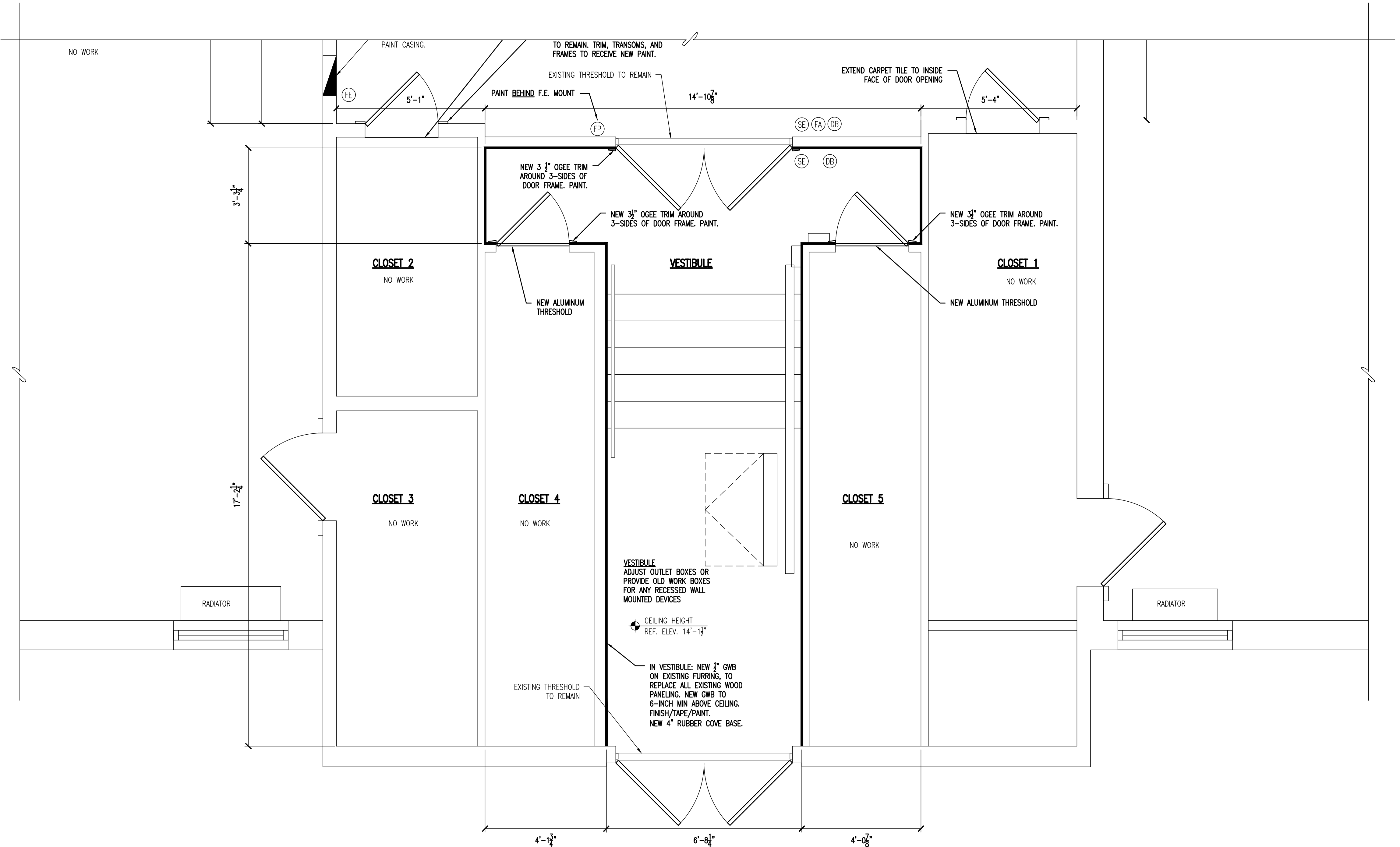
ALL EXISTING WINDOWS AND DOORS TO REMAIN UNLESS OTHERWISE NOTED. EXISTING DOORS AND WINDOWS ARE NOT TO BE REMOVED IN THE PROCESS OF PREPPING, PAINTING, OR ANY OTHER PROCESS INVOLVED IN THE REPLACEMENT OF FINISHES, UNLESS SPECIFICALLY APPROVED BY THE OWNER AND THE ARCHITECT.

ROOMS AND AREAS WHICH ARE TO RECEIVE NEW FINISHES INCLUDING BUT NOT LIMITED TO LIGHTING, FLOORING OR WALL COVERINGS AND ARE UNSAFE OR UNFIT FOR OCCUPANCY WHILE THE FINISHES ARE NOT IN PLACE, SHOULD BE CLEARLY MARKED AS "OFF LIMITS" OR EFFORTS SHOULD BE MADE TO MAKE THE SPACES SAFE AND HABITABLE IN THE ABSENCE OF MISSING FINISHES. APPROVAL FROM THE ARCHITECT/ENGINEER OR OWNER IS REQUIRED BEFORE PARTIALLY UNFINISHED ROOMS CAN BE OCCUPIED.

EXPOSED FLOOR SHEATHING IS NOT AN ACCEPTABLE WALKING SURFACE
EXPOSED WALL FRAMING, INSULATION, LATH, WIRING, ETC DOES NOT CONSTITUTE AN SAFE ENVIRONMENT.
ROOMS OR SPACES WITH MISSING OR INACTIVE LIGHTING SHOULD BE NOTED CLEARLY.

ALL AREAS WITH WET PAINT SHALL BE CLEARLY MARKED TO PREVENT OCCUPANT CONTACT WITH WET PAINT.

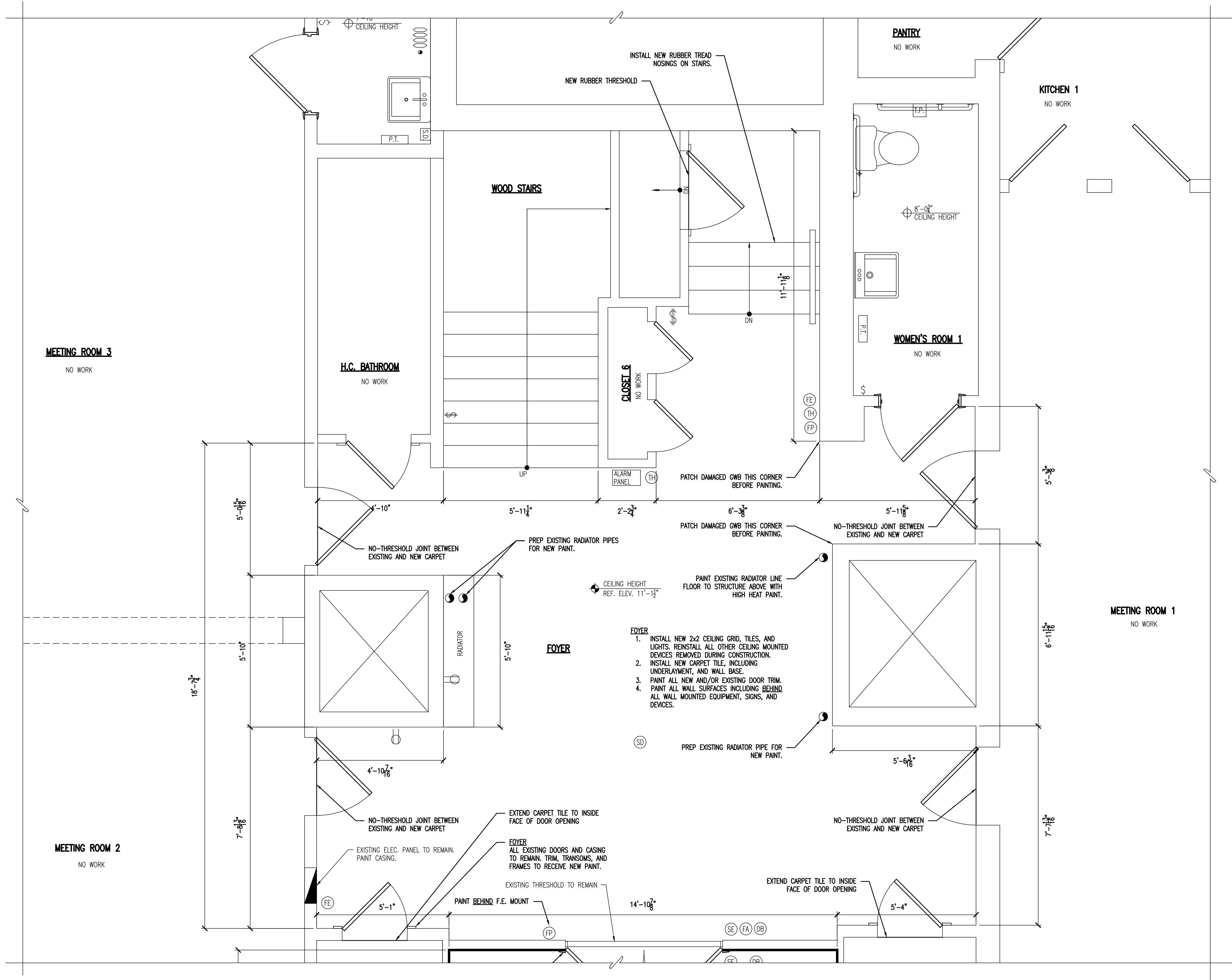
UNCOVERED RADIATORS SHALL NOT REMAIN EXPOSED FOR ANY LENGTH OF TIME WHEN WORKERS ARE NOT PRESENT, OR OVERNIGHT.



FLOOR PLAN LEGEND:

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1 FIRST FLOOR VESTIBULE FLOOR PLAN
SCALE: 1/2" = 1'-0"



1 FIRST FLOOR FOYER FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND:

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FLOOR PLAN**

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DESIGNED BY:

AAW

DATE:

6-11-25

DRAWN BY:

AAW

SCALE:

AS NOTED

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2X2 LIGHT FIXTURE:
"PT LED SHALLOW PLENUM TROFFER" BY H.E. WILLIAMS, INC.
PT-2-2-L43-9-35-RA

NEW 2x2 LED CEILING GRID AND
TILES, EDGE TRACK AGAINST
NEW GWB WALL FINISH.

NEW 2x2 LED LIGHT FIXTURE,
ON EXISTING SWITCH AND
CIRCUIT, TYP.

1 FIRST FLOOR VESTIBULE CEILING PLAN
SCALE: 1/2" = 1'-0"

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REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUE FOR BID	3-11-24

DRAWING TITLE:
**FIRST FLOOR
VESTIBULE
CEILING PLAN**

JOB NO: AB2025-3	DESIGNED BY: AAW
DATE: -	DRAWN BY: AAW
SCALE: AS NOTED	CHECKED BY: SMB

DRAWING NUMBER:

A-1.3



(SE) (DB)

① TELEPHONE JACK

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